



Otay Ranch Village 8 East

Sectional Planning Area (SPA) Plan

ADOPTED DECEMBER 2, 2014
BY RESOLUTION No. 2014-235

DECEMBER 2, 2014

University Villages

Sectional Planning Area (SPA) Plan

Village 8 East
OTAY RANCH GDP

Applicant:

SSBT LCRE V, LLC
C/O Meadow Lane, LLC
1392 E. Palomar Street, Suite 202
Chula Vista, CA 91913
Contact: Ranie Hunter
(619) 210-0560

PREPARED BY:

Hunsaker & Associates
Planning, Engineering, Surveying
9707 Waples Street
San Diego, CA 92121
Contact: Chuck Cater
(858) 558-4500

Tributary Landscape Architecture
2725 Jefferson Street #14
Carlsbad, CA 92008
Contact: Tom Picard
(760) 438-3304

TABLE OF CONTENTS

I. INTRODUCTION	I-3
A. Background, Scope, and Purpose of the Plan	I-3
1. Background	I-3
2. Scope and Purpose	I-3
B. Document Organization	I-6
1. SPA Plan	I-6
2. Planned Community District Regulations	I-6
3. Village Design Plan (VDP)	I-6
4. Public Facilities Finance Plans	I-7
5. Affordable Housing Plan	I-7
6. Air Quality Improvement Plan (AQIP)	I-7
7. Water Conservation Plan (WCP)	I-8
8. Energy Conservation Plan	I-8
9. Park, Recreation, Open Space and Trails Plan	I-8
10. Community Purpose Facility Master Plan	I-8
11. Agriculture Plan	I-8
12. Preserve Edge Plan	I-8
13. Fire Protection Plan	I-9
14. Technical Studies and Plans	I-9
C. Legal Significance and CEQA	I-12
D. Related Documents	I-12
E. Land Offer Agreement	I-12
II. DEVELOPMENT CONCEPT	II-15
A. Location and Regional Setting	II-15
B. Design Influence	II-15
1. Site Characteristics and Visual Context	II-15
2. Circulation	II-18
3. Surrounding Land Uses	II-18
C. Community Structure	II-18
D. Land Use Pattern	II-21
E. Mapping Refinements and Density Transfers	II-26
1. Land Use Alternative Implementation	II-26

2. Density Transfers Between Villages	II-27
3. Secondary Designation for Elementary School Site.....	II-28
III. CIRCULATION PLAN	III-31
A. Introduction.....	III-31
B. Regional Circulation Network	III-32
C. Project Circulation Network	III-32
D. Street Standards	III-35
1. Prime Arterials and Major Streets	III-36
2. Four Lane Secondary Village Entry Street with Median.....	III-39
3. Residential Promenade Street (Modified with Village Pathway).....	III-41
4. Residential Promenade Streets (Modified).....	III-43
5. Parkway Residential Streets	III-45
6. Community Park Entry Drive	III-48
7. Private Alleys	III-50
8. Private Residential Streets.....	III-51
9. Private Courtyard	III-52
E. Traffic Calming	III-53
1. Grid Street Design.....	III-53
2. Pedestrian Refuge Island.....	III-53
3. Curb Extensions	III-55
4. Landscaped Pop-Outs.....	III-56
F. Transit Planning Principles.....	III-58
G. Pedestrian Trails	III-60
1. Chula Vista Greenbelt and OVRP Trails	III-62
2. Regional Trails	III-63
3. Village Pathway	III-64
4. Community Park Access Trail	III-65
5. Promenade Trail.....	III-66
6. Community Park Paseo	III-67
7. Village Paseo.....	III-68
8. Village Streets	III-68
H. Bicycle Circulation	III-69
1. Class 2 Bike Lanes	III-69
2. Class 3 Bike Routes	III-69
3. Chula Vista Greenbelt Trail and OVRP Trails.....	III-69

4. Regional Trails	III-69
5. Additional Bicycle Routes	III-69
IV. GRADING	IV-73
A. Introduction.....	IV-73
B. Grading Requirements	IV-73
1. City of Chula Vista Grading Ordinance	IV-73
2. Otay Ranch General Development Plan.....	IV-74
3. Otay Ranch Overall Design Plan.....	IV-74
C. Grading Concept	IV-77
D. Grading Review	IV-78
V. PARKS, RECREATION, OPEN SPACE & TRAILS MASTER PLAN	V-85
A. Introduction.....	V-85
1. Purpose.....	V-85
2. Regulatory Framework.....	V-85
3. Park Requirements	V-89
B. Village Park and Recreation Program.....	V-90
1. Recreation	V-90
2. Parks.....	V-93
3. Trails and Bicycle Routes	V-100
4. Community Gardens	V-100
5. Open Space	V-101
C. Ownership and Maintenance Options	V-102
1. Community Facilities District and Homeowners Association.....	V-102
2. Public Agency Maintenance.....	V-103
3. City of Chula Vista General Services.....	V-103
D. Phasing.....	V-103
1. Parks.....	V-103
2. Open Space	V-103
3. Trails.....	V-103
VI. COMMUNITY PURPOSE FACILITY MASTER PLAN.....	VI-107
A. Introduction.....	VI-107
B. Community Purpose Facility Requirement	VI-108
C. Community Purpose Facility Implementation	VI-108

1. CPF-1	VI-110
2. CPF-2	VI-111
3. CPF-3	VI-112
4. CPF-4	VI-113
VII. DEVELOPMENT PHASING	VII-117
A. Introduction.....	VII-117
VIII. PUBLIC FACILITIES	VIII-123
A. Introduction.....	VIII-123
B. Water Supply and Master Plan.....	VIII-123
1. Water Supply.....	VIII-123
2. Potable Water Demand.....	VIII-124
3. Recycled Water Supply and Master Plan	VIII-124
4. Water Conservation.....	VIII-125
C. Sewer Service.....	VIII-129
D. Storm Drain & Water Quality	VIII-131
1. Village 8 East Drainage.....	VIII-131
2. Village 8 East Water Quality	VIII-131
E. Roads.....	VIII-135
F. Schools	VIII-135
1. Elementary Schools.....	VIII-135
2. Middle Schools & High Schools	VIII-135
3. Adult Schools	VIII-135
G. Child Care Facilities	VIII-136
1. Family Day Care Homes	VIII-136
2. Facility-Based Child Care	VIII-137
H. Police, Fire and Emergency Services.....	VIII-137
1. Police Protection	VIII-137
2. Fire Protection.....	VIII-137
3. Emergency Medical Services	VIII-138
4. Emergency Disaster Plan	VIII-138
I. Library Services	VIII-139
J. Parks, Recreation, Open Space and Trails Facilities	VIII-139
K. Civic Facilities	VIII-139
L. Animal Control Facilities	VIII-139

M. Regional Facilities.....	VIII-140
1. Integrated Solid Waste Management	VIII-140
2. Arts and Cultural	VIII-140
3. Health and Medical	VIII-140
4. Community and Regional Purpose Facilities	VIII-140
5. Social and Senior Services	VIII-141
6. Correctional.....	VIII-141
7. Transit	VIII-141
IX. GDP COMPLIANCE.....	IX-145
A. Land Use.....	IX-145
A. II.2.8.1 Land Use	IX-147
B. II.2.8.2 Mobility	IX-150
C. II.2.8.3 Housing	IX-151
D. II.2.8.4 Parks, Recreation, Open Space.....	IX-152
E. II.2.8.5 Capital Facilities	IX-153
F. II.2.8.6 Air Quality	IX-161
G. II.2.8.7 Noise	IX-164
H. II.2.8.8 Safety.....	IX-164
I. II.2.8.9 Growth Management	IX-166
J. II.2.8.10 Resource Protection, Conservation & Management	IX-166

EXHIBIT LIST

1	Document Organization Flow Chart.....	I-11
2	Regional Location Map.....	I-16
3	Vicinity Map.....	I-17
4	Aerial Map.....	I-20
5	Village 8 East Site Utilization Plan.....	II-24
6	Circulation Plan.....	III-34
7	Six Lane Prime Arterial.....	III-37
8	Four Lane Major Road.....	III-38
9	Four Lane Secondary Village Entry Street with Median.....	III-40
10	Residential Promenade Street (Modified w/Village Pathway)	III-42
11	Residential Promenade Street (Modified).....	III-44
12a	Parkway Residential Street.....	III-45
12b	Modified Parkway Residential Street (Single Loaded).....	III-47
13	Community Park Entry Street.....	III-49
14	Private Alley.....	III-50
15	Private Residential Street Section (Typical).....	III-51
16	Private Courtyard (Typical).....	III-52
17	Pedestrian Refuge Island.....	III-54
18	Typical Curb Extension.....	III-55
19	Typical Landscape Pop-Outs.....	III-56
20	Traffic Calming Location Plan.....	III-57
21	Conceptual Public Transportation Plan.....	III-59
22	Trails Plan.....	III-61
23	Chula Vista Greenbelt Trail	III-62
24	Chula Vista Regional Trail	III-63
25	Village Pathway	III-64
26	Community Park Access Trail.....	III-65
27	Promenade Trail	III-66
28	Community Park Paseo	III-67
29	Village Paseo.....	III-68
30	Bicycle Circulation Plan	III-70
31	Steep Slopes.....	IV-79

32	Conceptual Grading Plan.....	IV-80
33	Cut and Fill Plan.....	IV-81
34	Parks, Recreation, and Open Space Plan.....	V-95
35	Neighborhood Park (P-1) Concept Plan.....	V-97
36	Community Park (P-2) Concept Plan.....	V-99
37	Community Purpose Facility Master Plan.....	VI-109
38	Common Usable Open Space Concept Plan – CPF-1.....	VI-110
39	Common Usable Open Space Concept Plan – CPF-2.....	VI-111
40	Common Usable Open Space Concept Plan – CPF-3.....	VI-112
41	Common Usable Open Space Concept Plan – CPF-4.....	VI-113
42	Conceptual Phasing Plan.....	VII-118
43	Potable Water Plan.....	VIII-127
44	Recycled Water Plan.....	VIII-128
45	Sewer Plan.....	VIII-130
46	Drainage Plan.....	VIII-133
47	Water Quality Detention Facility Plan.....	VIII-134
48	Otay Ranch GDP Village 8 East Land Use Plan (Proposed).....	IX-146

LIST OF TABLES

1	Village 8 East Site Utilization Table.....	II-25
2	Land Use Alternative (R-11a & R-12a).....	II-26
3	Otay Ranch Steep Slopes.....	IV-76
4	Estimated Parkland Dedication.....	V-89
5	Estimated Conveyance Requirement.....	V-102
6	Village 8 East Conceptual Phasing Table.....	VII-119
7	GDP Exhibit 58a Village 8 East Land Use Table (Residential).....	IX-145

I. Introduction



I. INTRODUCTION

A. BACKGROUND, SCOPE, AND PURPOSE OF THE PLAN

1. Background

The Otay Ranch General Development Plan (GDP) was adopted by the Chula Vista City Council and the San Diego County Board of Supervisors on October 28, 1993 following an extensive planning process spanning over five years. The plan governs the 23,000-acre Otay Ranch properties. The Otay Ranch GDP is based upon, and directly implements the City of Chula Vista General Plan. The Otay Ranch GDP includes plans for urban villages, a resort community, the Eastern Urban Center, industrial areas, rural estate planning areas, an 11,375-acre open space preserve and a university. The Otay Ranch open space system, consisting of 13,000+ acres, facilitates completion of the Chula Vista Greenbelt System and the Chula Vista Multi-Species Habitat Conservation Plan (MSCP) Subarea Plan.

Since its original adoption in 1993, the GDP has been amended several times, most recently in 2012 to address village-specific planning issues. This project includes GDP amendments necessary to implement the Village 8 East Sectional Planning Area (SPA) Plan. Proposed amendments include, but are not limited to, increasing units, modifying village circulation, establishing the Village 8 East boundary, and other land use refinements.

In 2005, the Chula Vista City Council adopted an update to the Chula Vista General Plan; however, the Council deferred their land use decision on the southern portions of the Otay Valley Parcel, including Village 8 East. The CVGP was amended in 2013 to implement land use changes in Villages 8 West and 9. In addition, the Chula Vista Council entered into a Land Offer Agreement (LOA) with the Applicant in 2008. The LOA was subsequently amended in 2010 and again in 2014. The LOA established a framework for planning the southern portion of the Otay Valley Parcel, including the creation of a future University and Regional Technology Park. This SPA Plan implements the LOA by designating land uses consistent with the LOA in areas previously deferred by the City Council under the 2005 General Plan Update; however, amendments to the General Plan and GDP are proposed as part of this project.

2. Scope and Purpose

The Otay Ranch GDP permits urban levels of development implemented through the Otay Ranch “village” planning concept. The village concept was developed with input from the City of Chula Vista (City), County of San Diego (County), and the Metropolitan Transit System (MTS, formerly MTDB). These agencies also participated in planning for subsequent “village” SPA Plans in Otay Ranch.

In general, the concept provides for urban villages that are approximately one mile square, with distinct features that are defined by an open space system and major arterial streets. The village planning concept is intended to



promote pedestrian-oriented development and reduce reliance on the automobile. The concept provides for essential facilities and services: elementary schools, shops, civic facilities, childcare centers, and parks to be located in a village core. The highest density residential uses are located in the core and densities decrease toward the village perimeter. Otay Ranch villages that are served by regional transit are intended to have the highest residential densities and commercial uses to enhance transit ridership.

The SPA Plan is the implementation tool of the Otay Ranch GDP. It establishes design criteria for the villages and defines the type and maximum amount of development permitted. It also establishes the City's standards for each development including open space provisions and major improvements to be constructed by the developer.

This SPA Plan for Village 8 East refines and implements the land use goals, objectives and policies of the Otay Ranch GDP and Chula Vista General Plan. These refinements to the GDP and CVGP are necessary to implement the vision for Village 8 East pursuant to the LOA. This project includes Otay Ranch GDP and CVGP amendments necessary to implement the Village 8 East SPA Plan. Proposed amendments include, increasing units, boundary adjustments and other land use refinements.

This SPA Plan defines the development parameters for Village 8 East, including the land uses, design criteria, primary transportation patterns, open space and recreation concepts, and infrastructure requirements. Additionally, the character and form of the developments will be implemented through a series of guidelines and development standards prescribed in Planned Community (PC) District Regulations, Village Design Plan and other supporting documents.

The objectives of the SPA Plan are to:

- Establish an urban pedestrian-oriented village with a village core designed to reduce reliance on the automobile and promote multi-modal transportation, including walking and the use of bicycles, buses and regional transit.
- Promote synergistic uses between Village 8 East and Village 8 West, the EUC and University/Regional Technology Park to balance activities, services and facilities with employment, housing, transit and commercial opportunities.
- Implement the goals, objectives and policies of the Chula Vista General Plan, the Otay Ranch General Development Plan, the MSCP Subarea Plan, the Otay Ranch Phase 1 and Phase 2 Resource Management Plan, the Otay Ranch Facility Implementation Plan, the Otay Ranch Village Phasing Plan and the Otay Ranch Service/Revenue Plan.



- Implement the City of Chula Vista's Growth Management Ordinance to ensure public facilities are provided in a timely manner and financed by the parties creating the demand for, and benefiting from, the improvements.
- Foster development patterns which promote orderly growth and prevent urban sprawl.
- Develop, maintain and enhance a sense of community identity which complements the Village 8 West Town Center and surrounding land uses.
- Accentuate the relationship of the land use plan with its natural setting and the physical character of the region, and promote effective management of natural resources by concentrating development into less sensitive areas while preserving large contiguous open space areas with sensitive resources.
- Add to the creation of a unique image and identity which differentiates Otay Ranch from other communities.
- Wisely manage limited natural resources.
- Establish a land use and facility plan that assures the viability of the SPA Plan Area in consideration of existing and anticipated economic conditions.
- Establish multi-use trail linkages to the Chula Vista Greenbelt, consistent with the Greenbelt Master Plan.
- Implement the Otay Valley Regional Park Concept Plan within the SPA boundary through the planning and provision of portions of the City's Greenbelt trail network and active recreation area.
- Designate a portion of Active Recreation Area (AR-11) as a 51.5-acre Community Park (a portion of the park may function as a staging area within the OVRP).
- Establish a community park with amenities such as multipurpose open lawn areas, lighted ball fields, lighted sports courts, lighted picnic shelters, play areas, a community center building, lighted parking areas, and restroom and maintenance buildings.
- Provide a wide variety of housing options, including affordable housing, to City residents, future students and faculty of the planned four-year University and employees of the Regional Technology Park, Village 8 West and Village 9 Town Centers, and the EUC.

This SPA Plan and supporting PC District Regulations supplement other City regulations and function as the zoning ordinance for Village 8 East. Wherever in conflict, this SPA Plan shall apply. Where a topic is not addressed by this SPA Plan, appropriate City regulations shall apply.



B. DOCUMENT ORGANIZATION

This SPA Plan is divided into several components: the SPA Plan; PC District Regulations; Village Design Plan; Public Facilities Finance Plans; Affordable Housing Plan; Air Quality Improvement Plan; Water Conservation Plan; Non-Renewable Energy Conservation Plan; Parks, Recreation, Open Space and Trails Plan; Community Purpose Facility Master Plan, Agriculture Plan, Preserve Edge Plan, Fire Protection Plan and supporting Technical Studies and Plans. Exhibit 1 depicts how these documents are related. The purposes of these documents are as follows:

I. SPA Plan

The purpose of the SPA Plan is to define, in more detail than the City's General Plan and Otay Ranch GDP, the development parameters for Village 8 East, including the land uses, design criteria, circulation pattern, open space and recreation concept and infrastructure requirements to support the community.

2. Planned Community District Regulations

The PC District Regulations are the zoning regulations for the village. These regulations implement the goals and policies of the CVGP, Otay Ranch GDP, and the SPA Plan by establishing land use districts and standards to classify, regulate, restrict and separate the uses of land, buildings and structures, and regulate and limit the type, height and bulk of buildings and structures in each land use district. These standards are established to protect the public health, safety and general welfare of the citizens of Chula Vista; to safeguard and enhance the appearance and quality of development and to provide the social, physical and economic advantages resulting from comprehensive and orderly planned use of land resources. The regulations provide the basis by which the City will review and evaluate the preliminary and final drawings for subsequent development applications, and provide guidance at the design review level. In the event of conflict, these zoning regulations supersede other City zoning regulations. The PC District Regulations are adopted by Ordinance pursuant to Title 19 of the Chula Vista Municipal Code.

3. Village Design Plan (VDP)

This document guides the site, building and landscape design within the village to ensure the quality of the adopted urban design and architectural concepts established for the overall Otay Ranch community are maintained. The Village Design Plan identifies a theme for the village and delineates that identity through streetscape and landscape design, architecture, signage programs and lighting guidelines. The Village Design Plan, as well as the SPA and Tentative Map, provide for an internal trail network and connectivity to the adjacent trail network (i.e. Chula Vista Greenbelt Trail and Regional Trail). The VDP also identifies the village core design concept that will implement Otay Ranch's planned pedestrian and multi-modal orientation.



In addition to the VDP, a subsequent Master Precise Plan may be prepared for the village core area. The Master Precise Plan serves as a link between the approved SPA/Village Design Plan and future development in the village core.

4. Public Facilities Finance Plans

The Public Facilities Finance Plan (PFFP) implements the City of Chula Vista Growth Management Program and Ordinance to ensure the phased development of the project is consistent with the overall goals and policies of the City's General Plan, Growth Management Program, and the Otay Ranch GDP. The PFFP ensures facilities are constructed concurrent with demand such that development of the project will not adversely impact the City's Quality of Life Standards. The PFFP also contains a fiscal analysis identifying capital budget impacts on the City as well as maintenance and operation costs for each phase of development.

The PFFP components include an analysis of infrastructure facilities such as drainage, traffic, water and sewer, and the provision of community services and facilities including fire protection and emergency services, law enforcement, libraries, schools and parks. The analysis and provisions of the PFFP fulfill the GDP requirements for SPA-level Master Facility Plans for most facilities associated with the development of the villages. Where additional project-specific study and planning is needed, separate technical studies and plans for the villages have been prepared and included as a component of the SPA Plan or the Project Environmental Impact Report (EIR).

5. Affordable Housing Plan

The City of Chula Vista General Plan Housing Element requires residential development with fifty (50) or more dwelling units provide a minimum of 10% of the total dwelling units for affordable housing. Of these affordable housing units, one-half (5% of the total project) is to be designated available to low income households and the remaining five percent (5%) to moderate income households. To guarantee the provision of Affordable Housing opportunities, the City requires a specific Affordable Housing Plan ("AHP") be prepared by the Developer. The Affordable Housing Plan is implemented through an Affordable Housing Agreement between the City and the Developer.

The AHP delineates how, when and where affordable housing units will be provided, intended subsidies, income and/or rent restrictions, and methods to verify compliance.

6. Air Quality Improvement Plan (AQIP)

The purpose of the Air Quality Improvement Plan (AQIP) is to respond to the Growth Management policies of the City of Chula Vista and those policies and regulations established at the broadest geographic level (State and Federal) to minimize air quality impacts during and after construction of



projects. The AQIP also demonstrates compliance with the air quality standards and policies of the San Diego County Air Pollution Control District (APCD).

7. Water Conservation Plan (WCP)

The purpose of the Water Conservation Plan (WCP) is to respond to the Growth Management policies of the City of Chula Vista which are intended to address the long term need to conserve water in new developments, to address short term emergency measures and to establish standards for water conservation.

8. Energy Conservation Plan

The Otay Ranch GDP requires all SPA Plans to include a Non-Renewable Energy Conservation Plan. The Energy Conservation Plan identifies measures to reduce the use of non-renewable energy resources through, but not limited to: transportation; building design and use; lighting; recycling and alternative energy sources.

9. Park, Recreation, Open Space and Trails Plan

The Otay Ranch GDP requires all SPA Plans to include a Parks, Recreation, Open Space and Trails Plan. This Plan identifies locations, conceptual designs, ownership, maintenance and phasing of park, recreation and trails facilities within the SPA Plan Area. The Plan also establishes linkages to the Chula Vista Greenbelt Trail and Regional Trail. The Park, Recreation, Open Space and Trails Plan is provided as Section V of the Village 8 East SPA Plan.

10. Community Purpose Facility Master Plan

The City of Chula Vista Municipal Code requires the preparation of a Community Purpose Facility Master Plan as a component of a SPA Plan. This Plan identifies the location of sites, acreages and facilities in the village. The Community Purpose Facility Master Plan is provided as Chapter VI of the Village 8 East SPA Plan.

11. Agriculture Plan

The 1993 Otay Ranch Program EIR requires the preparation of an Agriculture Plan concurrent with the approval of any SPA Plan affecting onsite agricultural resources. This Plan describes the type of agriculture activities allowed as an interim use, including buffering guidelines designed to prevent potential land use interface impacts related to noise, odors, dust, insects, rodents and chemicals which may accompany agricultural activities and operations.

12. Preserve Edge Plan

In accordance with the Otay Ranch Resource Management Plan (RMP), a Preserve Edge Plan must be prepared for all SPA Plans that contain areas adjacent to the Otay Ranch Preserve. The purpose of the Preserve Edge Plan



is to identify allowable uses within appropriate land use designations for areas adjacent to the Preserve.

13. Fire Protection Plan

In accordance with the requirements of the City of Chula Vista Fire Department, Chapter 49 of the 2010 California Fire Code, and the City of Chula Vista Fire Code, a Fire Protection Plan must be provided for all new development in the Wildland Urban Interface (WUI). The Fire Protection Plan identifies the wildfire risk associated with the proposed development in the WUI area and provides measures to minimize and mitigate potential for loss. A Fire Protection Plan addressing Village 8 East has been prepared.

14. Technical Studies and Plans

The Otay Ranch GDP identified Project-wide Implementation Tasks including preparation of an Overall Design Plan, Master Facility Plans and the Resource Management Plan (Phase 2) for Otay Ranch. These project-wide implementation tasks have been completed and serve as the basis for subsequent SPA planning. The GDP also identified SPA Implementation Tasks that included preparation of SPA Plans, PFFPs, Regional Facilities Reports, Master Facilities Plans, and others. The full list of GDP and SPA Implementation tasks are located in Part III, Implementation, of the 1993 GDP (pages 403-412). During the preparation of SPA One, a number of Master Facility Plans were prepared to address the provision of certain facilities on a Ranch-wide basis. For this reason, subsequent SPA Plans are required only to prepare Plans and Technical Studies specific to their development. The Plans for the villages are listed and described above.

Technical studies for the SPA Plan Area have been prepared for the Project Environmental Impact Report (EIR), the PFFP, or as part of this SPA Plan. These plans and studies, in conjunction with mitigation measures identified by the EIR, fulfill the Otay Ranch GDP requirements for individual Village SPA Plan implementation. The technical studies and plans include: [add dates when reports become final]

- Biological Technical Report for Otay Ranch University Villages, Prepared by Dudek & Associates, May 2014.
- University Villages Traffic Impact Analysis – Otay Ranch Villages 3 North and a Portion of Village 4, 8 East and 10, prepared by Chen and Ryan Associates, July 2014.
- Archaeological Evaluation of Cultural Resources at the Otay Ranch Villages 3 North and a Portion of 4, 8 East and 10, prepared by Brian Smith and Associates, March 2014.
- Paleontological Resource and Monitoring Assessment for Villages 3 North and a Portion of 4, 8 East and 10, prepared by Brian Smith and Associates, March 2014.



- Air Quality and Global Climate Change Technical Report for the Otay Ranch University Villages Project, prepared by Dudek & Associates, May 2014.
- Noise Assessment Technical Report for the Otay Ranch University Villages Project, prepared by Dudek & Associates, May 2014.
- Phase I Environmental Site Assessment for Village 3 North and a Portion of Village 4, 8 East and 10 Coast2Coast Environmental, November 11, 2011.
- Master Drainage Study for Otay Ranch Village 8 East, prepared by Hunsaker & Associates, June 2014.
- Master Water Quality Technical Report for Otay Ranch Village 8 East, prepared by Hunsaker and Associates, June 2014.
- Overview of Sewer Service for Otay Ranch Villages 3 North and a Portion of Village 4, 8 East, and 10, prepared by Wilson Engineering, May 2014.
- Overview of Water Service for Otay Ranch Villages 3 North and a Portion of Village 4, 8 East, and 10, prepared by Wilson Engineering, May 2014.
- Geotechnical Investigation for Otay Ranch Village 8 East, prepared by GEOCON, Inc., November 21, 2012.
- Air Toxics Health Risk Assessment for Otay Ranch Village 8 East, prepared by Scientific Resources Associates, April 2013
- Fire Protection Plan University Villages – Village 8 East, prepared by Dudek July 2014.



University Villages Sectional Planning Area Plan

Planned Community Regulations

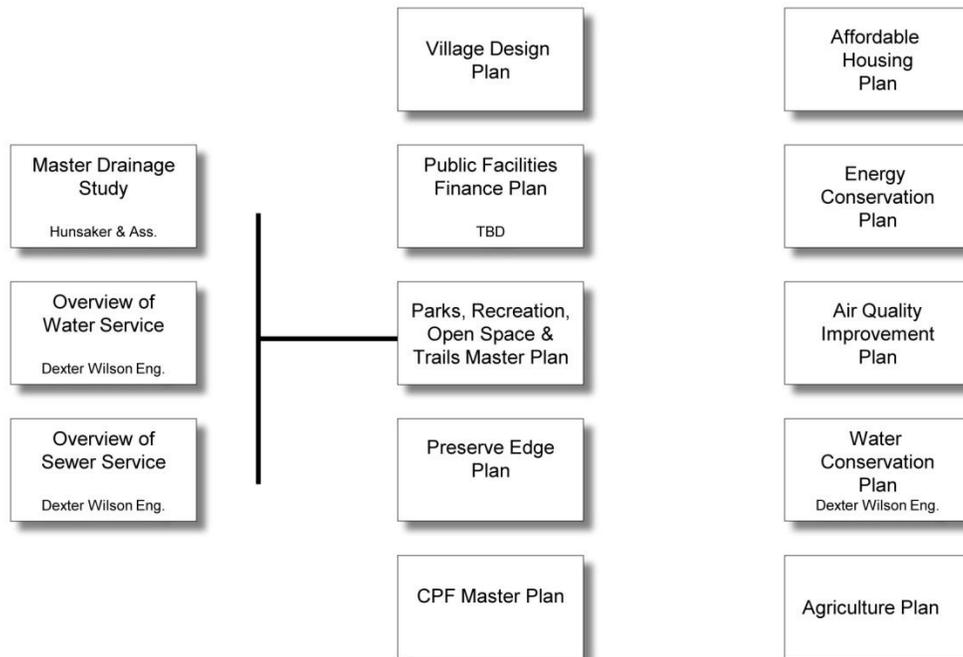


Exhibit 1
Document Organization Flow Chart



C. LEGAL SIGNIFICANCE AND CEQA

The project is subject to the requirements of the California Environmental Quality Act (CEQA). The provisions of CEQA will be implemented by the City as part of the approval process of this SPA Plan. All mitigation measures and monitoring activities identified and incorporated into the project as part of the CEQA process shall be implemented through this SPA Plan or other appropriate components of the SPA Plan. All future discretionary permits will need to be consistent with this SPA Plan.

D. RELATED DOCUMENTS

The Chula Vista General Plan and Otay Ranch General Development Plan establish the broad policy level standards and requirements for planning Village 8 East. The Otay Ranch GDP also authorizes the level of development intended within the SPA Plan Area and establishes the PC Zoning implementation process. All of the other documents that are components of the SPA Plan package (Village Design Plans, Public Facility Finance Plans, etc.) are prepared concurrently and based on this SPA Plan.

Concurrent with the SPA level documents, subdivision maps and improvement plans will be prepared which will provide the detailed information necessary to construct the project described by the SPA level documents. These plans, the construction process and ultimate uses/activities within the SPA must comply with the applicable provisions of this SPA Plan and related documents, including:

- City of Chula Vista General Plan;
- Otay Ranch General Development Plan;
- Otay Ranch Resource Management Plan (Phase 1 and 2);
- Multi-Species Conservation Plan (MSCP) Subarea Plan;
- City of Chula Vista Parks and Recreation Master Plan;
- City of Chula Vista Greenbelt Master Plan;
- Otay Valley Regional Park Concept Plan;
- Otay Valley Regional Park Design Standards & Guidelines;
- Otay Valley Regional Park Trail Guidelines; and,
- July 8, 2014 Land Offer Agreement
- Chula Vista Fire Facility Master Plan (2014)

E. LAND OFFER AGREEMENT

This SPA Plan is internally consistent with the applicable provisions of the Land Offer Agreement, dated June 17, 2014 between the City of Chula Vista and SSBT LCRE V, LLC (Applicant).

II. Development Concept



II. DEVELOPMENT CONCEPT

A. LOCATION AND REGIONAL SETTING

The SPA Plan Area is located at the southern edge of the Otay Valley Parcel of Otay Ranch, just north of the Otay River Valley. Exhibit 2 illustrates the regional location of the SPA Plan Area; Exhibit 3 illustrates the location of Village 8 East within the Otay Valley Parcel of Otay Ranch.

Village 8 East is located south of Main Street, west of SR-125 and north of the Otay River Valley. Existing development in the vicinity of Village 8 East includes Otay Ranch Village 7 to the north. Future development includes Village 8 West to the west and Otay Ranch Village 9 to the east.

B. DESIGN INFLUENCE

The Chula Vista General Plan and the Otay Ranch planning documents (Otay Ranch General Development Plan, Overall Design Plan, and other SPA plans for Otay Ranch) describe the general design characteristics of Otay Ranch villages. The design of Village 8 East is based on those guiding documents, the unique on-site characteristics including the landform and aesthetics, existing and planned circulation patterns, and land use relationships between Village 8 East and surrounding development, especially Village 8 West and Village 9. The urban village concept described in the Otay Ranch GDP provides additional focus for the village. While general design influences are described below, design features and development requirements are addressed in the PC District Regulations and Village Design Plan.

I. Site Characteristics and Visual Context

The Village 8 East landform consists of large mesas sloping into the Otay River Valley. One prominent drainage tributary to the Otay River extends north from the river valley into the SPA Plan Area. The Otay River Valley, part of the Otay Ranch Preserve and Otay Valley Regional Park, is located south of Village 8 East and provides view opportunities. While situated above the bottom of the river valley, Village 8 East is visible to users of the Otay Valley Regional Park and Chula Vista Greenbelt trail systems. Further, Village 8 East is visible from the SR-125 tollway, which is generally below the SPA Plan Area.

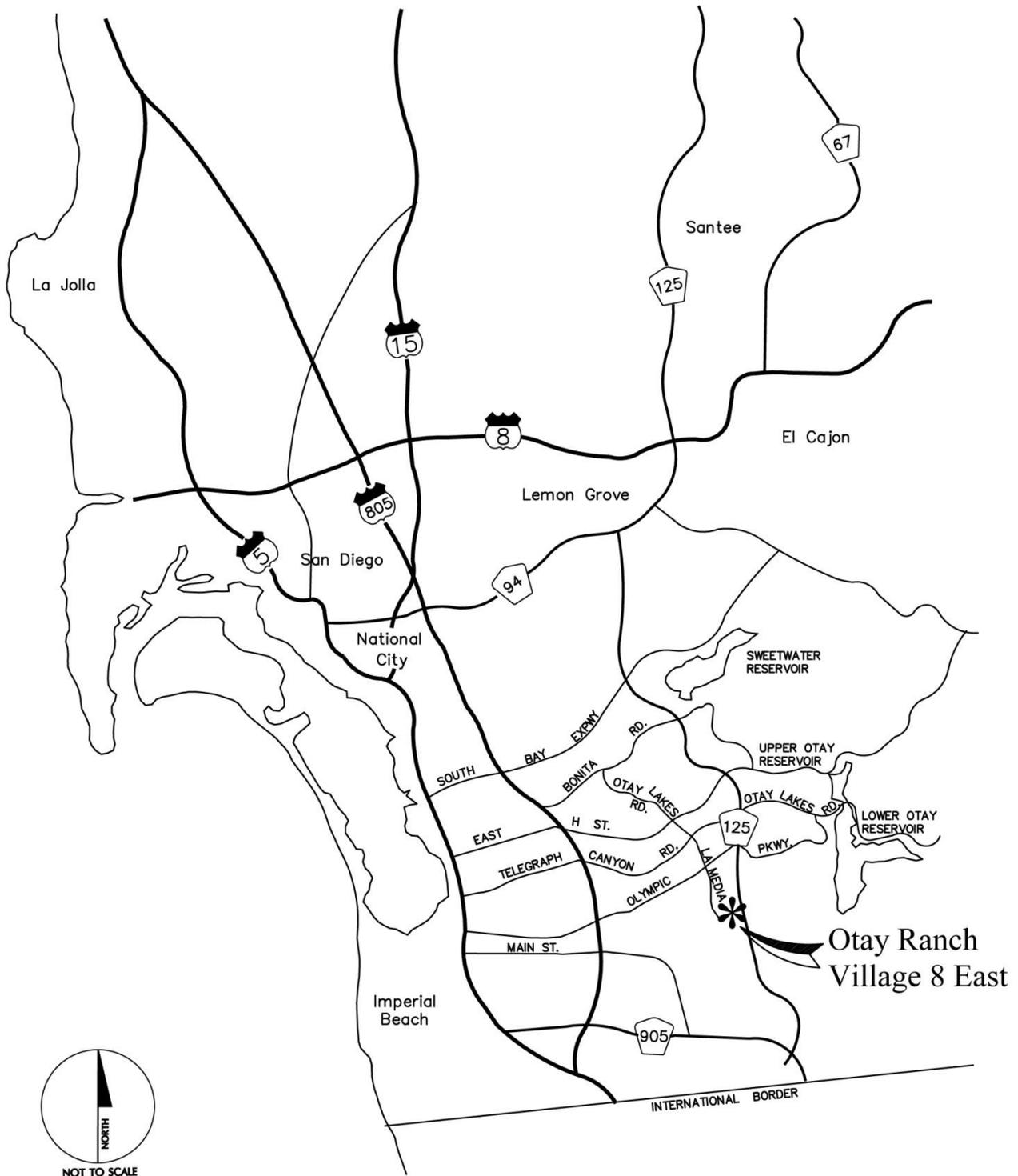


Exhibit 2
Regional Location Map

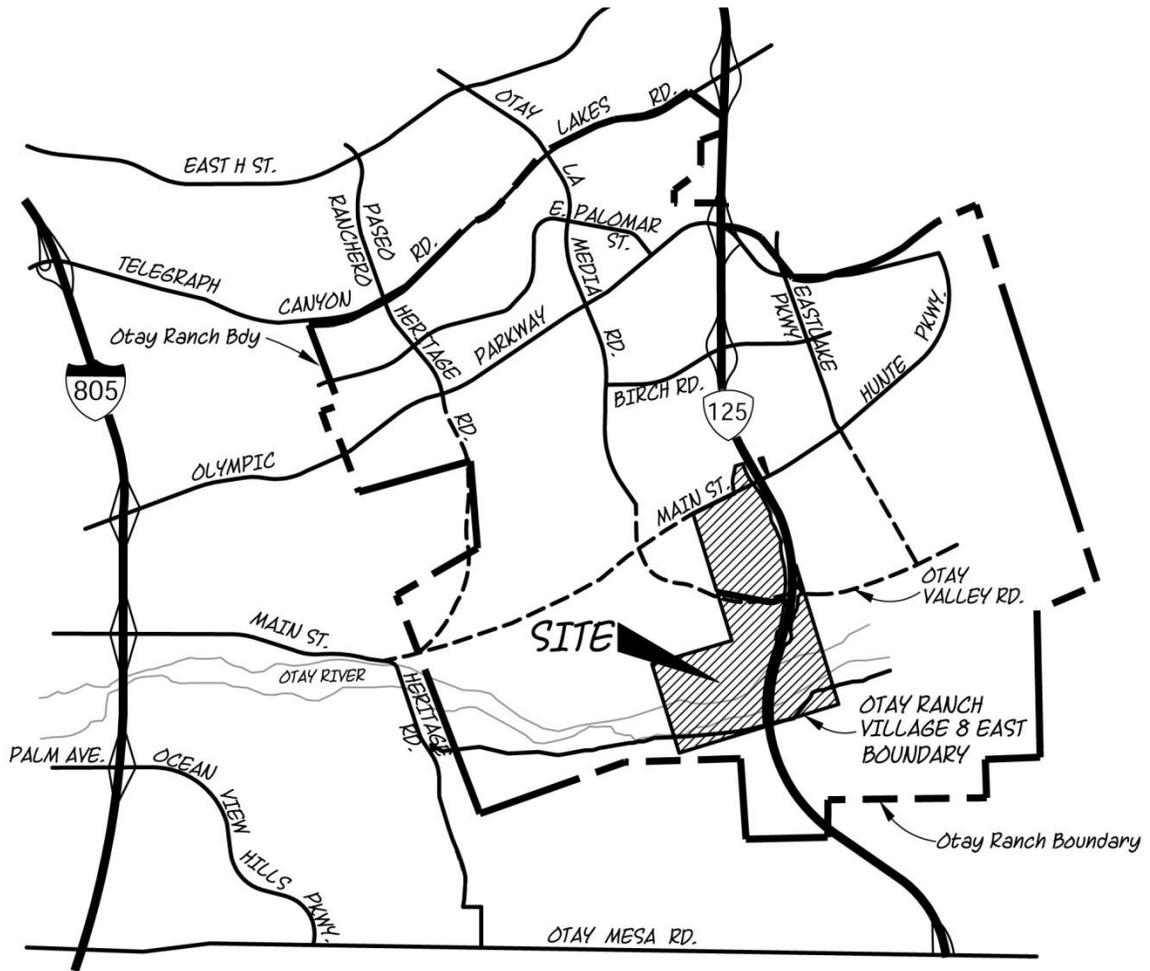


Exhibit 3
Vicinity Map



2. Circulation

The northern edge of Village 8 East is defined by the extension of Main Street, identified by the Otay Ranch GDP as a 6-Lane Prime Arterial. Otay Valley Road, a planned 4-lane extension of existing La Media Road connecting the Village 8 West Town Center to Village 9, is planned to bisect the southern third of Village 8 East in an east/west direction. These Circulation Element roads establish connection points which Village 8 East must accommodate and thereby set general elevations and corresponding grades. The SR-125 toll road sets the eastern edge of the village.

3. Surrounding Land Uses

The SPA Plan Area is located at the southern limit of the Otay Valley Parcel. The village planning concept provides for compatible land uses between adjoining villages. Immediately surrounding the SPA Plan Area are existing and planned development areas and dedicated Preserve open space. Existing development includes Otay Ranch Village 7 and Olympian High School, located north of Village 8 East; and SR-125 immediately east of the village.

The Village 8 West SPA Plan Area, which includes the Village 8 West Town Center and is planned for up to 2,050 residential units and up to 300,000 SF of commercial/retail, is immediately west of the project site. Village 8 East is planned as a complimentary village to Village 8 West by providing additional density in support of the Village 8 West Town Center. The two villages are connected by a series of trails including the Village Pathway through the village core, Regional Trails along Main Street and Otay Valley Road and the Chula Vista Greenbelt Trail located within the Otay River Valley.

Future Village 9 and the University and Regional Technology Park are located to the east of Village 8 East. Village 9 is planned for 4,000 residential units and up to 1.5 Million SF of commercial retail. Village 8 East is connected to Village 9 by the village pathway which connects to a future off-site pedestrian bridge spanning SR-125, and Regional Trails along Main Street and Otay Valley Road.

These villages/planning areas are expected to be built out by 2030. The existing and planned communities and land uses surrounding the SPA Plan Area are depicted on Exhibit 4. Section II.D – Land Use Pattern provides additional context for how planned development in Villages 8 West and 9 influenced the design of Village 8 East.

C. COMMUNITY STRUCTURE

Village 8 East is designed as an urban village with a pedestrian oriented and multi-modal transportation focus. The design is consistent with the goals of the Otay Ranch GDP which guide the creation of a distinct, residential community including a village core with a strong connection to surrounding villages. The community is designed to attract village residents to the core for social, education, neighborhood shopping and recreation and community



activities. With its proximity to the Village 8 West Town Center, Village 8 East (see Exhibit 21) is part of a larger community that collectively meets the commercial/retail, employment, and housing needs of the Central District of the Otay Ranch Planning Area.

A variety of residential neighborhoods are planned surrounding the village core connected by an internal circulation network that emphasizes pedestrian comfort and safety. The hierarchical pedestrian circulation system includes the Chula Vista Regional Trail, Chula Vista Greenbelt Trail, Village Pathway, a Pedestrian Paseo, Promenade Trails and open space trail linkages. Village 8 East includes an approximately $\frac{3}{4}$ mile segment of the Chula Vista Greenbelt Trail. This segment will be implemented according to the Greenbelt Master Plan and OVRP Design Standards and Guidelines.



Exhibit 4
Aerial Map



Though Village 8 East is bifurcated by Otay Valley Road, a 4-Lane Major Road, a Village Pathway will connect the southern neighborhoods to the village core. In addition, pedestrian connections are planned to the City's Greenbelt system and the Community Park within the Otay Valley Regional Park to the south, the Village 8 West Town Center and Village 9 and the University. Access to the regional transportation network includes a potential Bus Rapid Transit stop along Main Street and local bus service through the village with a possible bus stop in the village core and along Otay Valley Road. Bicycle circulation is accommodated along Main Street and Otay Valley Road, as well as the internal street network.

D. LAND USE PATTERN

Village 8 East is designed as an urban village with a pedestrian and multi-modal transportation oriented focus. The land use pattern required by the Otay Ranch GDP for urban villages emphasizes high density residential and commercial land uses located near public transit to enhance ridership. The highest density residential uses are close to the village core and the Village 8 West Town Center, creating opportunities for synergistic land use relationships and access to planned transit stations including the future Rapid Bus station in the Village 8 West Town Center.

The village design is intended to provide balanced and diverse land uses, environmentally sensitive development, and transit and pedestrian orientation, creating a "sense of place" for village residents. The Village 8 East Site Utilization Plan is provided in Exhibit 5. The village is composed of public and mixed uses with higher density residential development forming a village core with a focus on multi-modal transportation opportunities, including pedestrian, bicycle and transit.

The Village 8 East village core area is centrally located, placing the highest activity land uses within walking distance of a majority of homes. The village core includes an elementary school, a neighborhood park, community purpose facility sites, higher density residential and commercial/mixed use land uses. The location of mixed use commercial/retail land uses within the village core provides neighborhood serving land uses within walking distance of a majority of Village 8 East residents. A local bus stop may also be provided within the village core. A "Main Street" village identity is created along the Mixed Use frontage. As described in greater detail in the Village 8 East Design Plan, the Main Street theme is created through special paving, landscaping and architectural treatment at the mixed use and commercial area.

The land use pattern establishes key pedestrian connections along Main Street and Otay Valley Road between village serving land uses in the core and the surrounding residential neighborhoods. The extension of Main Street forms the northern boundary of the Village. Otay Valley Road provides secondary access to Village 8 East as it links through Village 8 West and crosses SR-125 to connect with the University Planning Area (Villages 9 and 10 and the University and RTP). Regional Trails are provided on Main



Street and Otay Valley Road. Village 8 East is connected to Village 9 via a future off-site pedestrian bridge which spans SR-125 and creates a pedestrian linkage from the Village 8 West Town Center through Village 8 East and to the University Planning Area as depicted in the Otay Ranch Overall Design Plan. A village paseo is provided within the northeast portion of the Village to provide a strong pedestrian linkage through single family neighborhoods to the village core. Village 8 East includes a $\frac{3}{4}$ mile segment of the Chula Vista Greenbelt/OVRP Trail. Two pedestrian connections from Village 8 East to the Chula Vista Greenbelt/OVRP trail are provided along the Community Park Entry Drive and Community Park Paseo. Three points of pedestrian access are provided between the Community Park and the Greenbelt/OVRP trail along the parks, southern edge.

Consistent with the village planning concept, higher density residential development is located in the village core with decreasing densities and single family detached homes located towards the perimeter of the village. A mixed-use area is designated within the village core to provide neighborhood serving retail/commercial uses within the village core. The single-family residential neighborhoods of the village are connected by a grid street system to create multiple pedestrian and vehicular travel options throughout the village. Densities generally decrease west to east and north to south, with the less dense single family homes located in the southern village portion of the village.

Private recreational facilities (designated "CPF" on the plan) and private open space (designation "P-OS" on the plan) are centrally located in the residential neighborhoods and are connected to the core along a network of Promenade streets. These private recreational facilities, along with the Neighborhood Park and elementary school, are located to create a series of open space focal points within the village.

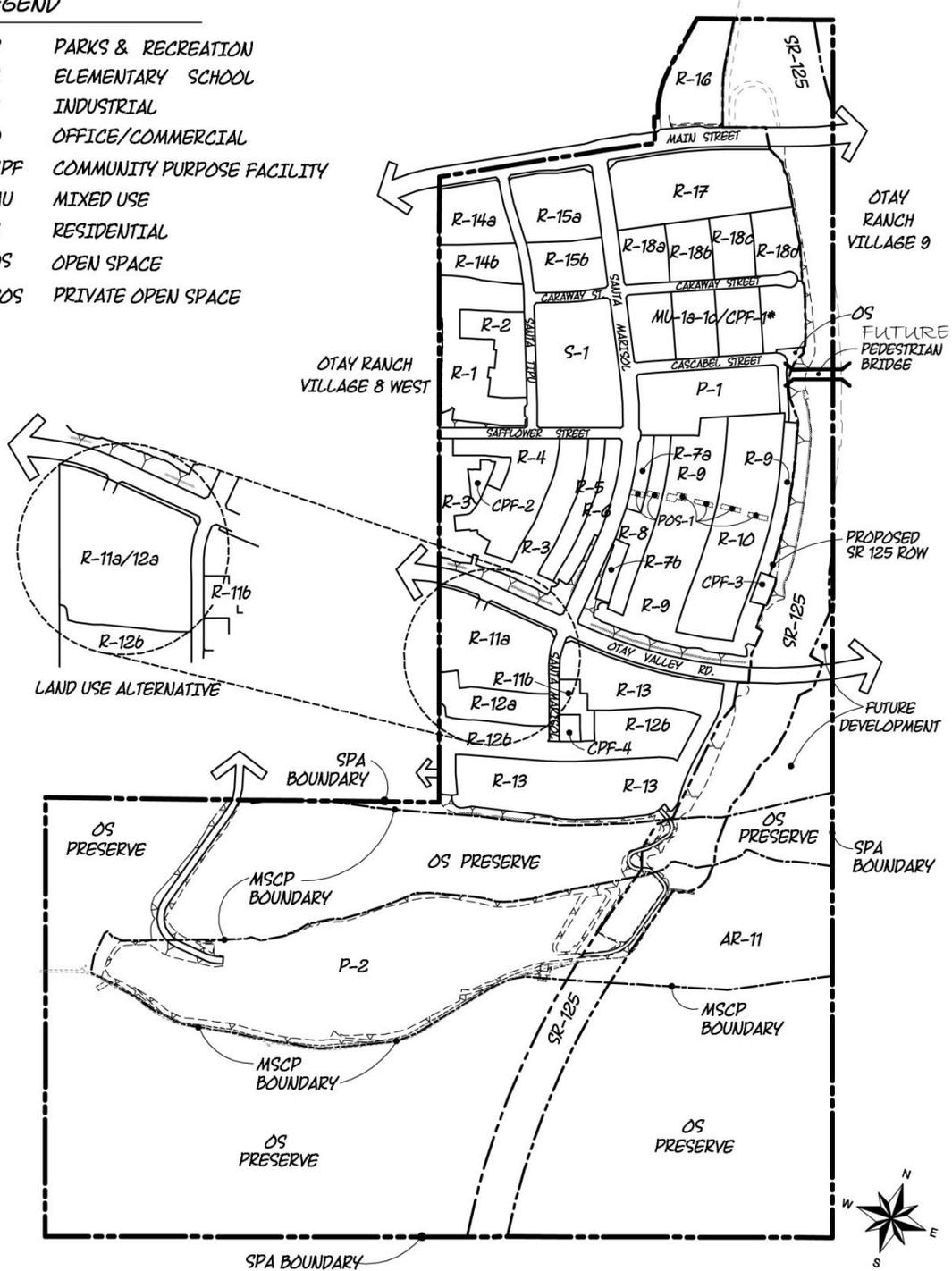


THIS PAGE LEFT INTENTIONALLY BLANK



LEGEND

- P PARKS & RECREATION
- S ELEMENTARY SCHOOL
- I INDUSTRIAL
- O OFFICE/COMMERCIAL
- CPF COMMUNITY PURPOSE FACILITY
- MU MIXED USE
- R RESIDENTIAL
- OS OPEN SPACE
- POS PRIVATE OPEN SPACE



*The CPF-1 Site may be located on any portion of the MU Parcel. The exact location shall be determined during the Design Review process or Final Map process, whichever occurs first.

**Exhibit 5
 Village 8 East Site Utilization Plan**



Land Use Summary	Unit Type	Acres	Units	Target Density
Neighborhood				
Single Family				
R-1	SF	8.4	76	9.0
R-2	SF	3.9	34	8.7
R-3	SF	9.8	80	8.2
R-4	SF	7.6	52	6.8
R-5	SF	2.7	23	8.5
R-6	SF	2.6	25	9.6
R-7a ¹	SF	1.2	14	11.7
R-7b	SF	0.9	11	12.2
R-8 ¹	SF	3.8	33	8.7
R-9 ¹	SF	17.1	159	9.2
R-10 ¹	SF	13.5	111	8.5
R-11a ²	SF	9.3	74	8.0
R-11b	SF	1.3	10	7.7
R-12a ²	SF	3.9	29	7.4
R-12b	SF	10.6	72	6.8
R-13	SF	20.5	140	6.8
Single Family Total		117.1	943	8.1
Multi Family Residential				
R-14 (a and b)	MF	7.1	329	46.3
R-15 (a and b)	MF	9.6	452	47.1
R-16	MF	6.2	287	46.3
R-17	MF	12.0	562	46.8
R-18 (a, b, c, and d)	MF	11.3	547	48.4
Multi Family Total		46.2	2,177	47.1
Mixed Use				
MU-1 (a, b, c) ³	MU	9.2	440	46.3
Mixed Use Total		9.2	440	46.3
Residential Total				
		172.5	3,560	20.6
Future Development (Lot A)				
		0.9		
Future Development (Lot B)				
		7.3		
Future Development Total		8.1		

Land Use Summary	Acres	Units
Other		
Community Purpose Facilities		
CPF-1 ⁴	2.9	
CPF-2 ⁵	0.5	
CPF-3 ⁵	0.5	
CPF-4	0.6	
CPF Total	4.5	
Parks		
P-1 (Neigh.)	7.3	
P-2 (Comm.)	51.5	
Parks Total	58.8	
Active Rec		
AR-11	22.6	
Active Rec Total	22.6	
School		
S-1	10.8	
School Total	10.8	
Open Space Total		
	11.2	
Preserve Total		
	253.6	
Circulation		
External Circulation	9.9	
Internal Circulation	19.7	
Circulation Total	29.6	
SR-125		
Lots 1-3	3.6	
SR-125 Circulation Total	3.6	
TOTAL	575.3	3,560

¹ POS-1 acreage is included in Neighborhoods R-7a, R-8, R-9, and R-10.

² Land Use Alternative may be implemented in Neighborhoods R-11a and R12a.

³ 20,000 sf Minimum Commercial Square Footage

⁴ The CPF-1 Site may be located on any portion of the MU Site.

⁵ A Total of 0.2 acres within the CPF-2 and/or CPF-3 site may be used to satisfy all or a portion of the Common Useable Open Space requirement for neighborhoods within ¼ mile of the CPF-2 or CPF-3 site.

Table 1
Village 8 East Site Utilization Table



E. MAPPING REFINEMENTS AND DENSITY TRANSFERS

The SPA Plan provides guidance for future development at the subdivision and improvement plan levels, and is the basic reference for determining permitted land uses, densities, total units and required public facilities. The SPA Plan is not intended to be used in a manner that predetermines the development solution for each and every parcel. It is intended to reflect the City's intent for determining the intensity, design and desired character of use for the property.

The development parcels and interior circulation indicated on the Site Utilization Plans is conceptual. Minor modifications to these configurations may occur as a part of the tentative tract map approval process. Modifications to the SPA Plan exhibits and text, to reflect adjustments based on an approved tentative tract map, may be accomplished without a formal SPA amendment, through the substantial conformance procedure established in the PC District Regulations.

Further, the SPA Plan is not a guarantee that a certain dwelling unit yield will be achieved at the subdivision level. The maximum density as specified for individual parcels shall not be exceeded; however, actual dwelling unit yields for projects will be determined by field conditions, site plan and architectural review, and a number of external factors that influence the design and density of individual projects. Transfers in density from one parcel to another and minor lot size modifications may be permitted subject to the following and Section X. Implementation & Administration, Otay Ranch Village 8 East, Planned Community District Regulations.

I. Land Use Alternative Implementation

The Village 8 East SPA Plan contains a Land Use Alternative for Neighborhoods R-11a and R-12. The Tentative Map provides a layout for single family homes within both of these neighborhoods. However, in order to provide greater flexibility to respond to changing market conditions through build-out of the village, a multi-family Land Use Alternative is included in this SPA. Under the Land Use Alternative, the two neighborhoods would be combined and developed as one multi-family neighborhood. The two affected neighborhoods are described below.

Table -2: Land Use Alternative – Neighborhoods R-11a and R-12a (15.4 acres)

Product Type	Maximum Units	Density	Zoning
R-11a Single Family Detached	74	8.0 DU/AC	RM-2/SF-4
R-12a Single Family detached	29	7.4 DU/AC	RM-2/SF-4



In order to implement the multi-family option within Neighborhoods R-11a and R-12a, units would be transferred from other multi-family neighborhoods within Village 8 East and/or other multi-family neighborhoods in Villages 3 North or 10, subject to the Density Transfer discussion below. A maximum of 346 multi-family units may be transferred to the combined R-11a / R-12a parcel, resulting in a maximum of 449 DUs. Intensity transfers associated with implementation of the Land Use Alternative are permitted subject to the findings and conditions delineated in the Village 8 East PC District Regulations, Chapter X, Implementation & Administration.

2. Density Transfers Between Villages

Villages 3 North and a Portion of Village 4 (Village 3 North), 8 East and 10 are being concurrently planned and processed as three separate SPA Plans. Pursuant to the LOA between the City of Chula Vista and SSBT LCRE V, LLC (Applicant) dated July 8, 2014, 6,897 units are allocated amongst the three SPA Plan Areas. Because these villages will be built out over approximately 15 years, it is impossible to determine the market demand in each village throughout build-out. Therefore, to accommodate future fluctuations in market demand, the LOA permits density transfers between villages of up to 15% of the total units authorized for each village. The criteria below must be met for the density transfer to be approved without a SPA Plan Amendment.

Pursuant to the LOA, the Applicant may transfer, at its discretion, up to fifteen percent (15%) of the units allocated to a village within the Project to another village within the same Project. The Development Services Director may approve, in his or her discretion, any transfer of units more than fifteen percent (15%) or any transfer of units to another village within Otay Ranch but not within the Project, if all of the following requirements are satisfied:

- The transfer of units between villages is consistent with the village design policies and the Entitlements for the village into which the units are being transferred;
- The total number of units for the Project is not exceeded;
- Public facilities and infrastructure including schools and parks are provided based on the final number of units within each village or Planning Area;
- The planned identity of the villages are preserved including the creation of pedestrian friendly and transit-oriented development;
- Preserve conveyance obligations will continue to be based on the final map development area; and



- The Applicant provides proof to the City of Chula Vista that all affected property owners (owners of any parcel subject to the proposed transfer) consent to the Density Transfer.

3. Secondary Designation for Elementary School Site

The elementary school site has been designated on the Village 8 East Site Utilization Plan for planning purposes; however, if a school district determines that a site will not be used for school purposes, the zoning will revert to RM-2 with densities of over 18 dwelling units per acre. Transfers of intensity to unused school sites are subject to the Village 8 East PC District Regulations Chapter X, Implementation & Administration.

III. Circulation



III. CIRCULATION PLAN

A. INTRODUCTION

The Village 8 East Circulation Plan provides a system that extends existing transportation routes and constructs planned facilities. The circulation plan incorporates vehicular and non-vehicular modes of transportation with public transportation as required by the Otay Ranch GDP. The Chula Vista General Plan Land Use and Transportation Element encourages, “a sustainable circulation/mobility system that provides transportation choices and is well-integrated with the City’s land uses.” In addition, the CVGP includes policies which emphasize improved linkages between land development and pedestrian networks, including:

- Promote and encourage development (mixed-use, commercial and residential) that is organized around compact, walkable, mixed use neighborhoods and districts that are in close proximity to a wide variety of employment, goods and services, so as to reduce reliance on the automobile.
- Encourage inviting, well-planned, pedestrian-friendly street environments in all new development with good site design, adequate walkway widths, and amenities.
- Encourage and promote pedestrian-friendly elements for transit including enhancements to roadways, interchanges and bridge crossings.
- Promote the use of non-polluting and renewable alternatives for mobility through a system of bicycle and pedestrian paths and trails that are safe, attractive and convenient forms of transportation.
- Support healthy lifestyles among residents through increasing opportunities for regular physical activity by encouraging the development of a network of pedestrian walkways in all neighborhoods.

The Village 8 East Circulation Plan establishes a network that provides access to the community as established by the Otay Ranch GDP and in accordance with the CVGP. The Circulation Plan arranges roads into a hierarchy, organized by function, to facilitate access within and around the village. These facilities are designed to create an integrated system of roads, bike lanes, trails and pedestrian walkways. In Village 8 East, a grid street system is planned to support the pedestrian-oriented village design concept.

The plan also considers non-vehicular transportation systems by making provisions to connect to local and regional trails systems that provide access between village cores, neighborhood parks, community parks, elementary



schools, open space areas including the Greenbelt trails system, and residential areas. Street classifications within the village are consistent with the Chula Vista 2002 Street Design Standards and have been refined to reflect the specific opportunities and constraints of the SPA Plan Area. Specific street design standards are established at the Tentative Map level.

The SPA Plan Public Facilities Finance Plan (PFFP) establishes a circulation phasing plan which identifies the timing of specific improvements necessary to maintain the levels of service established in the City's Threshold Standards in the Growth Management Element of the Chula Vista General Plan. The PFFP also describes the obligations for the construction, or contributions toward construction, for specific street segments which provide access to the village.

The following sections describe the regional circulation network, project circulation network, street standards, phasing of street improvements, transit planning and bicycle and pedestrian trails for the SPA Plan Area.

B. REGIONAL CIRCULATION NETWORK

Regional access to Village 8 East is provided by State Route 125, which is located adjacent to the project site. I-805 located, approximately 4 miles west of Village 8 East, provides additional north-south access as does I-5, approximately 7 miles west of the SPA Plan area. State Route 54 and SR-905 provide regional east-west circulation approximately 7 miles north and south of the project site, respectively.

Main Street, a 6-lane Prime Arterial, provides east-west access to the SPA Plan Area and connects to SR-125 just east of Village 8 East. North-south access is provided via La Media Road, a 6-lane Prime Arterial. La Media Road transitions to Otay Valley Road, a 4-lane Major Road, and provides additional access through the SPA Plan Area.

The Otay Ranch GDP provides for the expansion of the regional transit-way system into Otay Ranch. An east-west Rapid Bus service line is planned along Main Street. A north-south BRT route is planned through the Eastern Urban Center, connecting to Village 9 adjacent to Village 8 East. Local bus service may be provided within the village.

C. PROJECT CIRCULATION NETWORK

The primary entry from the north into Village 8 East will be from Main Street. An additional point off access to the northwestern portion of Village 8 East is also provided from Main Street. Otay Valley Road, a 4-lane Major Road provides access from the west and east. These entries will be signalized and allow full turning movements.

The internal circulation concept provides adequate vehicular access through the village, with alternate routes to disperse traffic. The internal circulation streets include Secondary Village Entry, Residential Streets (Promenade) and Parkway Residential streets, with specifically-designed streets to enhance the



Village 8 East village core. Traffic calming features, such as curb extensions, raised intersections, narrowed intersections and landscaped pop-outs may also be located in the internal circulation network at appropriate locations.

The circulation plan encourages pedestrian activity and bicycle access through the provision of the Village Pathway, an off-street paved path for bicycles and pedestrians. The design of all village streets includes sidewalks and landscaping to promote pedestrian circulation throughout the SPA Plan Area. All public and private streets (excluding alleyways) are subject to City of Chula Vista Council Policy Number 576-19.

The phasing of development concurrent with the provision of adequate road capacity and access improvements is fully described in the PFFP. These improvements have been phased and designed to maintain an adequate level of service in the circulation system serving the SPA Plan Area and on internal roadways throughout build-out.

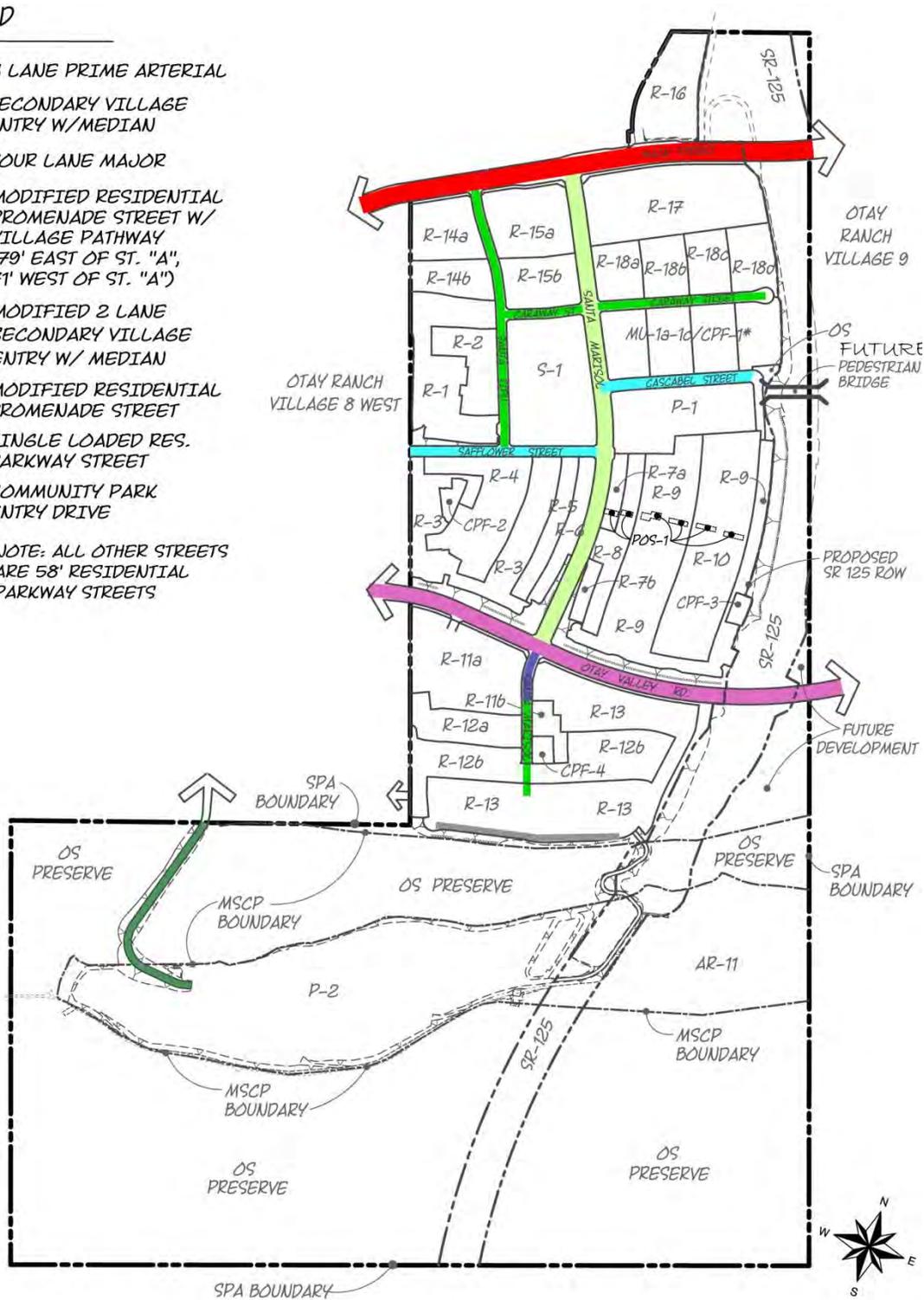
The internal circulation network is conceptually shown in Exhibit 6.



LEGEND

- 6 LANE PRIME ARTERIAL
- SECONDARY VILLAGE ENTRY W/MEDIAN
- FOUR LANE MAJOR
- MODIFIED RESIDENTIAL PROMENADE STREET W/ VILLAGE PATHWAY (79' EAST OF ST. "A", 71' WEST OF ST. "A")
- MODIFIED 2 LANE SECONDARY VILLAGE ENTRY W/ MEDIAN
- MODIFIED RESIDENTIAL PROMENADE STREET
- SINGLE LOADED RES. PARKWAY STREET
- COMMUNITY PARK ENTRY DRIVE

NOTE: ALL OTHER STREETS ARE 58' RESIDENTIAL PARKWAY STREETS



**Exhibit 6
 Circulation Plan**



D. STREET STANDARDS

Street standards for the arterial roads were established in the Mobility Chapter of the Otay Ranch GDP and previous project development approvals. Internal streets, based on the City of Chula Vista 2002 Design Standards, will be constructed to meet City engineering standards and conform to the policies of the Otay Ranch GDP. The Mobility chapter of the Otay Ranch GDP also allows modifications to standard street designs specific to each village. Final improvement designs will be determined as part of the subdivision approval process.

The Otay Ranch GDP describes automobile-oriented improvements as only one component of an integrated mobility system, which includes bicycles, pedestrian trails and public transit systems. For this reason, all circulation streets in and around the SPA Plan Area have been designed to minimize steep gradients where possible, and all circulation street right-of-way designs provide sidewalks or trails appropriate to the street classification.

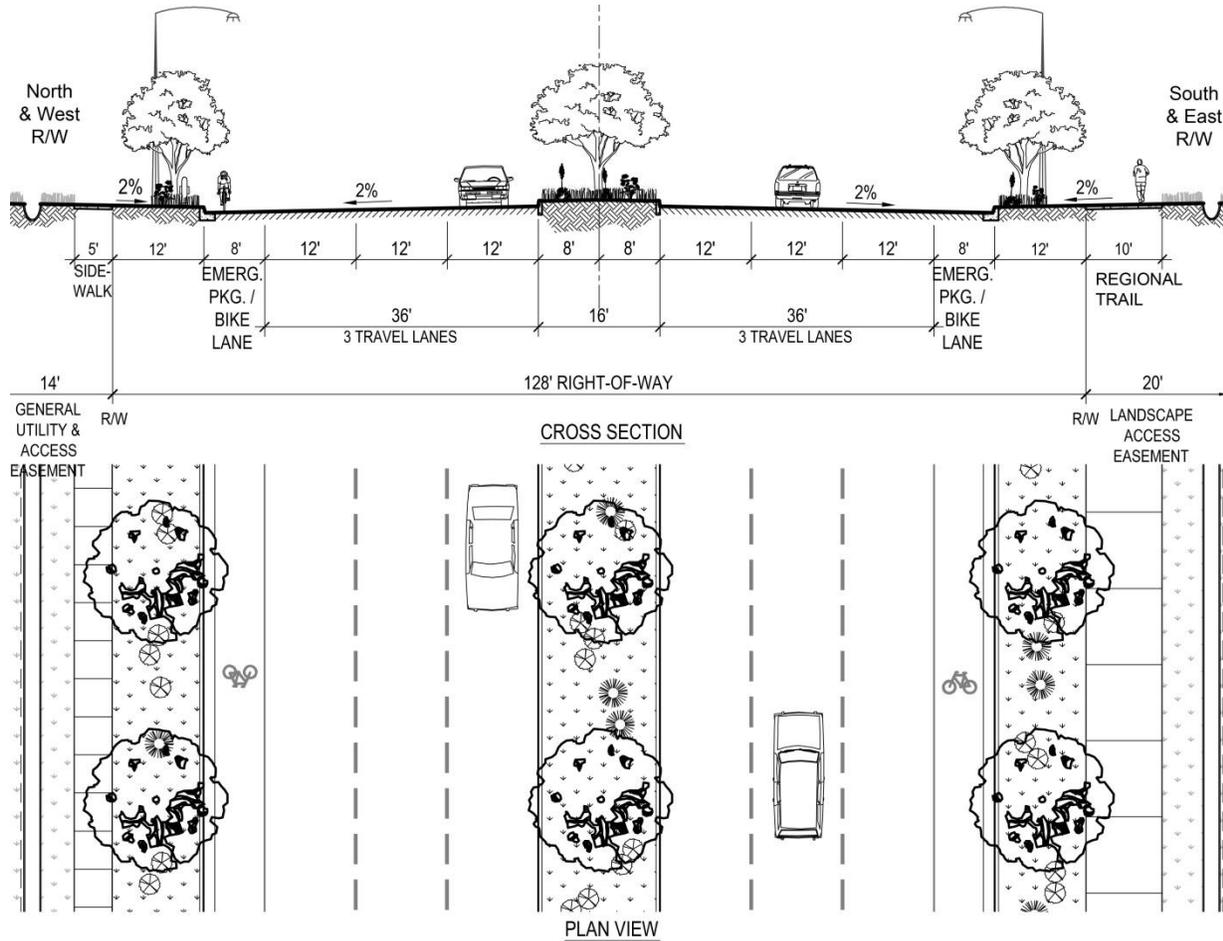


Exhibit 7
Six Lane Prime Arterial
 Main Street

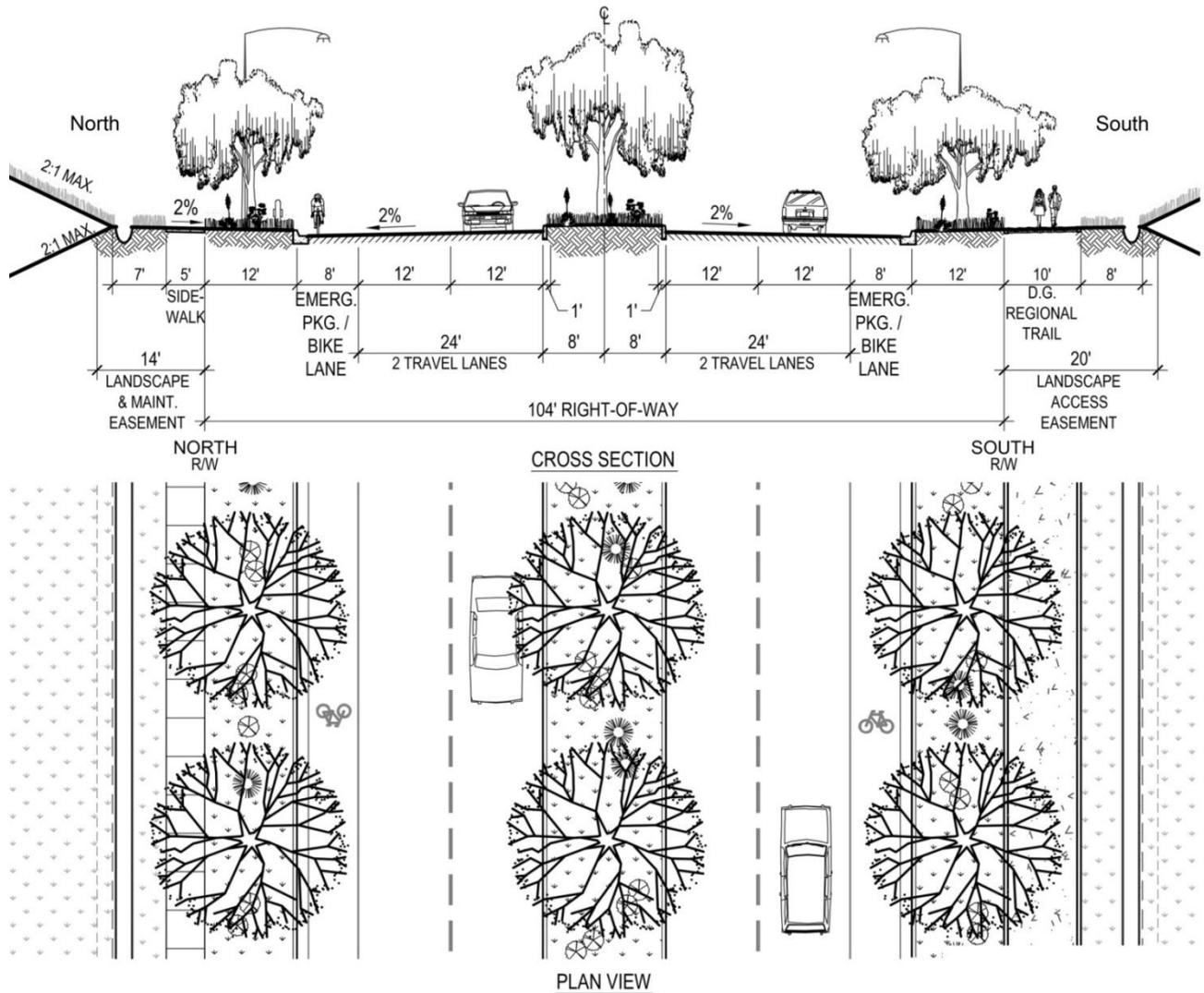


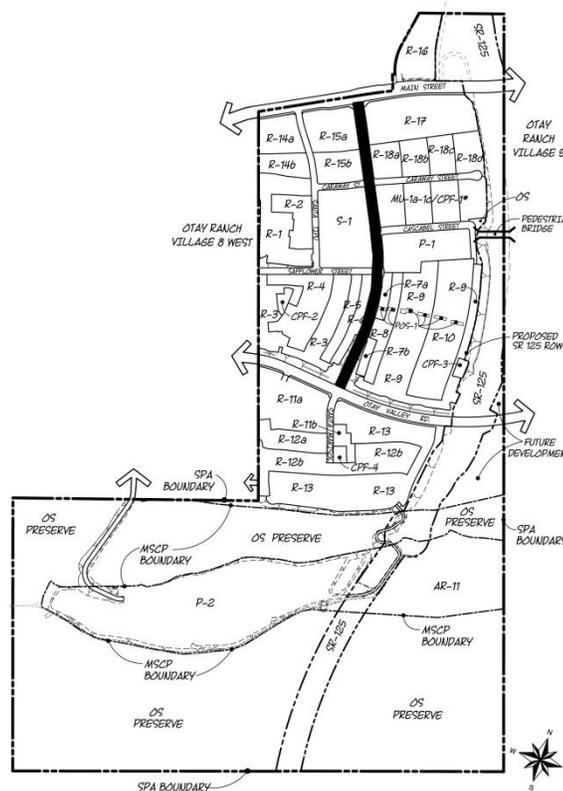
Exhibit 8
4-Lane Major Road
 Otay Valley Road

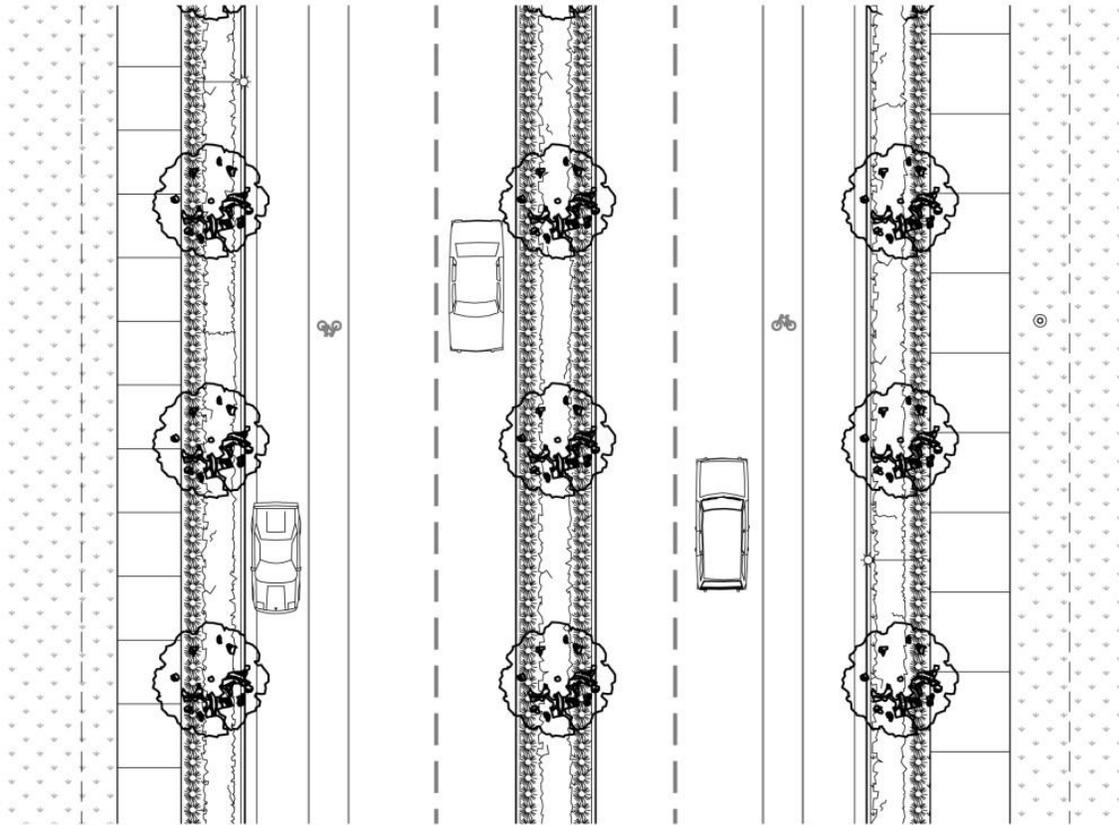
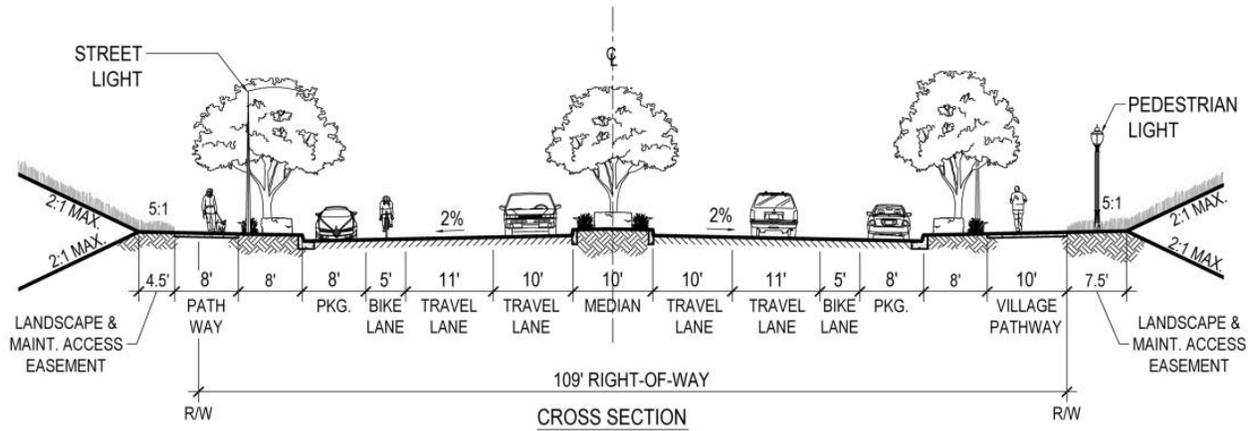
Not to Scale



2. Four Lane Secondary Village Entry Street with Median

The Secondary Village Entry Street is the primary north-south circulation street serving Village 8 East. This street traverses the village and connects the northern and southern Village 8 East neighborhoods and includes Class 2 Bike Lanes. The Village Pathway, located on the west side of the street, provides a pedestrian connection from Main Street to the Village Core and south to Otay Valley Road. The street has a residential character with homes facing the street and is designed to slow traffic by permitting parallel parking on both sides and separating the walkway from the street with landscaped parkways. The Village Pathway is a 10' wide tree shaded walkway with enhanced pedestrian-scaled lighting. South of Otay Valley Road, Santa Mirasol (Street A) is a Two Lane Secondary Village Entry with a Promenade Trail.





**Exhibit 9
 Four Lane Secondary Village Entry with Median**

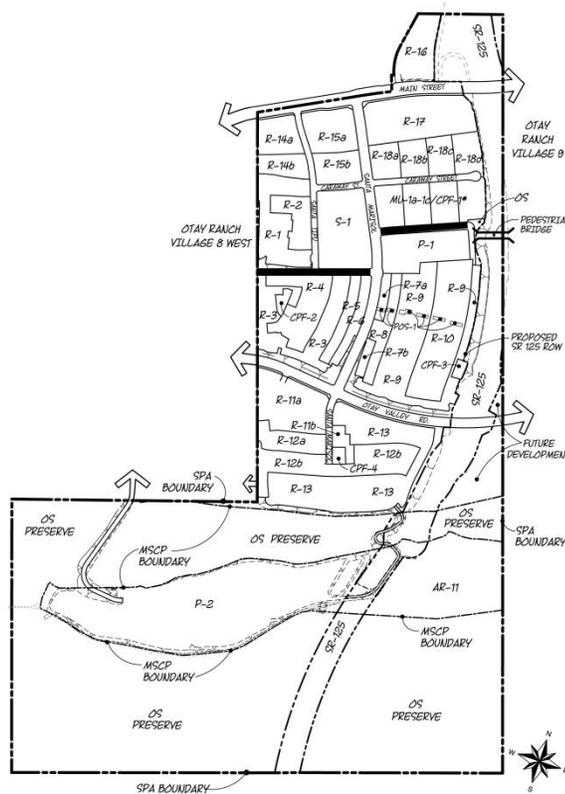
Santa Mirasol (Street "A")

Not to Scale



3. Residential Promenade Street (Modified with Village Pathway)

Residential Promenade Streets (Modified with Village Pathway) are the primary circulation streets through the village core. The street design promotes the pedestrian-oriented urban village design by providing a 10' wide, tree-shaded walkway (Village Pathway with enhanced pedestrian-scaled lighting) on one side of the street and a standard sidewalk with a landscaped parkway on the other side. The street design provides travel lanes and on-street parallel parking on both sides of the street. Class 2 Bike lanes are also provided. Parking is not permitted along the south side of Safflower Street (Street "L").



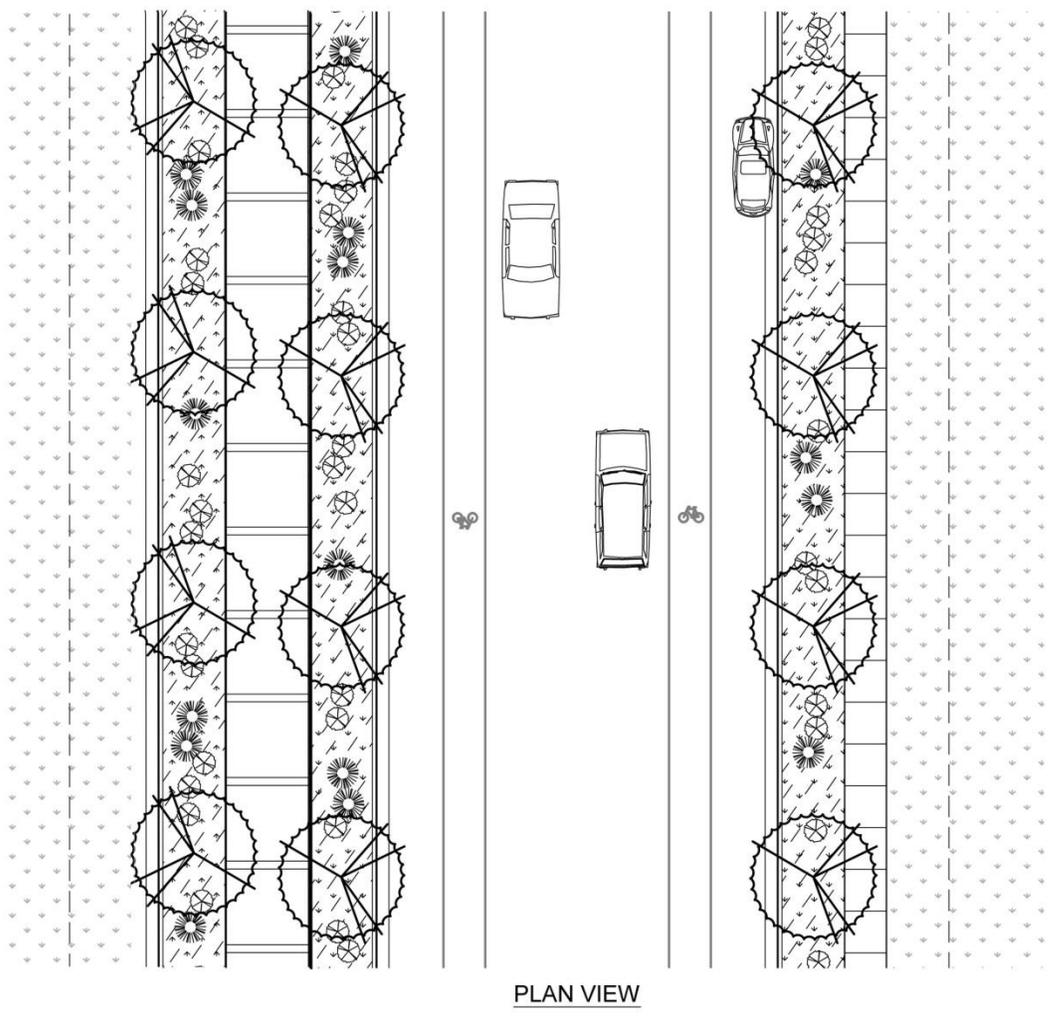
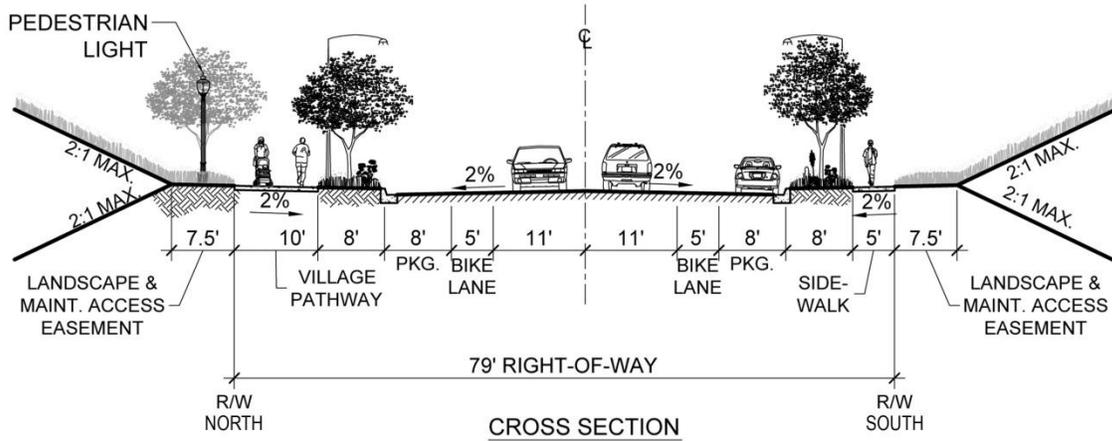


Exhibit 10
Residential Promenade Street (Modified with Village Pathway)

Not to Scale

Santa Tipu (Street B)

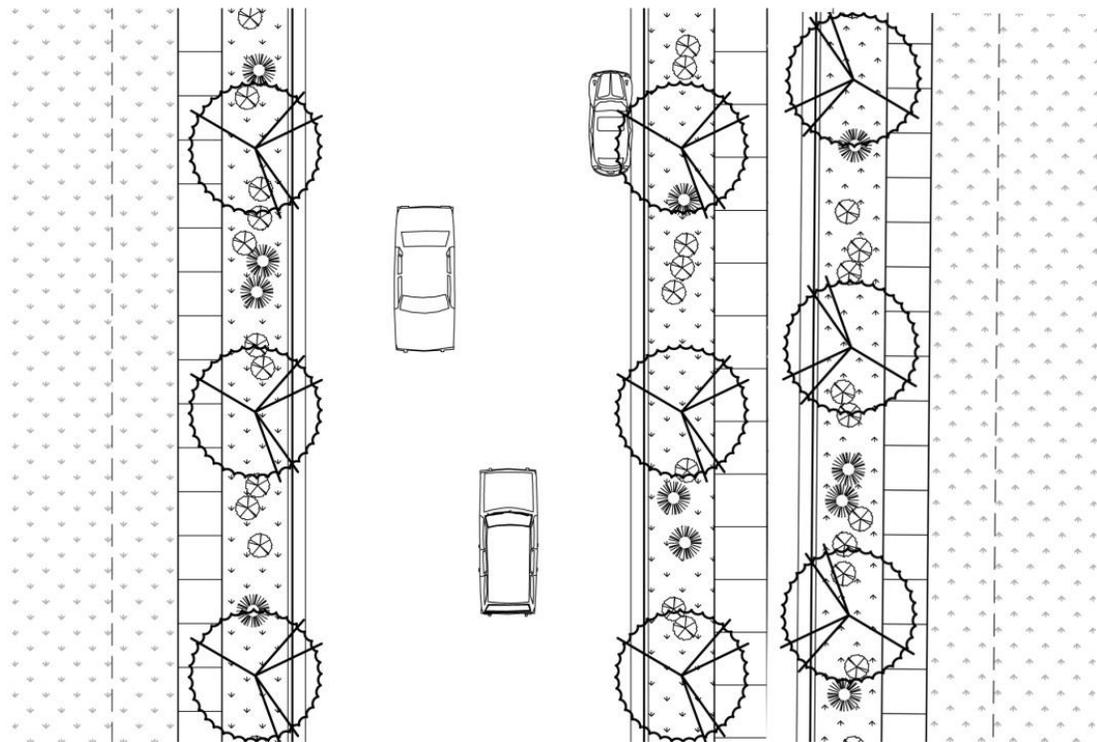
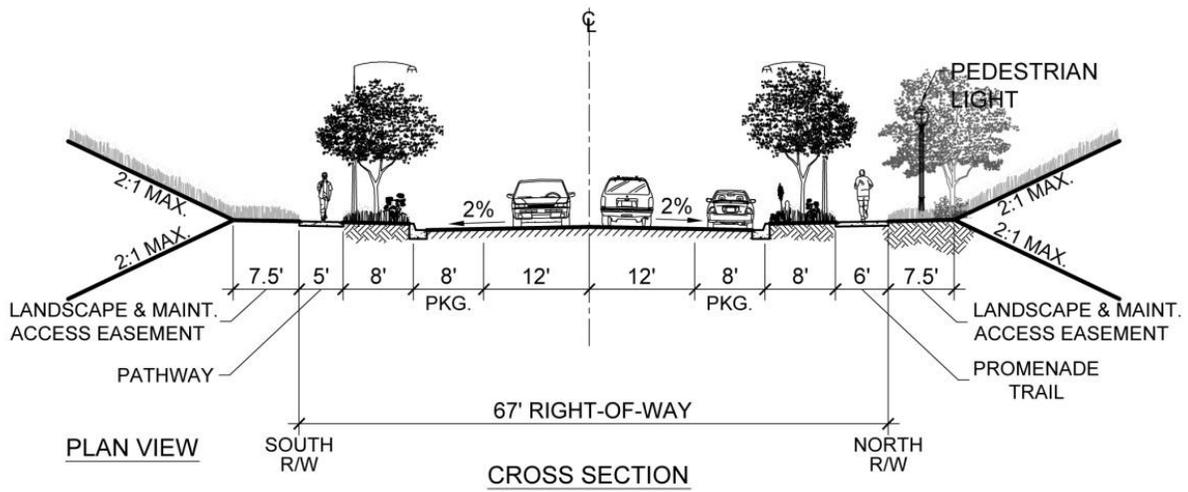


Exhibit 11
Residential Promenade Street (Modified)

Not to Scale

Numerous Streets



5. Parkway Residential Streets

Parkway Residential Streets are designed to emphasize the pedestrian-orientation of the village with narrow travel lanes and sidewalks separated from the road with landscaped parkways. Parkway Residential Streets are located throughout the neighborhoods of Village 8 East. The street design provides for two travel lanes, on-street parallel parking and landscaped parkways (Exhibit 12a). Parking is restricted to one side along the Single-Loaded Parkway Residential Street (Exhibit 13b)

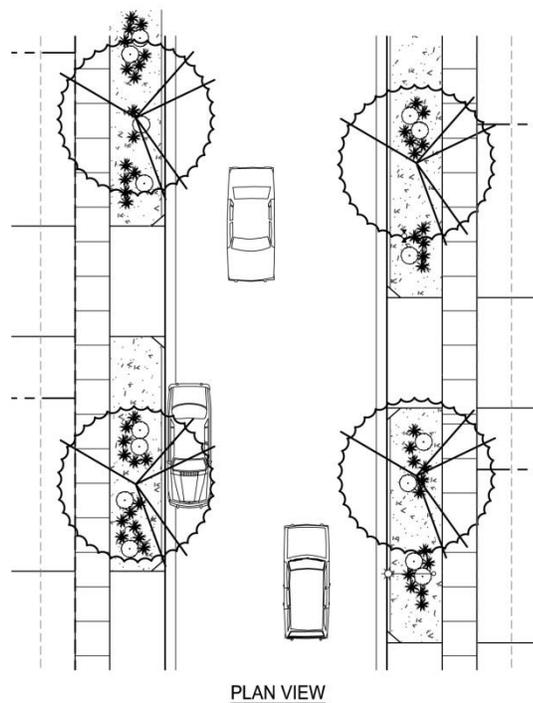
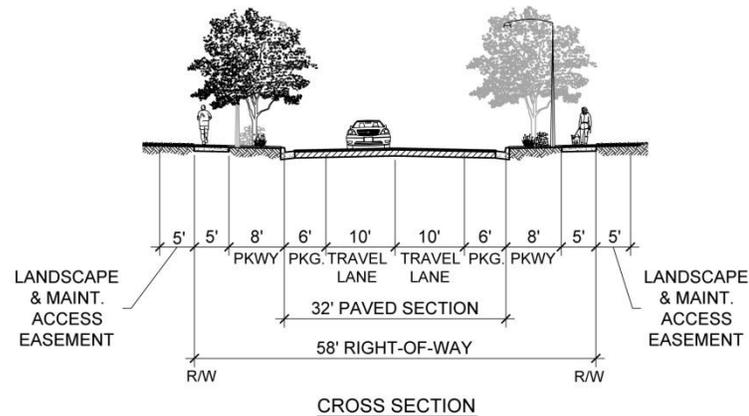
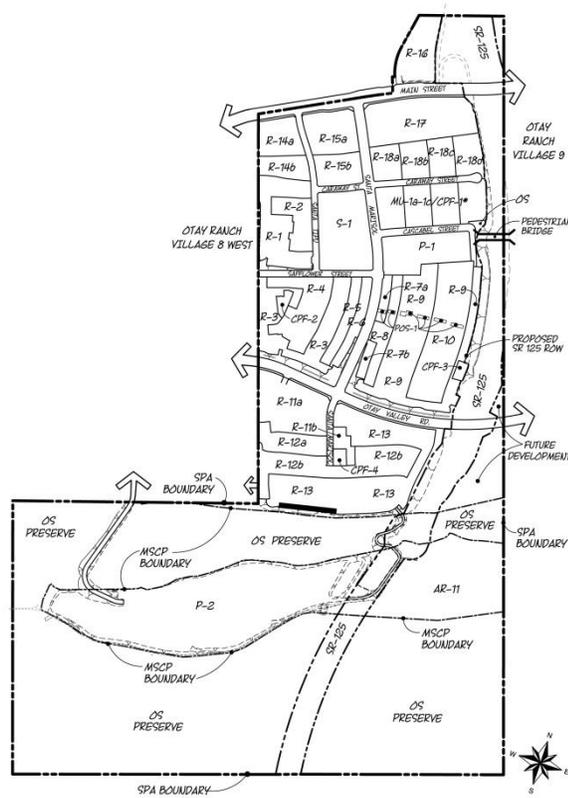


Exhibit 12a
Parkway Residential Street

Not to Scale

Numerous Streets



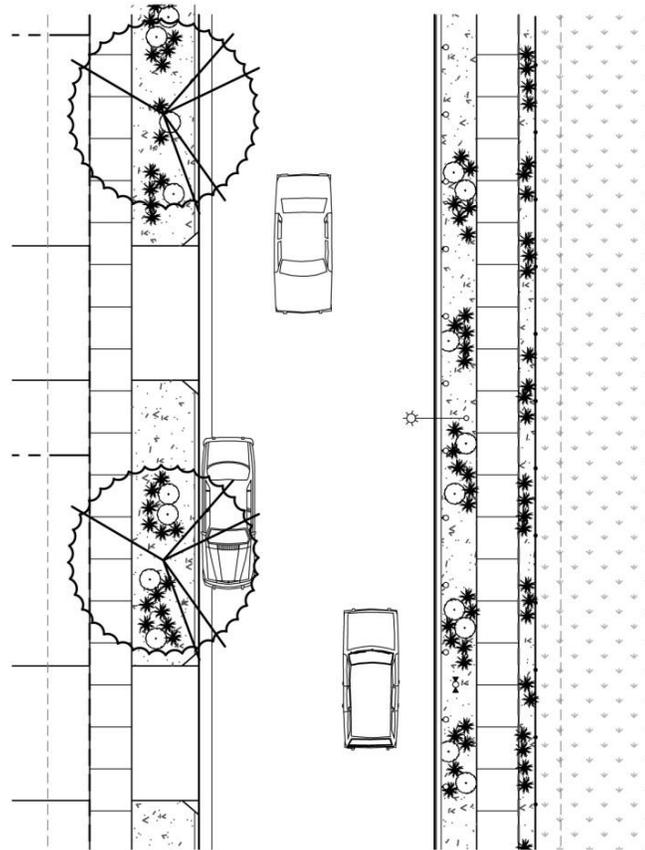
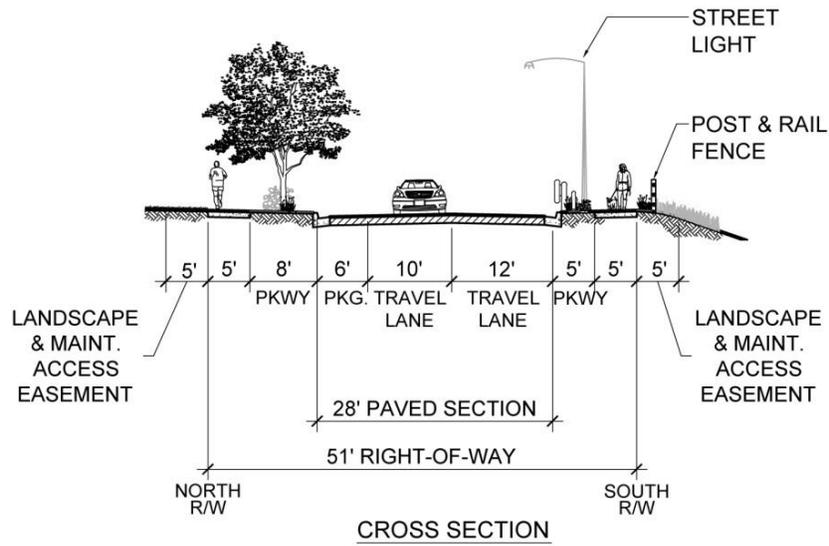


Exhibit 12b
Modified Parkway Residential Street (Single Loaded)

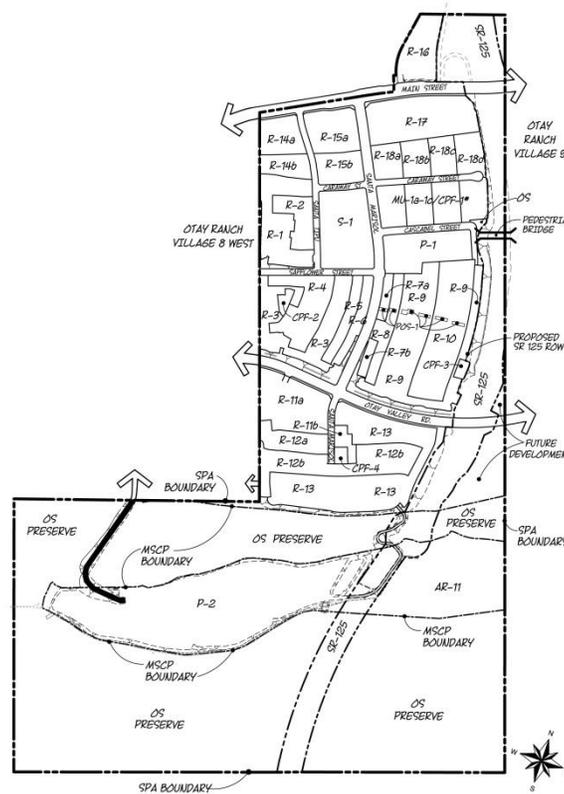
Not to Scale

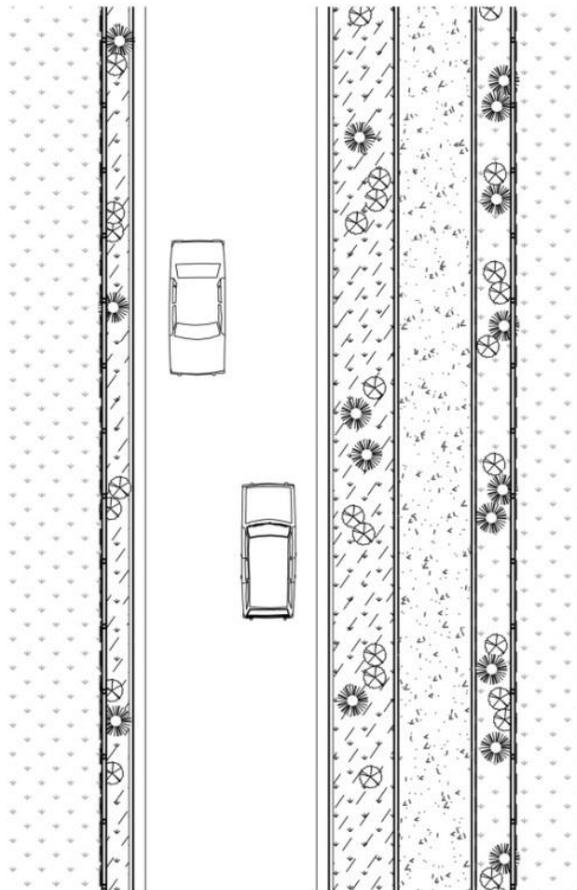
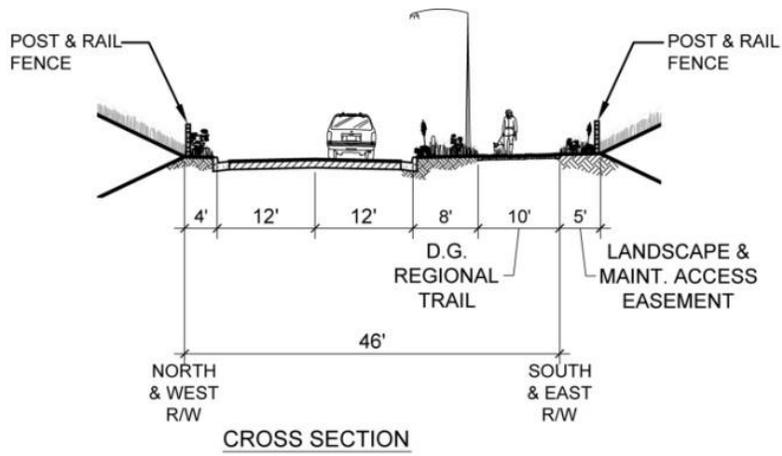
Portion of Trimaran Street (Portion of Street "RR")



6. Community Park Entry Drive

The Community Park Entry Drive provides a pedestrian and vehicular connection to the community park south of Village 8 East. The road features two travel lanes and the 10' regional trail on the east side of the road providing views of the Otay Valley. A landscaped parkway on one side of the street and narrowed travel lanes are designed to slow traffic and create a comfortable pedestrian experience along this road. Landscaping along the Community Park Entry Drive shall utilize the plant species contained in the Preserve Edge Plan.





PLAN VIEW

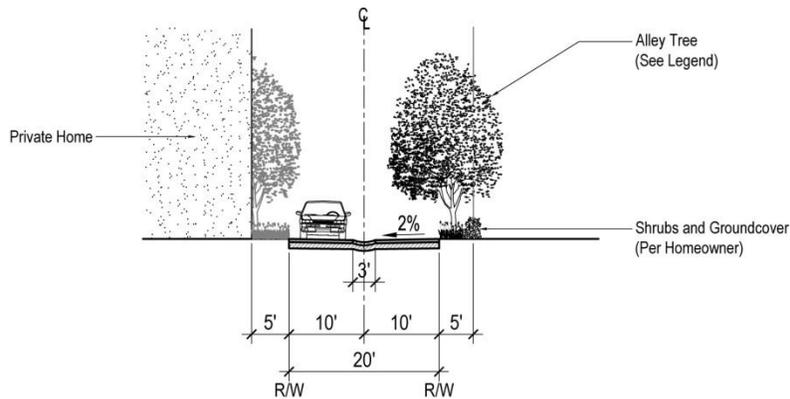
Exhibit 13
Community Park Entry Drive

Not to Scale

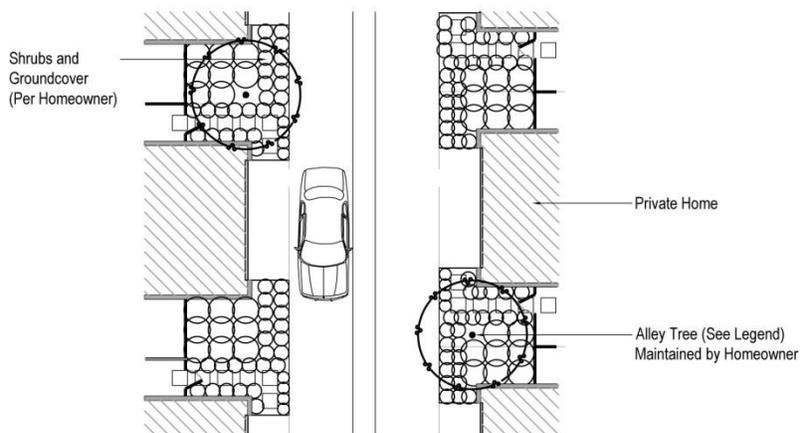


7. Private Alleys

In small lot single family and mixed-use areas, private alleys may be appropriate. Alleys provide rear entrances for vehicles, decrease traffic on residential streets, soften the appearance of street-facing garages and enable homes to be more open and inviting to the street, creating a pedestrian-friendly environment. Alleys may also provide an alternative location for utilities. Typical alley pavement width is 20 feet.



CROSS SECTION



PLAN VIEW

Exhibit 14 Private Alley

Not to Scale

Typical Private Alley Cross Section



8. Private Residential Streets

In small lot single family and mixed-use areas, Private Residential Streets may be appropriate. Typical private residential streets provide two travel lanes, parallel parking, and curb-adjacent sidewalks on both sides of the street. Parkway Residential Streets are the preferred residential street throughout Village 8 East (Exhibits 12a and 12b). Implementation of this street section is subject to Design Review approval.

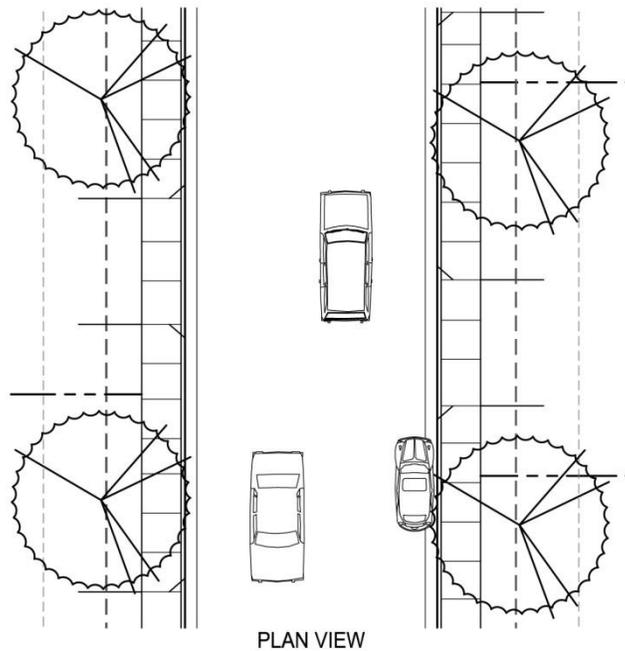
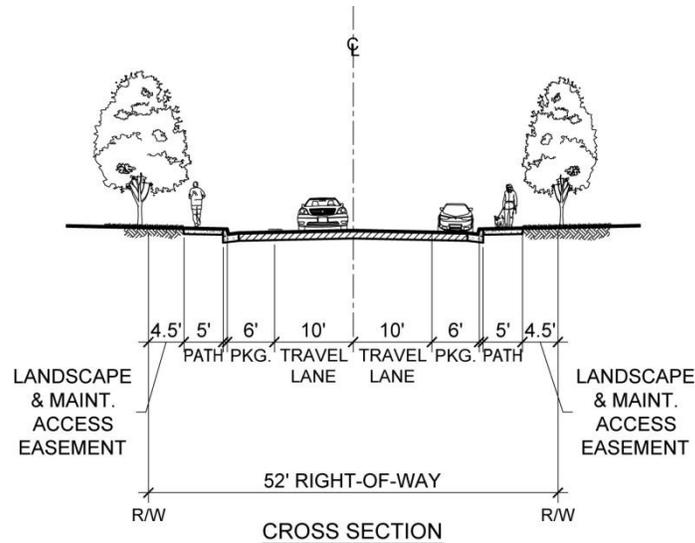


Exhibit 15
Private Residential Street Section (Typical)

Not to Scale



9. Private Courtyard

In small lot single family cluster neighborhoods, private courtyard access may be appropriate. Typical courtyards provide direct access to garages, creating pedestrian oriented streetscapes.

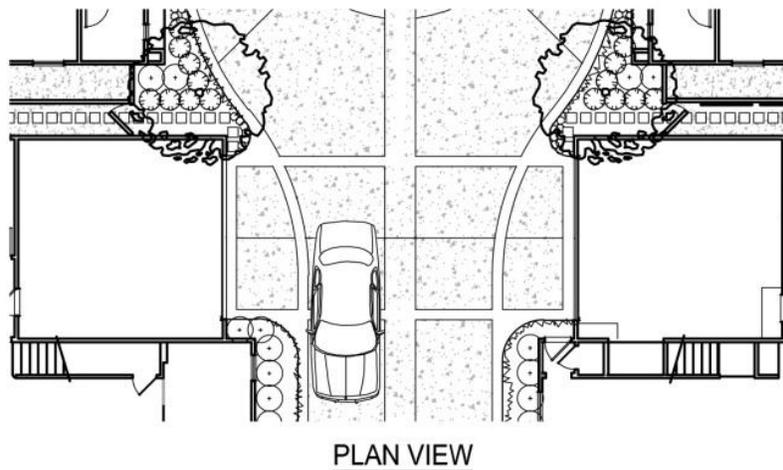
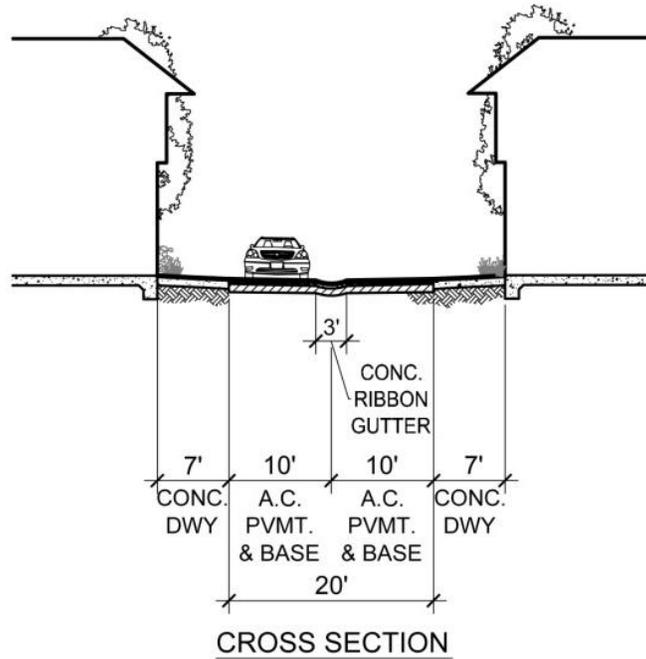


Exhibit 16
Private Courtyard (Typical)

Note: 20' Right of Way must be clear of building obstructions

Not to Scale



E. TRAFFIC CALMING

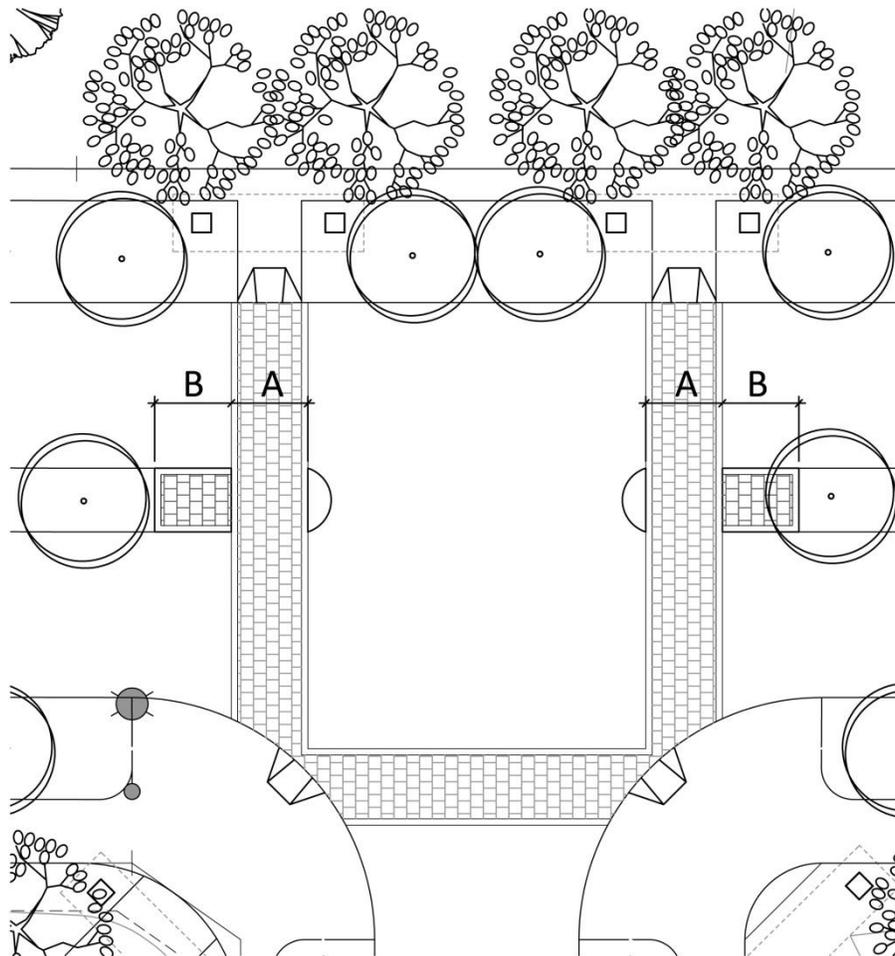
Traffic calming measures promote the pedestrian-orientation of the village. These elements require thoughtful design to provide adequate sight distances and other features to promote safety. The design and location of traffic calming features require the approval of the City Engineer and Development Services Director prior to or concurrent with approval of the Tentative Map.

1. Grid Street Design

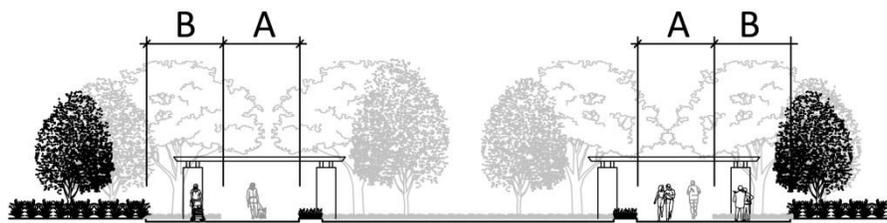
The street circulation system in Village 8 East is designed in a grid pattern that helps to calm traffic. The grid pattern creates numerous intersections, requiring vehicles to travel slowly and make frequent stops. The grid pattern also disperses traffic throughout the village by providing numerous travel route options. Dispersed traffic reduces congestion and conflicts, allowing drivers to travel "calmly" through the village.

2. Pedestrian Refuge Island

Pedestrian Refuge Islands provide pedestrians and bicyclists a refuge area within intersection and midblock crossings. Refuge islands provide a location for pedestrians or bicyclists to stop partially through their crossing. In addition, refuge islands break up crosswalks within multi-lane and multi-legged intersections into shorter and easier portions for pedestrians to cross.



Plan View



Elevation

Key:

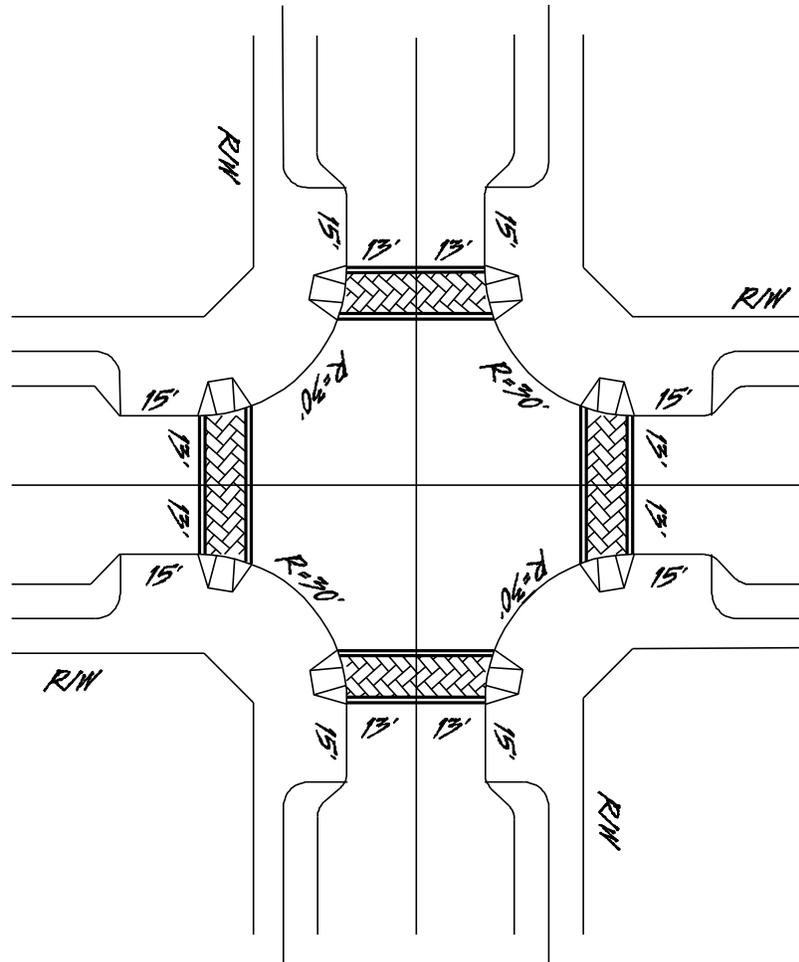
A - CROSSWALK WIDTH

B - PEDESTRIAN REFUGE ISLAND ZONE



3. Curb Extensions

Curb Extensions extend the line of the curb into the travel lane, reducing the width of the street. Curb extensions typically occur at intersections and can reduce pedestrian crossing distance and exposure to traffic; improve driver and pedestrian sight distance visibility; and visually and physically narrow the travel lane, resulting in a traffic calming effect.



Note: Not to scale
Implement wherever grades
through the entire intersection
are 2% or less.

Exhibit 18 Typical Curb Extensions

Note: Utility conflicts within intersections with curb extensions are subject to approval of Otay Water District and the City Engineer



4. Landscaped Pop-Outs

Bay parking with landscaped pop-outs may be located within the Village Core adjacent to the mixed-use center, P-1 neighborhood park and elementary school site. This traffic calming feature slows traffic by creating pinch points at mid points along these streets. Bay parking and landscaped pop-outs provide protected parallel bay parking and create a sense of place through enhanced landscaping.

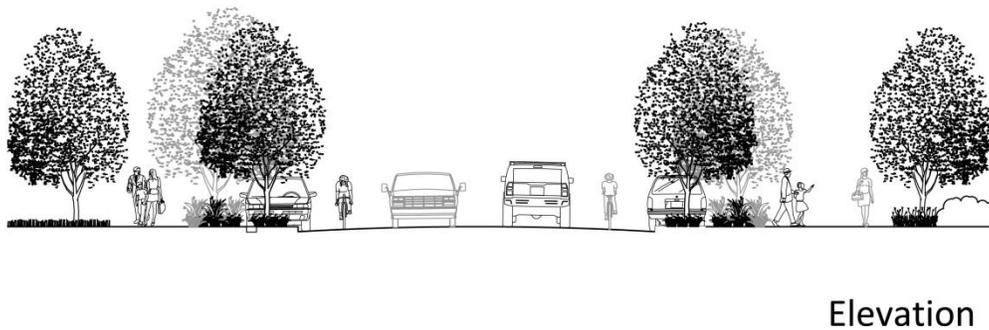
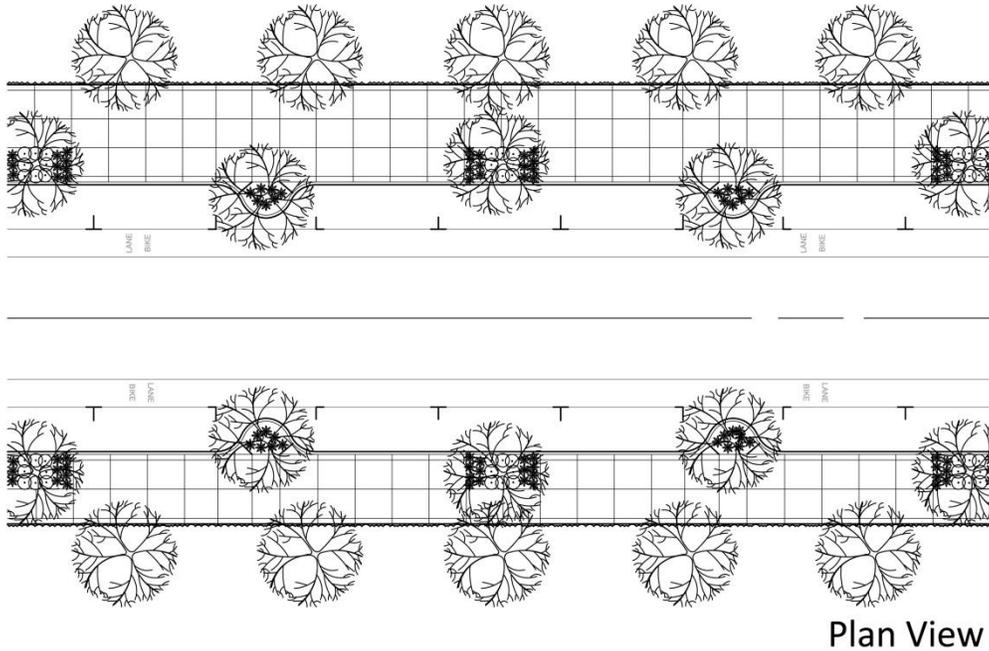


Exhibit 19
Typical Landscape Pop-outs



LEGEND

-  INTERSECTION NECKDOWN/
ENHANCED PEDESTRIAN CROSSING
-  MEDIAN PEDESTRIAN
REFUGE
-  MID-BLOCK CROSSING
-  LANDSCAPED POPOUTS
-  SIGNALIZED INTERSECTION

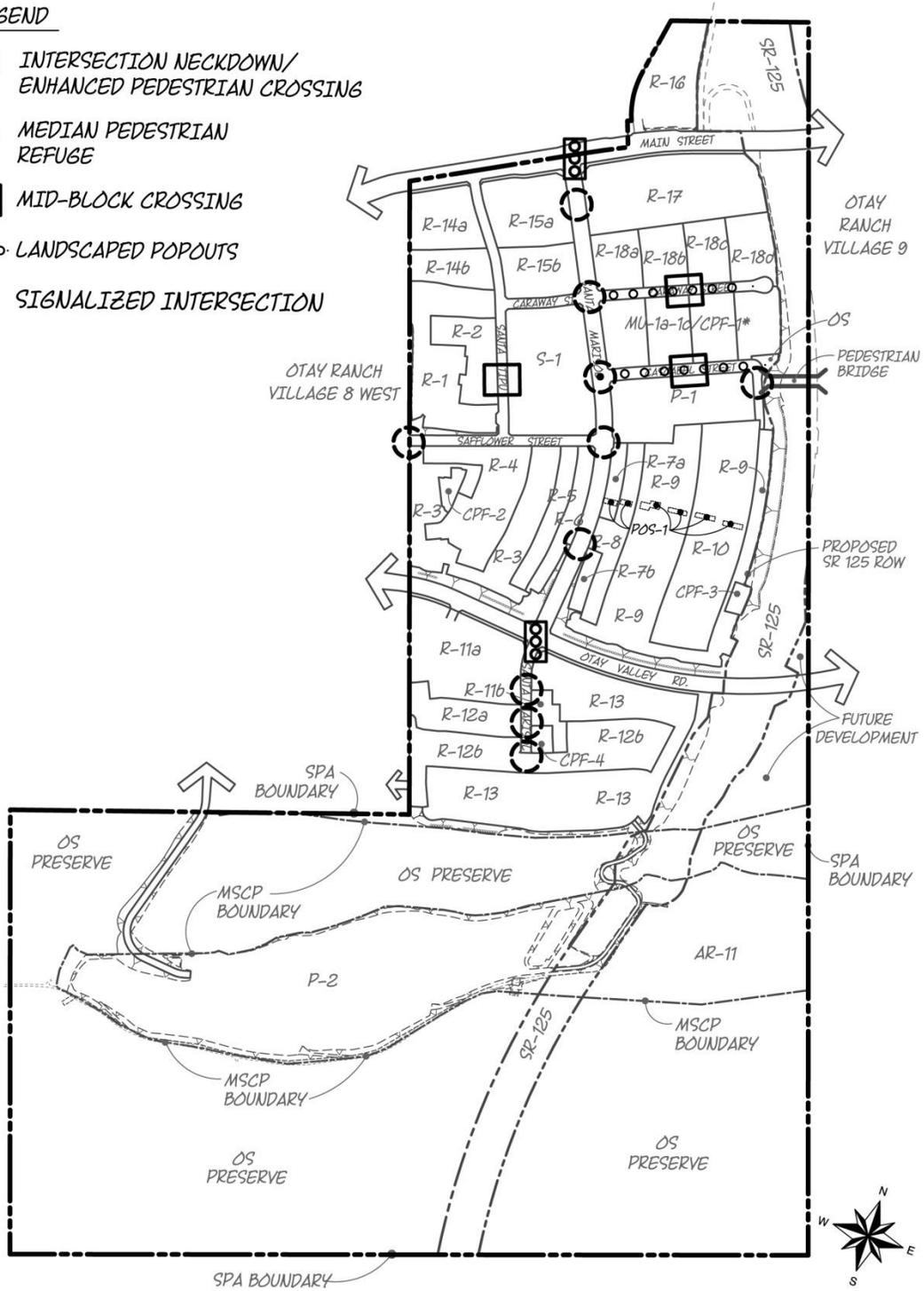


Exhibit 20
Conceptual Traffic Calming Location Plan



F. TRANSIT PLANNING PRINCIPLES

Public transportation is an integral part of the Otay Ranch Community. The design of the SPA Plan Area promotes access to public transit and locates land uses in proximity to proposed transit stations. The San Diego Association of Governments (SANDAG) is responsible for regional transportation and transit planning. On October 28, 2011, the SANDAG Board of Directors adopted the 2050 Regional Transportation Plan (RTP) which established the multimodal transportation system for San Diego County, including the City of Chula Vista. The 2050 RTP includes Bus Rapid Transit (BRT) Route 628/680 from Downtown San Diego to Otay Ranch and ultimately to East Otay Mesa and the Mexican Border. In addition, BRT Route 627 links the H Street Trolley Station to Otay Ranch via Southwestern College. The Chula Vista General Plan also includes plans for Rapid Bus Route 635 between the Palomar Street Trolley Station and EastLake Business Center via Main Street and Otay Ranch.

The public transit system also includes a network of local bus routes oriented to community activity centers, including Otay Ranch villages and the proposed University. The local bus network may loop into neighborhood areas collecting riders for the east-west express bus route and the north-south regional transit system. Rapid Bus service (Route 635) is planned along Main Street, just north of Village 8 East. In addition, BRT Route 628 is planned east of Village 8 East within adjacent Village 9. The conceptual transit plan for the SPA Plan Area is shown in Exhibit 21.

Local Bus service may be provided through Village 8 West on Street “A,” with a potential bus stop in the village core. Transit stop locations and design are based on the following principles:

- Locate transit stops where there are a number of major pedestrian generators.
- Locate transit stops and pedestrian walkways to provide access while respecting the privacy of residential areas.
- At the intersection of two or more transit routes, locate bus stops to minimize walking distance between transfer stations.
- Locate bus turn-outs on the far side of the intersections to avoid conflicts between transit vehicles and automobile traffic, permitting right-turning vehicles to continue turning movements.
- Transit stops should be provided with adequate walkway lighting and well designated shelters.
- Walkway ramps should be provided at transit stops to ensure accessibility.

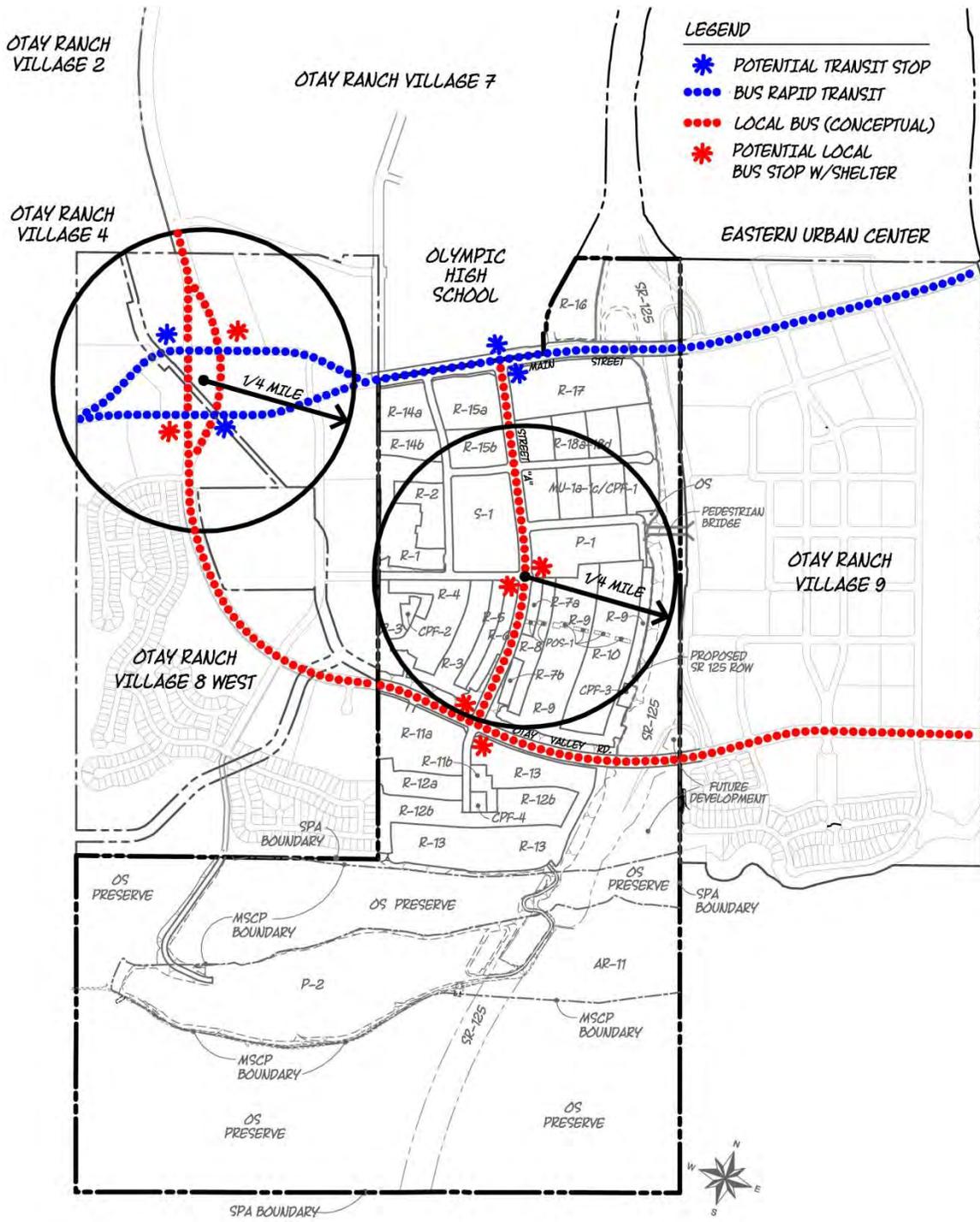


Exhibit 21
Conceptual Public Transportation Plan



G. PEDESTRIAN TRAILS

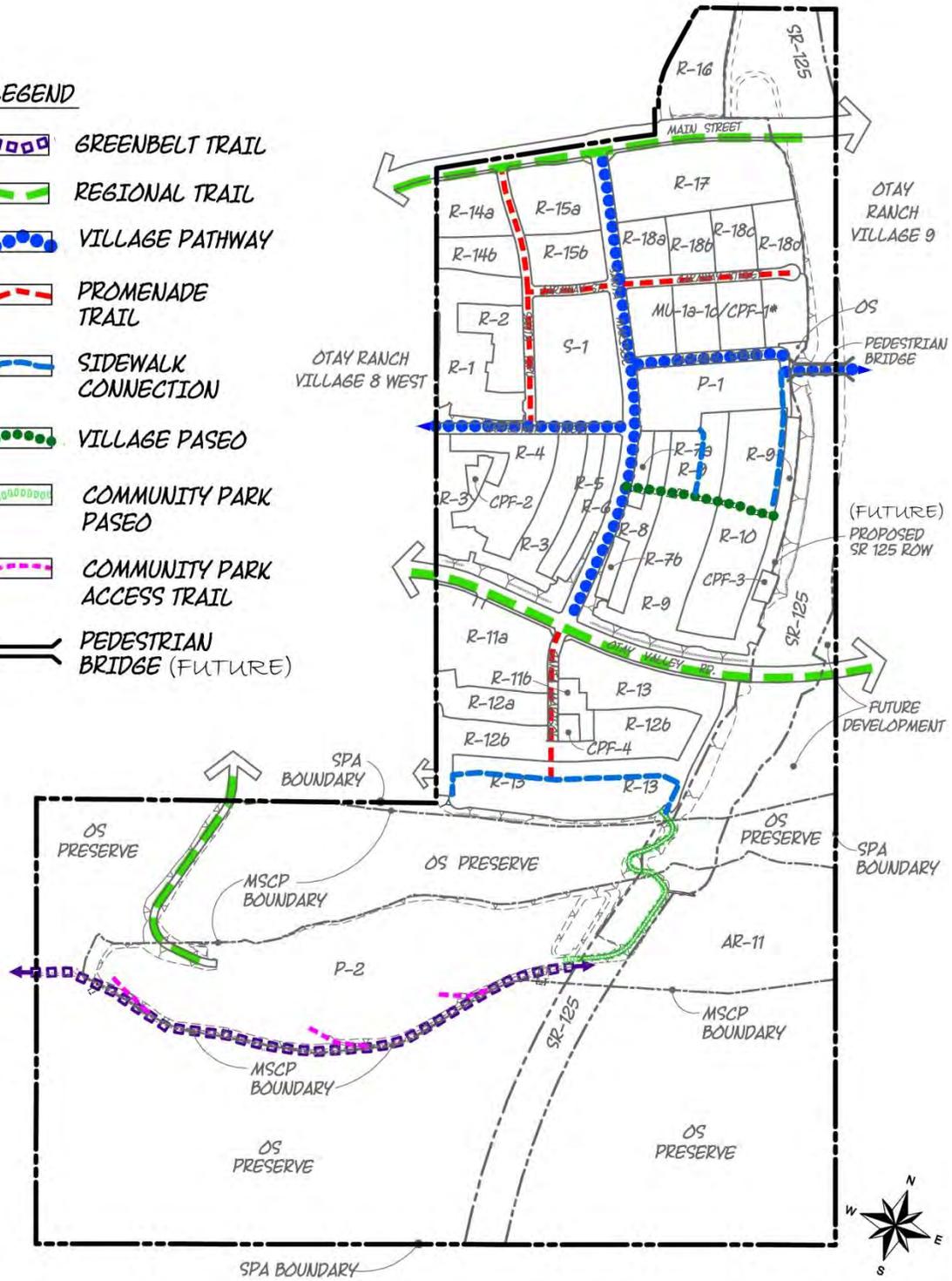
The Village 8 East SPA Plan is designed to accommodate the trails program described by the Otay Ranch GDP, Overall Design Plan, the City of Chula Vista Greenbelt Master Plan, and Otay Valley Regional Park (OVRP) Concept Plan. The plan recognizes the provision of bicycle and pedestrian circulation is fundamental to creating urban villages. All village streets and sidewalks have been designed at gradients of 10 percent or less to facilitate pedestrian circulation.

The trails program is described below. The Trails Plan is depicted on Exhibit 22. The street cross-sections (Exhibits 7-13) illustrate regional and village trails and pathways located along public roadways. Separate trail cross-sections are also provided on Exhibits 23 to 29. The Village 8 East SPA Parks, Recreation, Open Space, and Trails Master Plan and the Village 8 East Design Plan provide additional details regarding the trail system.



LEGEND

-  GREENBELT TRAIL
-  REGIONAL TRAIL
-  VILLAGE PATHWAY
-  PROMENADE TRAIL
-  SIDEWALK CONNECTION
-  VILLAGE PASEO
-  COMMUNITY PARK PASEO
-  COMMUNITY PARK ACCESS TRAIL
-  PEDESTRIAN BRIDGE (FUTURE)



**Exhibit 22
 Trails Plan**

NOTE: Village 8 Paseo to be extended to Street "A" (Santa Mirasol) on Village 8 East Tentative Map.



I. Chula Vista Greenbelt and OVRP Trails

As described in the Chula Vista Greenbelt Master Plan, planned multi-use trails, including equestrian uses, will be implemented within the existing Salt Creek sewer access/maintenance road through the Otay Valley on the north side of the river. This segment of the Greenbelt Trail (approximately $\frac{3}{4}$ mile), is located along the southern edge of the P-2 Community Park. The Greenbelt Trail is connected to and accessed via connections to the internal community park access trail circulation system at three points along the park's southern edge, as depicted in Exhibit 36. In addition, two pedestrian connections are provided between Village 8 East and the Chula Vista Greenbelt/OVRP trail via the Community Park Entry Drive and Community Park Paseo.

The OVRP Concept Plan identifies a multi-use trail system through the Otay River Valley. The portion of the Greenbelt Trail described above coincides with the OVRP trail. By locating these trails together, on an existing maintenance access road, impacts to sensitive habitat in the river valley are minimized and access to the MSCP Preserve is controlled. The Chula Vista Greenbelt Trail will be implemented according to the Greenbelt Master Plan and OVRP Design Standards and Guidelines. All trail signage shall conform with the Greenbelt Master Plan.

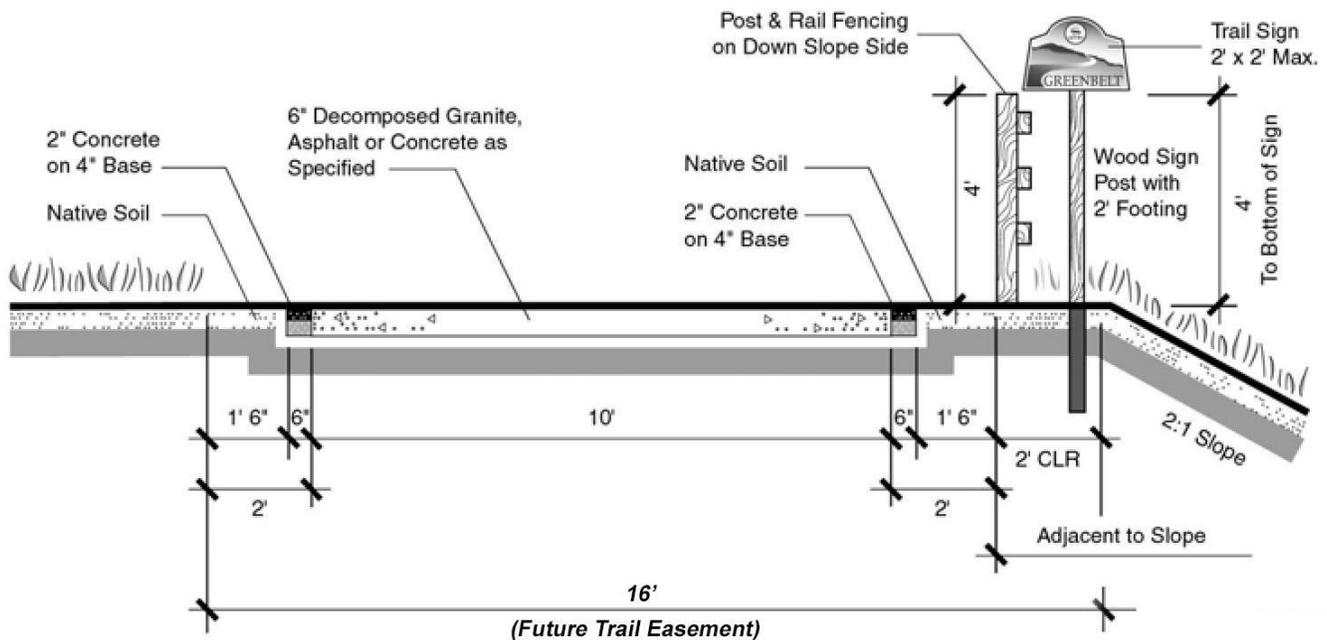


Exhibit 23
 Chula Vista Greenbelt Trail



2. Regional Trails

Chula Vista Regional Trails are located on the north side of Main Street, the south side of Otay Valley Road and along the Community Park Entry Drive providing direct pedestrian access to the Community Park. These trails are located adjacent to the roadways within landscape buffers. The concrete or decomposed granite trails are 10 feet wide and accommodate both pedestrians and bicycles. The Regional Trails connect Village 8 East to the Village 8 West Town Center, Village 9 Town Center, and the University Planning Area. All trail signage shall conform with the Greenbelt Master Plan.

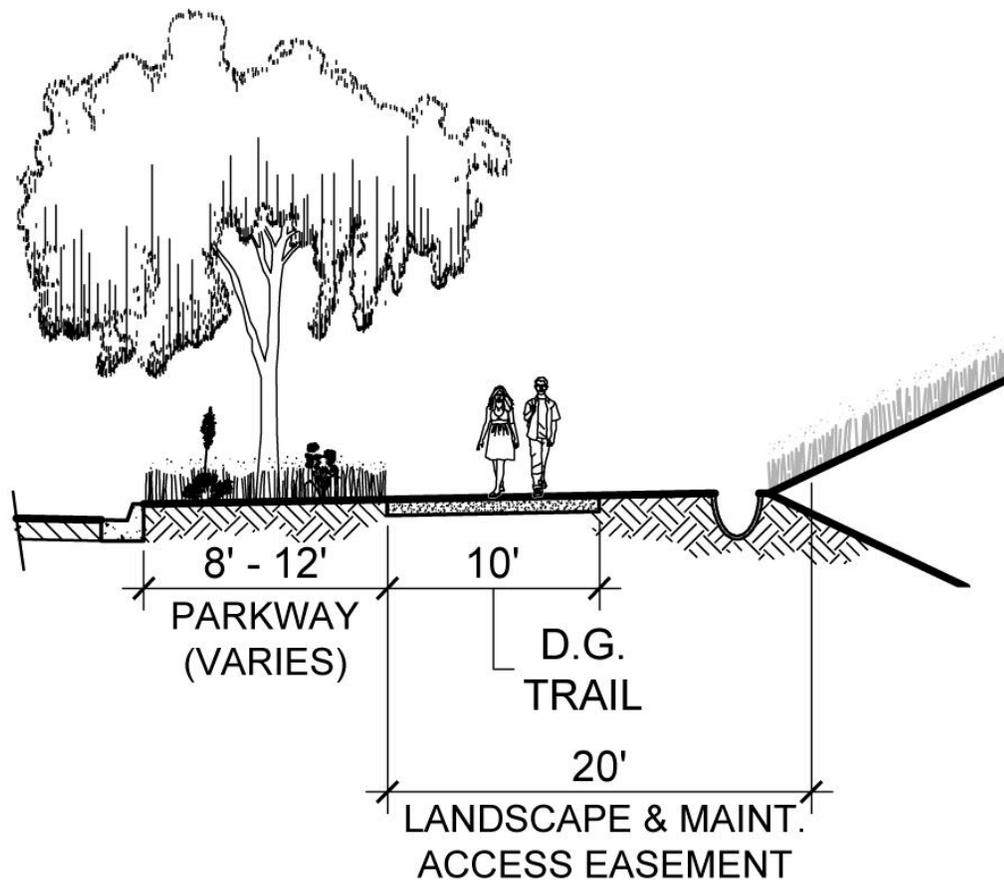


Exhibit 24
Chula Vista Regional Trail



3. Village Pathway

Village Pathways are inter-village, multi-purpose paths which link all of the Otay Valley Parcel villages and provide access to transit stations. In Village 8 East, a Village Pathway is proposed to extend south from Main Street, through the mixed use commercial area and south to Otay Valley Road along Street "A". The Village Pathway also connects the Village 8 East village core to the Village 8 West Town Center and traverses through the neighborhood park crossing east over SR-125 via a pedestrian bridge to connect to the Village 9 Town Center. The Village Pathway is a 10' colored concrete (Adobe Tan) pathway, separated from the street by a landscaped, tree-lined parkway.

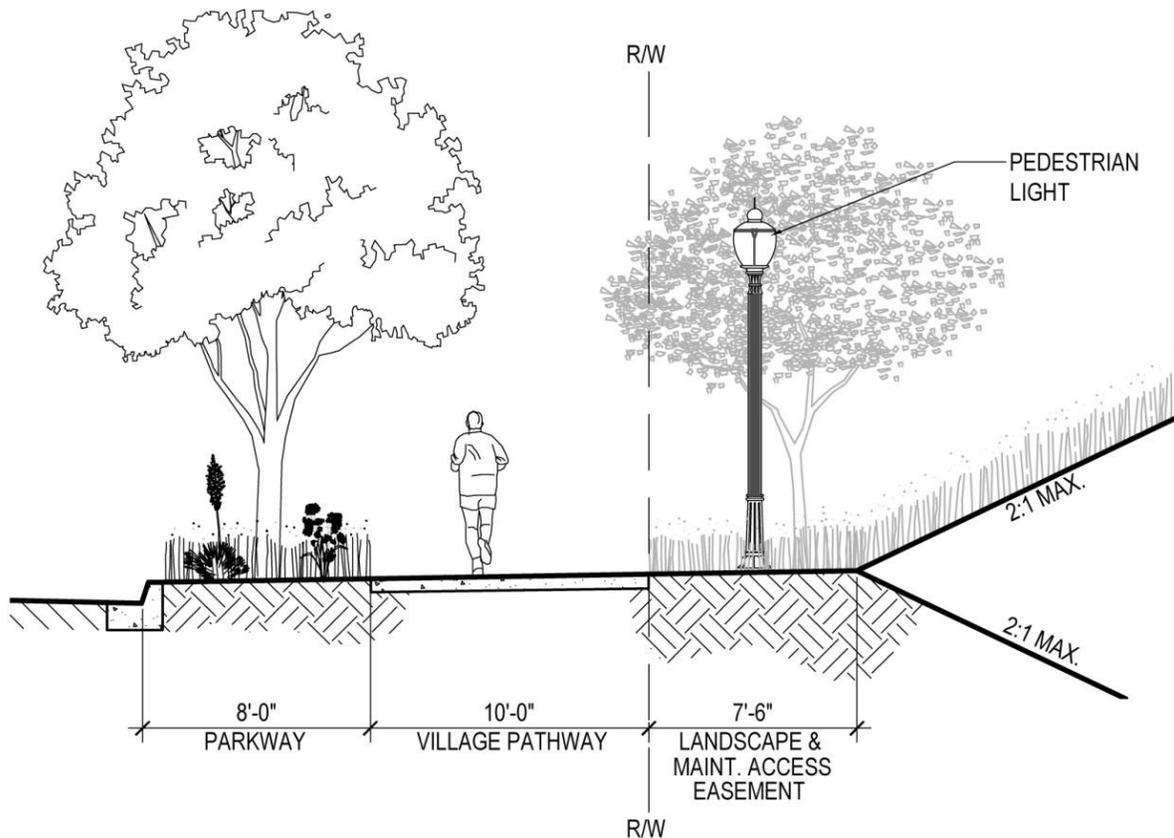


Exhibit 25
Village Pathway



4. Community Park Access Trail

The Community Park Access Trail provides three pedestrian connections between the Community Park and the Chula Vista Greenbelt Trail. These trails are located along the southern edge of the Community Park. This facility is comprised of a 10' minimum trail surface and a post and rail fence, as necessary.

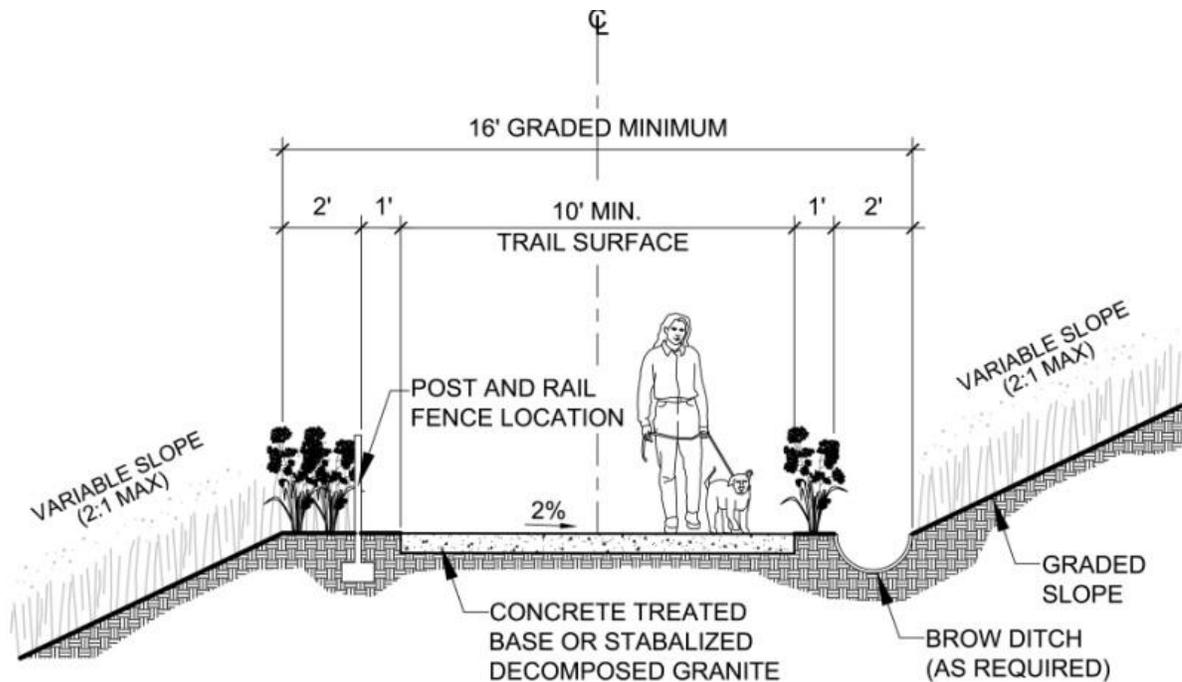


Exhibit 26
Community Park Access Trail



5. Promenade Trail

Promenade Trails are six foot wide concrete trails separated from the street by a landscaped parkway located along the featured side of the Modified Promenade Residential Street. In Village 8 East, the Promenade Trail provides a pedestrian connection between single-family residential neighborhoods and the Village Core Mixed Use area and the school and neighborhood park. In addition, a Promenade Trail links neighborhoods south of Otay Valley Road to both the Chula Vista Regional Trail along Otay Valley Road and north to the Village 8 East Village Core.

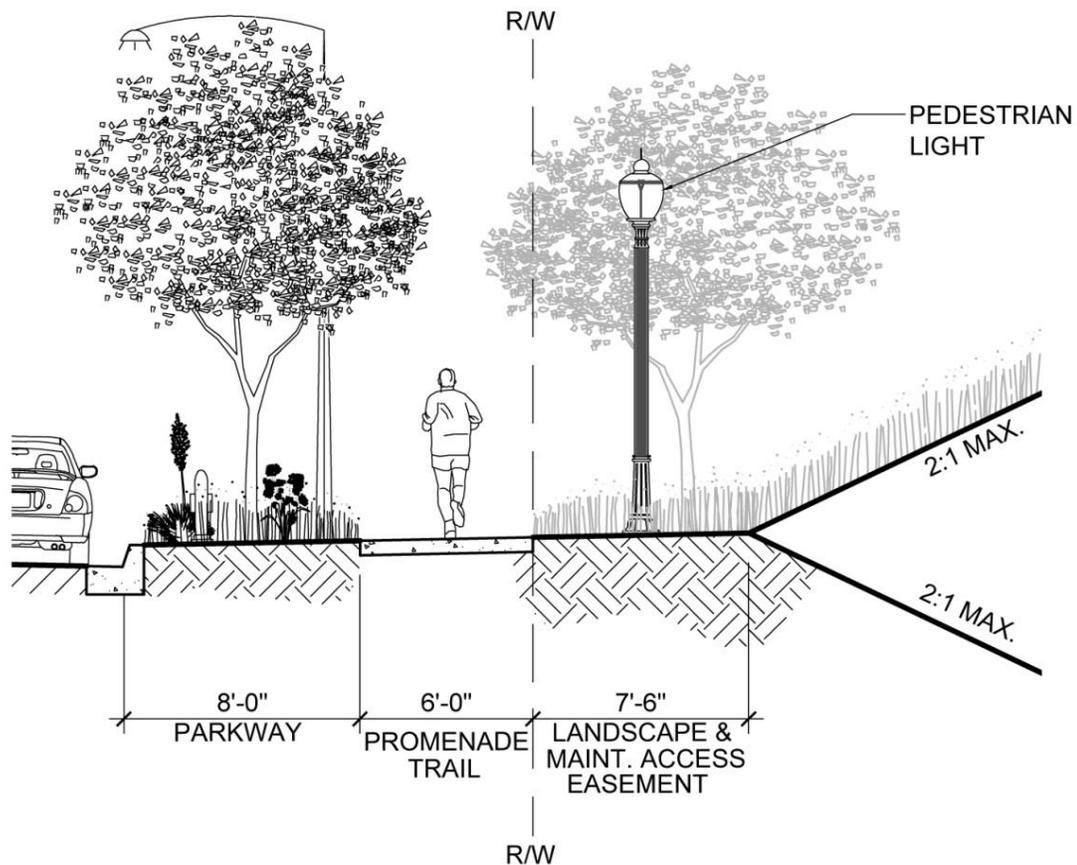


Exhibit 27
Promenade Trail



6. Community Park Paseo

The Community Park Paseo is comprised of a 20' wide concrete trail that provides pedestrian access to the eastern portion of the P-2 Community Park. The paseo also serves as a maintenance/emergency access road. No public vehicular access is permitted on the Community Park Paseo.

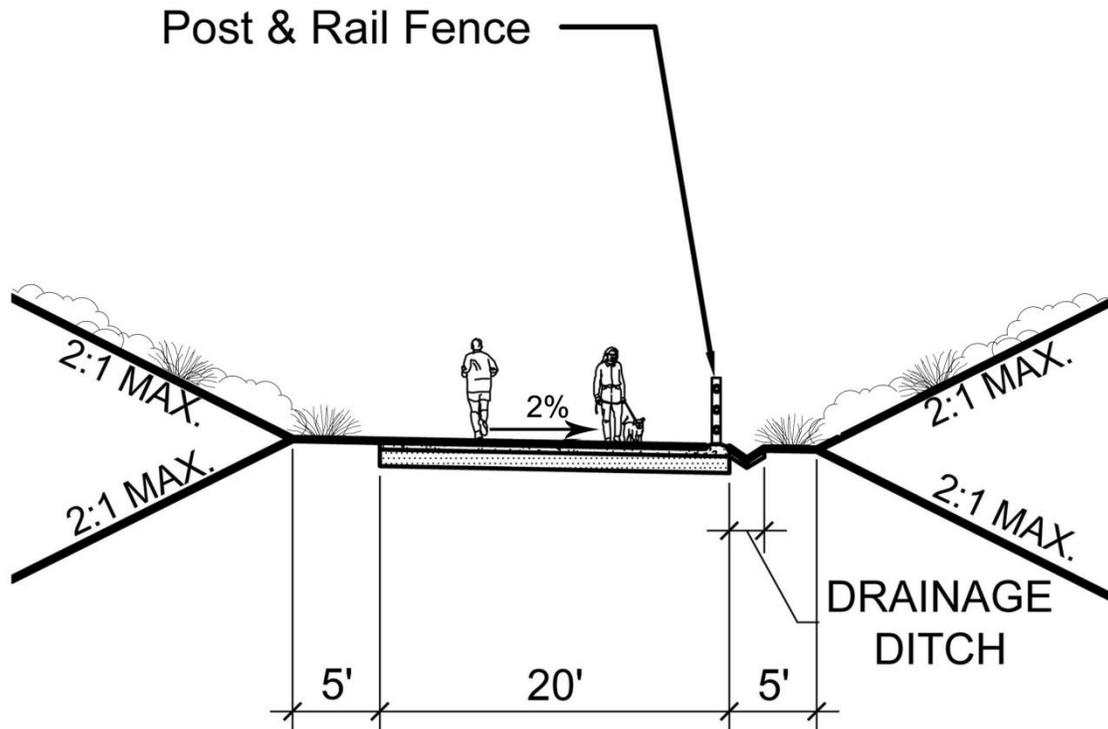


Exhibit 28
Community Park Paseo



7. Village Paseo

The Village Paseo is located within the single family neighborhoods in the northeast portion of Village 8 East. The 30' wide Paseo feature meanders through the neighborhoods and crosses two residential streets leading to the Village 8 East core area. The conceptual Paseo design includes a six foot meandering walkway, planting and turf areas, passive recreation elements, including benches and picnic and exercise areas. Enhanced paving, fencing and signage will further define the Paseo and alert vehicles at pedestrian crossings.

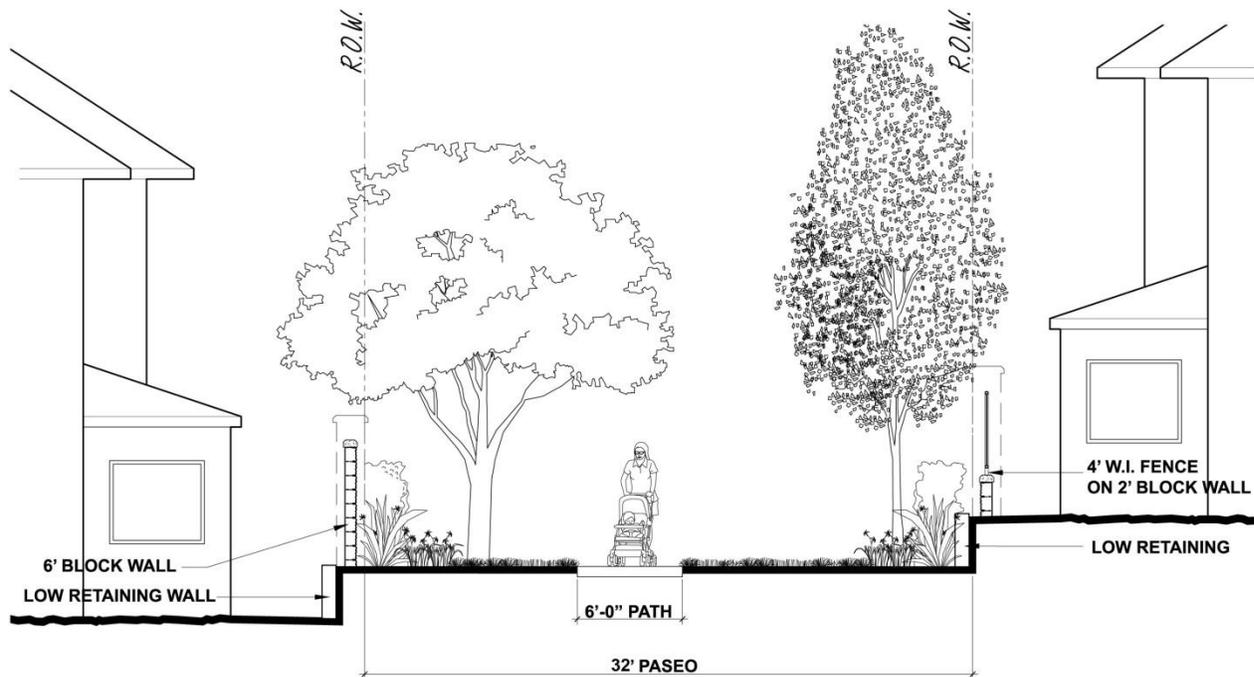


Exhibit 29
Village Paseo

8. Village Streets

The village streets are designed to promote pedestrian and bicycle circulation. Sidewalks are provided on all public village streets. The preferred design for all village streets is the Parkway Residential Street, which provides a minimum five-foot wide sidewalk separated from the roadway by landscaped parkways. The Village 8 East Design Plan will provide more design details.



H. BICYCLE CIRCULATION

The SPA Plan has been designed to accommodate the bicycle circulation program described by the Chula Vista General Plan, Otay Ranch GDP, Overall Design Plan, Greenbelt Master Plan, OVRP Concept Plan and Chula Vista Bikeway Master Plan. The Village 8 East Bicycle Circulation Plan is depicted on Exhibit 30¹. The following bike elements are planned within and surrounding the Village 8 East SPA Plan Area

1. Class 2 Bike Lanes

Class 2 Bike Lanes are planned along both Main Street, Otay Valley Road and along streets “A,” “K,” and “L.” These signed and striped lanes within the street right-of-way connect to a larger bike circulation network within the City of Chula Vista. In addition, an offsite pedestrian bridge over SR-125 includes an off-street Class 2 Bike Lane connecting Village 8 East to Village 9.

2. Class 3 Bike Routes

Class 3 Bike Routes are planned along the southern portion of Street A, the Community Park Entry Drive, and Community Park Paseo. Bicyclists have the option of sharing the road or utilizing the off-street Village Pathway.

3. Chula Vista Greenbelt Trail and OVRP Trails

The Chula Vista Greenbelt and OVRP trails are proposed as multi-use trails. As described above, the portion of the Greenbelt Trail coincides with the OVRP trail within Village 8 East and is located on the existing Salt Creek sewer access/maintenance through the Otay Valley on the north side of the river along the southern edge of the P-2 Community Park.

4. Regional Trails

Regional Trails are also intended as multi-use trails to accommodate a variety of users including bicyclists who may choose not to travel on bike lanes on major roadways. The trails are located on Main Street and the south side of Otay Valley Road

5. Additional Bicycle Routes

Additional Bike Routes are planned in the village connecting the school, park and community purpose facilities to the village core along the Modified Residential Promenade Streets. “Sharrows” painted on the travel lane will allow bicycles to share the travel way with vehicles.

¹ Bike racks shall be shown on improvement plans for all public right-of-ways within the Village Core.

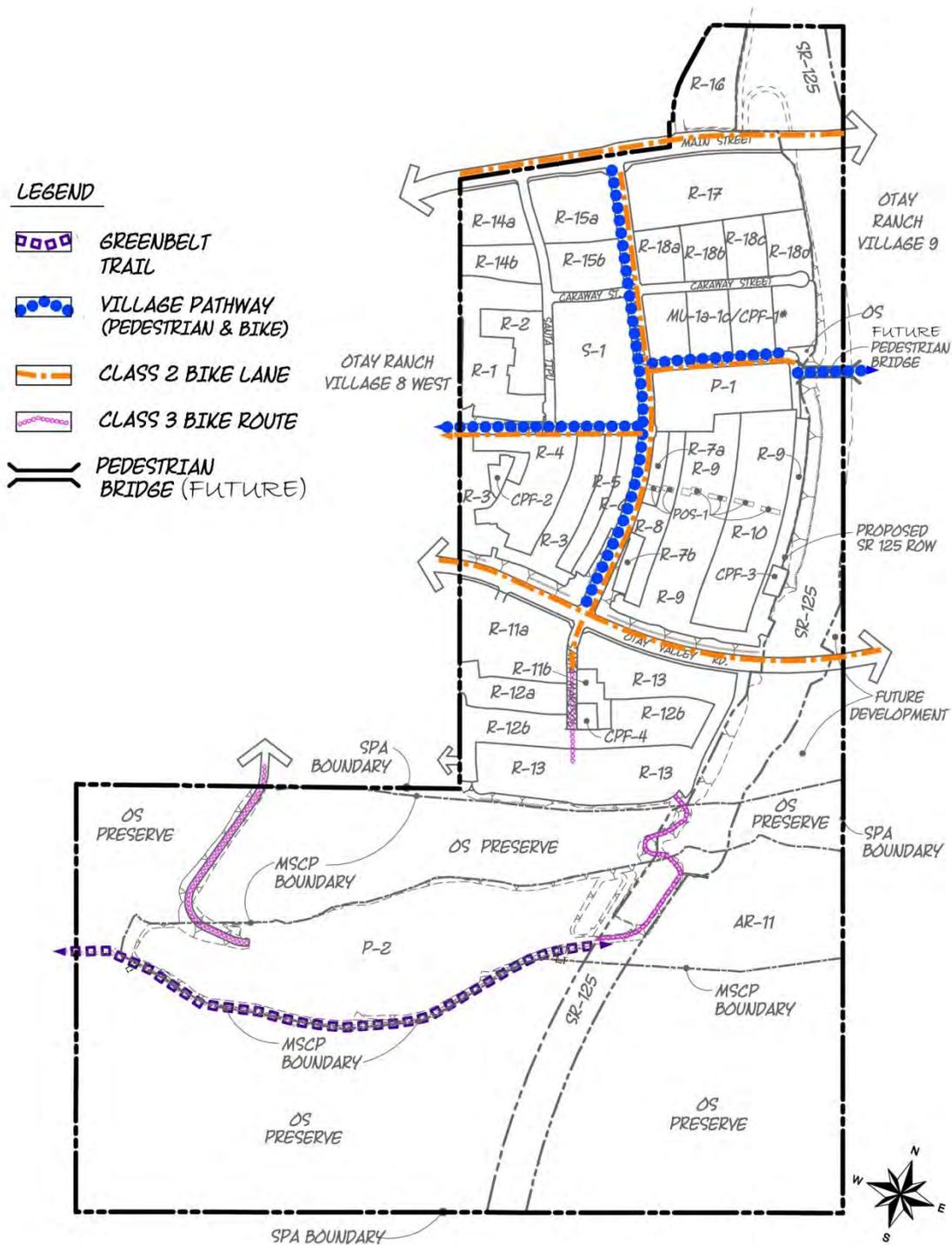


Exhibit 30
 Bicycle Circulation Plan

IV. Grading



IV. GRADING

A. INTRODUCTION

The Land Use and Transportation Element of the Chula Vista General Plan states the mesas, hilltops, and gently rolling topography in Chula Vista area offer the best conditions for development. Steeply sloped hills and valleys can serve as resources, linking developed regions and important natural features. A goal of the Otay Ranch GDP is concentrating urban development on flatter areas and retaining the sensitive natural topographic features. The SPA Plan Area is located primarily on mesa tops sloping south to the Otay River Valley. Slopes surrounding the village will be undulating with variable horizontal and vertical gradients, to blend into the surrounding terrain and create an aesthetically pleasing setting. This chapter describes the guiding policies and requirements for grading and their application to the topographic characteristics of the SPA Plan Area.

B. GRADING REQUIREMENTS

To ensure subsequent grading plans implement the City's policies regarding landform grading and hillside development, final grading design to implement the SPA Plan shall be consistent with the grading design concepts of the SPA Conceptual Grading Plan, and shall adhere to the grading standards and policies described below.

I. City of Chula Vista Grading Ordinance

Chula Vista Municipal Code Section 15.04 – Grading Ordinance, contains specific criteria to guide grading within the City:

- Create artificial slopes with curves and varying slope ratios designed to simulate the appearance of surrounding natural terrain.
- Incorporate created ravine and ridge shapes with protective drainage control systems and integrated landscaping design.
- Conventional grading shall mean the standard 2-to-1 slope and other uniform slope faces.
- Conventional grading should be restricted to those cases where adherence to landform grading principles would not produce any significant contribution to the high quality site planning goals established overall by the General Plan.
- Conventional grading is only appropriate where landform grading is demonstrated to be impractical or the location of the slope is in a very low visibility situation.
- The fact that landform grading may not produce the maximum size of building pad or development area is not sufficient justification for determining that landform grading is impractical.



2. Otay Ranch General Development Plan

The Otay Ranch General Development Plan also contains specific criteria to guide grading in the overall ranch area. Final grading designs implementing the SPA grading concept are required to incorporate the following:

- Grading within the SPA Plan Area shall be subject to Chapter 15.04 - Excavation, Grading and Fills of the Municipal Code.
- Ranch-wide, there shall be preservation of 83 percent of the existing steep slopes (property with gradients of 25 percent or greater).
- Geotechnical investigations shall be provided with each SPA plan.
- Grading within each village is intended to minimize earthmoving distances and to facilitate phased grading.
- Naturalized buffering shall be provided as a transition between development and significant existing landforms.
- Manufactured slope faces over 25 feet shall be varied to avoid excessive “flat planed” surfaces.
- Variable slope ratios not exceeding 2:1 should be utilized when developing grading plans.
- To complement landform grading, landform planting techniques will be utilized. As in a natural setting, major elements of the landscape are concentrated largely in the concave “drainages,” while convex portions are planted primarily with ground cover and minor materials.
- Contour grading shall be required adjacent to Salt Creek.

3. Otay Ranch Overall Design Plan

The Otay Ranch Overall Design Plan provides additional guidelines for grading within the project area:

- When grading in any of the defined scenic corridors, contours shall be carefully modulated and softened to blend with existing natural slopes to create a more natural and irregular appearance.
- Excessively long, uniform slopes shall be avoided.
- Contours should be rounded and blended without sharp or unnatural corners where cut or fill slopes intersect a natural canyon or slope.
- Transitions between new cut and fill slopes and natural slopes should be made by rolling the top or bottom of the new slope to integrate the two conditions.



- When grading for development or where roadways intersect a natural slope without cut or fill slopes (daylight condition), a rounded top or bottom of the slope should be retained to blend the natural slope with the building or road pad.
- Create road alignments to meet the natural contours with minimal grading and blending of cut/fill slopes with natural topography is required.
- When feasible, divided roads may be split vertically to soften the impact of grading and to maximize potential scenic views.
- Landscape graded slopes with native and indigenous plant materials to blend with existing planting when adjacent to new landscaping.

The GDP and RMP establish a ranch-wide standard for landform modification that 83% of steep slopes (natural slopes with gradients of 25% or greater) shall be preserved within the Otay Ranch. Based on current data collection and updated modeling results, Otay Ranch contains 9,821 acres of land with gradients of 25% or greater. Applying the GDP/RMP requirement for 83% Ranch-wide steep slope preservation equates to 1,670 acres of steep slopes Ranch-wide that could be impacted.

Development of Village 8 East would impact approximately 18.6 acres of natural steep slopes within the Otay Valley Parcel of Otay Ranch (Exhibit 31). Future build out projections for remaining SPA Plan areas in the Otay Valley, Proctor Valley, and San Ysidro Parcels estimate that 1,069 acres of steep slopes will be impacted Ranch-wide including the 18.6 acres within Village 8 East. Combined with set steep slope impacts (approximately 335.6 acres from approved plans), Ranch-wide impacts are estimated at 1,404.6 acres. The 1,404.6 acres of impact equates to approximately 86% preservation which is above the 83% preservation standard in the RMP. Table 3 provides a summary of the projected Ranch-wide impacts to steep slopes at build out.



Table 3 - Otay Ranch Steep Slopes

	Existing Steep Slopes (Slope Gradient \geq 25%)	Steep Slope Impacts (City of Chula Vista)	Projected Steep Slope Impacts (County of San Diego)
Otay Valley Parcel			
<u>Approved SPA Plans:</u> Villages 1 and 1 West, 2, 4 (Park Portion), 5, 6, 7, 8 West, 9, 11, and Planning Area 12 (Eastern Urban Center and Freeway Commercial)			
Sub-totals	439	335.6	-
<u>Remaining SPA Plans:</u> Village 3, 4 (Remainder), 8 East, 10, University, and Planning Area 18			
Sub-totals	287.4	202.7 ⁽¹⁾	-
Proctor Valley			
<u>Remaining SPA Plans:</u> Village 13, 14, 16, and 19			
Sub-totals	486.3	-	378.3 ^(2a,3)
San Ysidro Mountains			
<u>Remaining SPA Plans:</u> Villages 15 and 17			
Sub-totals	560.1	-	488.0 ^(2b,3)
Outside Development Areas			
Sub-totals	8,048.5	0	0
Ranch-wide Sub-totals	9,821.3	538.3	866.3
Ranch-wide Totals	9,821.3	1,404.6	

Notes:

1. Slope impacts are based on best available data including currently proposed projects (SPA Plans/Tentative Maps) and current GDP/SRP development areas.
2. Excludes acreages associated with Wildlife Agency conservation acquisitions that would no longer be developable:
 - a. 108 acres within Proctor Valley
 - b. 72.1 acres within San Ysidro Mountains
3. Assumes development will impact 100% of steep slopes (slope gradient \geq 25%) within current GDP/SRP development areas.

Manufactured internal slopes within the SPA Plan Area are typically 2:1 maximum gradient. If at the tentative map stage slopes of 25 feet in height or greater in highly visible locations are proposed, landform grading techniques may be considered on a case-by-case basis as/and approved by the Development Services Director. In the SPA Plan Area, the most visible slope locations are along prime arterial streets and adjacent to the Otay River Valley open space preserve area. As such, landform grading techniques will be used for slopes 25 feet in height or greater where they occur along prime arterial streets and natural open space.



C. GRADING CONCEPT

The SPA level grading plan provides a preliminary grading concept identifying major slope locations. The preliminary grading design is as indicated on the Conceptual Grading Plan (Exhibit 32). The grading concept is based on the following objectives:

- Create efficient man-made landforms that visually respond to natural terrain characteristics where practical.
- Create and maintain on- and off-site views.
- When significant land forms are modified for project implementation, round the land form as much as possible to blend into the natural grade.
- With approval of the City Engineer, round the tops and toes of slopes. When slopes cannot be rounded, utilize vegetation to alleviate sharp angular appearances.
- Balance earthwork, utilizing an equal amount of cut for an equal amount of fill.
- Create, where possible, barriers or physical separation from traffic noise sources.
- Utilize elevation changes to separate potential land use conflicts.
- Wherever possible, create a fairly level area for a village core that will accommodate mixed-use, community purpose facility, elementary school, neighborhood park and multi-family residential development.
- Create useable areas that provide for a variety of residential housing types.
- Minimize, where feasible, impacts to sensitive areas including the Otay River Valley.

Preliminary soils and geotechnical reports have been prepared for the SPA Plan Area and have identified the site as suitable for development. The proposed raw grading quantity for the Plan area is approximately 4.8 million cubic yards of balanced cut and fill material. Exhibit 33 illustrates the locations of cut and fill. This raw quantity is exclusive of remedial measures which may be required by the soils engineer. Actual quantities will be based on more detailed engineering at the tentative map, grading plan and final map stages. Grading limits extend beyond the boundary of the SPA Plan for the construction of roads and infrastructure.

Based on actual field conditions, the erosion potential of slopes will be reduced with control measures such as berms at the tops of slopes, paved interceptor ditches, and vegetation. Erosion control will be consistent with best management practices.



Project grading permits will provide assurances acceptable to the City Engineer that landscaped slopes will have adequate maintenance to ensure continued viability of landscaping. Generally, except for private lots, slopes which exceed ten feet in height will be maintained by a homeowners' or property owners' association or a landscape maintenance Community Facilities District (CFD).

D. GRADING REVIEW

Tentative Maps and grading plans will require conformance to the grading concepts and requirements contained in this SPA, and to all applicable City policies and ordinances.

Prior to grading plan approval by the City Engineer, all grading will be subject to the requirements of the Chula Vista Storm Water Manual, the City of Chula Vista Subdivision Manual, Design and Construction Standards of the City of Chula Vista, San Diego Area Regional Standard Drawings, and Standard Specifications for Public Works Construction.

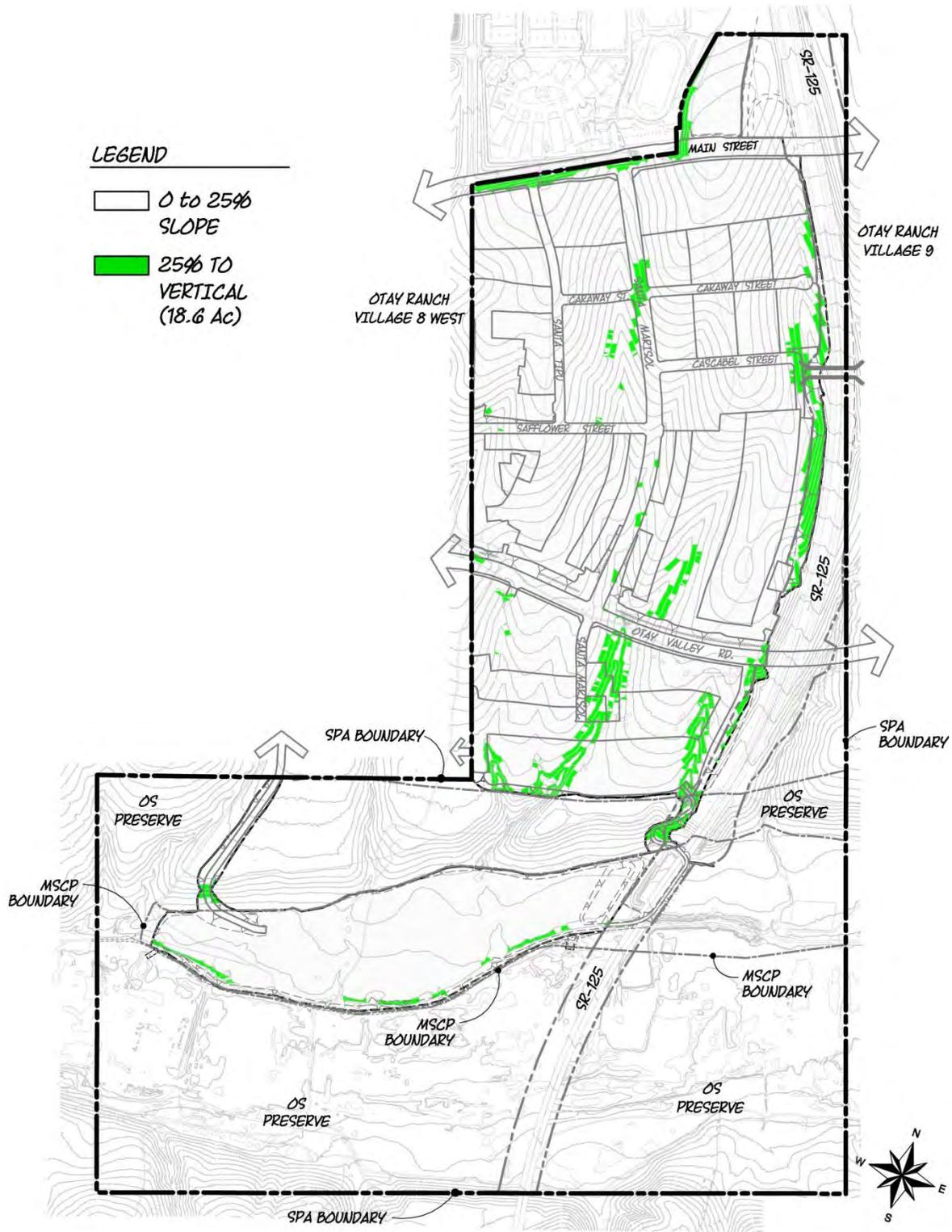


Exhibit 31
 Steep Slopes

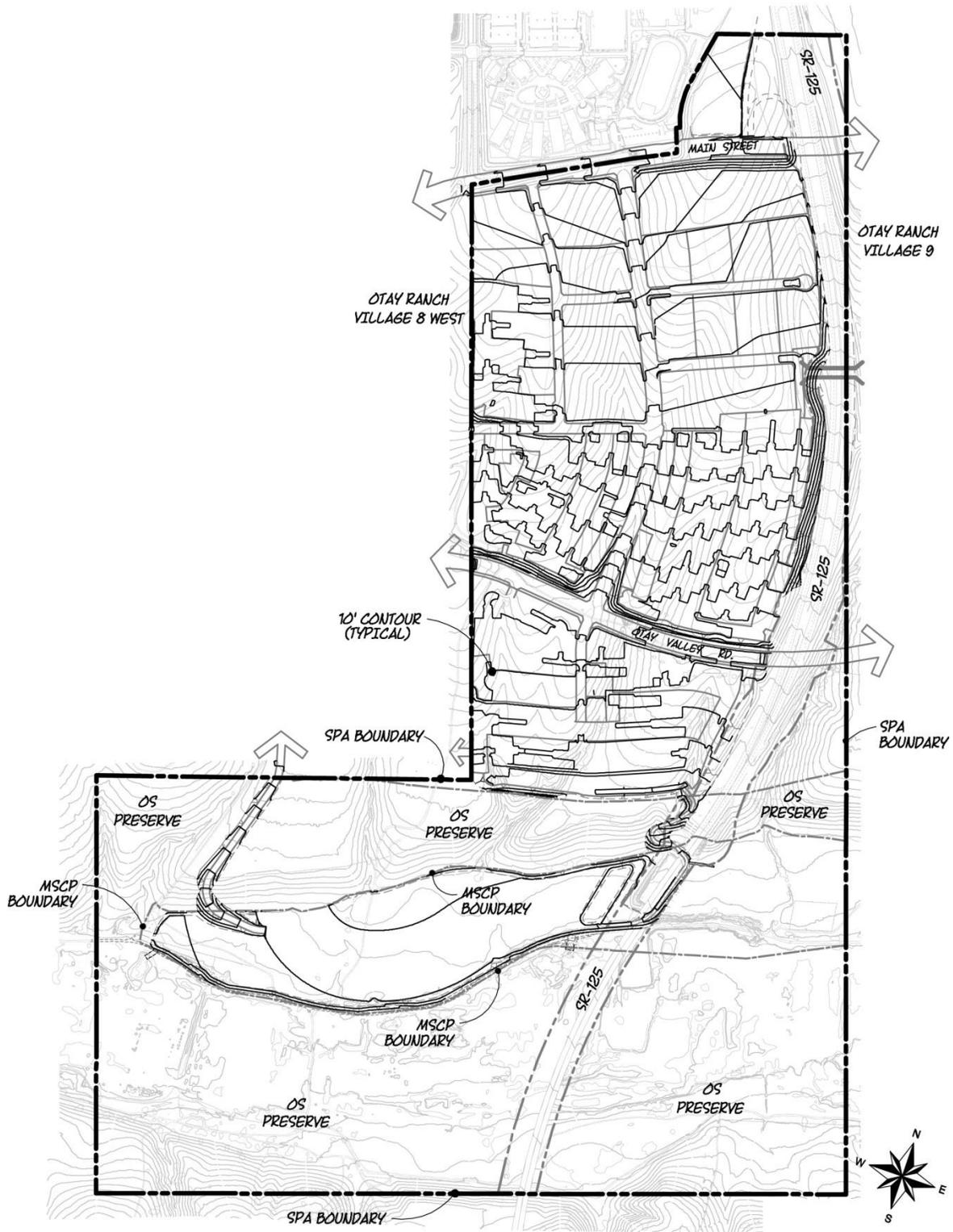
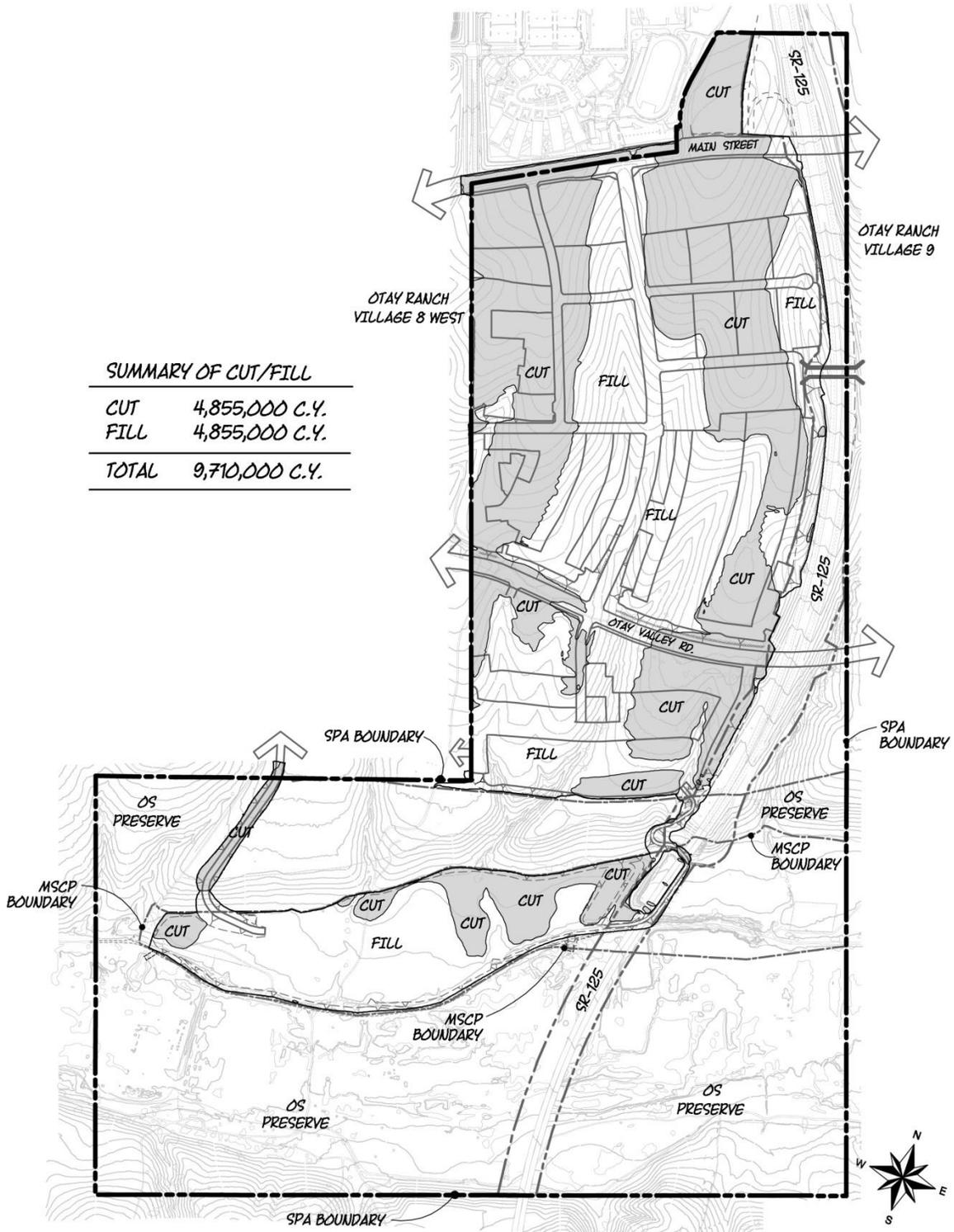


Exhibit 32
Conceptual Grading Plan



SUMMARY OF CUT/FILL

CUT	4,855,000 C.Y.
FILL	4,855,000 C.Y.
TOTAL	9,710,000 C.Y.

**Exhibit 33
 Cut and Fill Plan**

***V. Parks, Recreation, Open Space
& Trails Master Plan***



V. PARKS, RECREATION, OPEN SPACE & TRAILS MASTER PLAN

A. INTRODUCTION

I. Purpose

This Parks, Recreation, Open Space and Trails Master Plan ("SPA Park Master Plan") identifies and describes park, recreation, open space and trail facilities for the Village 8 East SPA Plan Area. This SPA Park Master Plan meets the Otay Ranch Parks, Recreation and Open Space goals, objectives, policies and implementation measures identified in the Otay Ranch GDP to provide parks, recreation and open space amenities. The primary goal is to enhance the quality of life for residents and visitors by providing a variety of active and passive recreational opportunities.

This SPA Park Master Plan also meets the goals, policies and requirements of the City of Chula Vista Parks Master Plan (2012), the City of Chula Vista Greenbelt Master Plan and Otay Valley Regional Park Concept Plan. This Plan incorporates both SPA and Tentative Map-level requirements for planning parks, recreation facilities, open space and trails associated with the development of the SPA Plan Area.

2. Regulatory Framework

The provision and implementation of parks and open space in the SPA Plan Area is regulated by the following:

Chula Vista Municipal Code – SPA Plans

Section 19.48.090 (P-C-Planned Community Zone) of the Chula Vista Municipal Code establishes Sectional Planning Area Plans, Requirements and Content. Subsection C.1. requires the following information to be contained in a SPA site utilization plan:

- Land Uses
- Parks
- Open Space

Chula Vista Municipal Code – Park Lands and Public Facilities

Chapter 17.10 (Park Lands and Public Facilities) of the Chula Vista Municipal Codes establishes the requirements for dedication of land, development of improvements, parkland criteria, in-lieu fees for land dedication and development improvements, commencement of park development, and collections and distribution of park fees.

Otay Ranch GDP

The Otay Ranch GDP requires specific identification of park, recreation and open space provisions at the SPA Plan level. The SPA requirements are:

- Provide a Parks Master Plan



- Identify and reserve specific sites
- Identify equipment needs.
- Identify alternative financing methods.
- Identify alternative maintenance entities and funding.
- Identify phasing.
- Identify plans for the use of reclaimed water, as appropriate.
- Review need for special purpose parks.

The Otay Ranch parks and recreation goals, objectives and policies provide for a variety of parks and recreation amenities. Otay Ranch provides the opportunity for a full range of passive and active recreational opportunities both locally and on a regional basis. Otay Ranch GDP goals, objectives and policies related to park and recreation facilities include the following:

Goal: Provide diverse park and recreational opportunities within Otay Ranch which meet the recreational, conservation, preservation, cultural and aesthetic needs of project residents of all ages and physical abilities.

Objective: Identify park, recreational and open space opportunities, where appropriate, to serve the South County region and San Diego County as a whole.

Policy: Encourage joint use of utility easements with appropriate and compatible uses, including, but not limited to, open space, agriculture, parking and trails.

Objective: Maximize conservation, joint uses and access and consider safety in the design of recreational facilities.

Policy: Commercial recreation opportunities may be permitted within Town Square, community and regional parks to generate revenue to defray park operational expenses.

Policy: Utilize conservation measures including reclaimed water, efficient irrigation systems and drought tolerant plant material in the development of public and private parks where allowed.

Policy: Minimize park operation and maintenance costs and identify funding sources for continued operation and maintenance of all Otay Ranch park and open space land.

Objective: Provide neighborhood and Community Park and recreational facilities to serve the recreational needs of local residents.



Policy: Provide a minimum of 3 acres of neighborhood and Community Parkland (as governed by the Quimby Act) and 12 acres per 1,000 Otay Ranch residents of other active or passive recreation and open space area.

Policy: Encourage the design of park sites adjacent to public schools and other public lands where co-location of facilities is feasible. Joint use agreements with school districts are encouraged.”

Chula Vista Parks Master Plan

The Chula Vista Parks Master Plan contains goals and policies that serve as the blueprint for creating a quality park system. The document establishes goals for the creation of a comprehensive parks and recreation system that meets the needs of the public by effectively distributing park types and associated recreation facilities and programs throughout the City. The park sites identified on the Site Utilization Plan are consistent with the requirements of the Chula Vista Parks Master Plan. Conceptual Park designs comply with the park descriptions in the Parks Master Plan.

Chula Vista Greenbelt Master Plan

The Chula Vista Greenbelt Master Plan implements an open space and trails concept which consists of connected open space ringing the City of Chula Vista that includes the Sweetwater Valley and Otay Valley, connected by the Otay Lakes on the east and the San Diego Bay on the west. A primary trail system within the Greenbelt will consist of multi-use and rural paths which will total approximately 28-miles surrounding the City. The Greenbelt Master Plan addresses existing and potential trail locations, trail and staging area development standards, and maintenance responsibilities. Portions of the Greenbelt include open space conservation areas established through the MSCP and the San Diego National Wildlife Refuge.

Otay Valley Regional Park Concept Plan

The Otay Valley Regional Park (OVRP) is a multi-jurisdictional planning effort by the City of Chula Vista, County of San Diego and the City of San Diego. The OVRP will provide residents and visitors recreational opportunities ranging from playing fields and picnic areas to hiking, biking, and horse trails while protecting open space, wildlife, historic, agricultural, and archaeological resources. The OVRP links south San Diego Bay with Upper and Lower Otay Lakes.

The OVRP Concept Plan was adopted in 2001 and provides policy direction for the jurisdictions for coordinated land acquisition and development for the regional park within this framework of private property rights. The OVRP Concept Plan does not change existing zoning, land use plans or add new development regulations. It also does not preclude private development. The OVRP Concept Plan does not call for specific types of recreational development or give detailed design plans for specific areas. These development decisions will be made as master plans and site specific development plans such as SPA Plans are prepared.



SPA Plan Public Facilities Finance Plan

The Municipal Code establishes, as a condition of SPA approval, the preparation of a Public Facilities Finance Plan (PFFP). The PFFP must show how and when facilities and services necessary to accommodate the development will be installed and financed, including a phasing schedule to ensure that facilities are provided in a timely manner and that one area will not utilize more than the area's fair share of facility or service capacity.

Entitlement Documents

Park, recreation and open space provisions are further defined as development entitlements are processed as follows:

- Tentative Map requirements:
 - Include local park sites in Conditions of Approval
 - Identify funding for local parks and determine a schedule for the payment of pad fees
 - Review existing or proposed trails on adjacent properties to ensure linkages
- Subdivision Landscape Master Plan requirements:
 - Include all principal landscape design concepts (same size/scale as Tentative Map)
 - Include all park, recreation, open space and trails
 - Identify ownership and maintenance responsibilities
- Final Map requirements:
 - Dedicate local park sites
 - Assure funding for local parks
 - Implement design guidelines
- Building Permit Requirements:
 - Pay impact fee (if established)



3. Park Requirements

Chula Vista Municipal Code

The City of Chula Vista Municipal Code, Chapter 17.10, Parklands and Public Facilities (12/94), establishes the method by which actual required park acreage is to be calculated, based on the number and type of residential units determined at the Final Map level. The City's 2002 Park Acquisition and Development Fee Update determined that each single family detached dwelling unit generates a need for 460 square feet of developed parkland and each attached multi-family unit generates a need for 341 square feet of developed parkland. Based on 943 single family detached homes and 2,617 multi-family attached homes, the parkland obligation for Village 8 East is approximately 30.5 acres.

Table 4 - Estimated Required Park Land Dedication

DWELLING UNIT TYPE	TARGET NUMBER OF UNITS	PARK AREA/DU	TOTAL AC²
Single Family Detached	943	460 SF	10.0 AC
Multiple Family Attached	2,617	341 SF	20.5 AC
Total	3,560		30.5 AC

City of Chula Vista Landscape Manual

Part Three of the Chula Vista Landscape Manual addresses the requirements and criteria of public projects, including parks, open space and streetscapes (whether a City Public Works project or a private “turnkey” project). The Landscape Manual provides the requirements for submittals, graphics and standards, design standards and criteria, landscaping, irrigation and trails.

SPA Plan

The GDP requires SPA-level planning to define the location, acreage and boundaries of neighborhood and Community Parks and open space. The PFFP further analyzes and determines park requirements and phasing.

The SPA Land Use Plan provides a 6.8 (net) Neighborhood Park (P-1) within the village core and a 40.0 (net) Community Park (P-2). The eastern portion (22.6 gross acres) of Active Recreation (AR-11 per OVRP Concept Plan) is within the boundaries of this SPA Plan but is not proposed for development at this time. The total parkland in the SPA Plan Area is 46.8 acres (net). The actual park acreage requirements will be based on the number of residential units (and projected population) approved on the subsequent Final Map(s) for Village 8 East and is further discussed in the PFFP.

² If the Land Use Alternative is implemented in Neighborhoods R-11a and R-12a, the Park Land Dedication calculation must be updated to reflect the change.



B. VILLAGE PARK AND RECREATION PROGRAM

The Otay Ranch Parks and Recreation Facility Implementation Plan (adopted by the City Council on October 28, 1993) identifies the parks facility improvement standards for Otay Ranch. The City of Chula Vista Recreation Department and the Parks Division of the Public Works conducted subsequent facilities needs assessments and proposed modifications to the adopted Otay Ranch Plan.

This SPA Park Master Plan strives for consistency with the Otay Ranch Plan and the current proposed plans and policies of the Parks and Recreation Department. This SPA Park Master Plan identifies the proposed types, quantities and location of the facilities provided at each park site in the SPA Plan Area. In addition to identifying specific facility needs and requirements, the goal of the SPA Park Master Plan is to describe the elements necessary to ensure a rich variety of recreational opportunities, while satisfying identified recreation needs. The variety of recreational elements proposed and the recreational opportunities envisioned are discussed below.

I. Recreation

The village concept organizes land uses to create a cohesive, pedestrian friendly community, encourage non-vehicular trips and foster interaction between residents. The SPA Park Master Plan provides a variety of recreational opportunities to support the village concept. The recreational plan is based on the following principles:

- Recreation standards such as total parks and recreation acreage, minimum park size, and facility design shall conform to City requirements.
- Progressive parks and recreation concepts shall be employed with programs tailored to people rather than people to programs.
- Standards for size and design of activity areas and facilities shall be reviewed periodically and adapted to the changing needs of the population served.
- Logical site selection criteria to distinguish between “Community” and “Neighborhood” Parks. Recreational considerations such as active versus passive, big-muscle versus small motor muscle, family-oriented versus adult-oriented shall be considered in the context of overall land planning.
- Ownership and maintenance responsibilities for parks and recreation facilities within the villages shall be analyzed to appropriately reflect areas of benefit, public funding limitations and fiscal impact.
- Major parks and recreation facilities shall be linked by a trail system for pedestrians and bicycles.



To the extent practical, Community and Neighborhood Parks shall be located near school sites to increase the potential for shared use of facilities. Joint planning and design of adjacent school/park facilities is encouraged.

Parks and Recreational Activity Categories and Accommodations

A variety of recreation opportunities contribute to the quality of life of residents of Village 8 East and the Otay Ranch community. The following is a list of recreational activity categories that will be provided through recreational programming in the village and the Otay Ranch parks and recreation system:

- Big muscle (playground equipment, sports fields, aquatic facilities, tennis, wheeled sports)
- Nature learning (hiking, bird watching, environmental education)
- Hand-intellect (art/crafts and scientific activities, vocational/special interest classes)
- Informal play (open space play areas)
- Creative play (adventure playgrounds, specially equipped parks)
- Informal social activities (conversation areas, informal seating arrangements)
- Relaxation (hobby-oriented such as fishing, gardening and picnicking)
- Rhythm and music (indoor and outdoor facilities for live music and dancing/classes)
- Drama (performance facilities/classes)
- Social activities (neighborhood group, social dance, club meeting facilities)
- Service (volunteer program, club, committee meeting facilities)
- Accommodations for recreational activity for Village 8 East residents will be provided through the following parks and recreational facilities:

Regional Park

Regional parks may include recreational activities such as riding and hiking trails, picnic areas, golf course, active and informal play areas and natural open areas. South of Village 8 East, the Otay Valley Regional Park is planned to include a trails system, including Greenbelt Master Plan trails, and active recreation areas. The Village 8 East SPA Plan Area includes the OVRP Active Recreation Area 11 and a portion of the Chula Vista Greenbelt Trail. This portion of the trail is located within the Salt Creek Sewer easement (Wiley Road) and included with the AR-11 area designated P-2 (Community Park) in the SPA Plan.



Active Recreation Areas

Active recreation areas are identified in the OVRP Concept Plan and the Chula Vista MSCP Subarea Plan. These are areas within the MSCP and Otay Ranch Preserve which are suitable for more active recreational opportunities. The project includes a 51.5 acre (gross) portion of the active recreation area identified as Recreation Area 11 by the OVRP Concept Plan and designated Community Park P-2 in the Village 8 East SPA Plan. The remaining portion of AR-11 is also within the SPA boundary but is not proposed for development. This property remains available for active recreation uses in the future and is designated “AR-11” in the Village 8 East SPA Plan. Pedestrian access to the AR-11 site is provided via the Chula Vista Greenbelt Trail , a portion of which is within the SPA Plan Area and the Community Park Paseo.

Community Park

Recreational facilities in Community Parks include lighted ball fields and courts, recreation complexes (buildings and swimming pools), security lighting and areas for children’s play, informal play and picnicking. The project includes a 40.0 acre (net) Community Park site previously designated as an active recreation area by the OVRP Concept Plan and which will also provide connections to the Chula Vista Greenbelt trail system.

Neighborhood Park

Recreational facilities may include ball fields and lighted sport courts, security lighting children’s play equipment/tot lots, informal play and picnic areas.

Private Recreation Facilities

Private recreation facilities emphasize informal social and recreational activities. Facilities may include informal play areas, tot lots and seating areas. The Private Recreation Facilities may be credited as Community Purpose Facilities, and are described in the Community Purpose Facility Master Plan, Chapter VI.

Town Squares

Town squares are the focal points of the neighborhood Village Cores and provide the opportunity to create social centers in the villages. Facilities may include plazas or open areas for village events and performances, seating areas, tot lots and play areas.

Public Schools

Public school buildings and outdoor play areas provide an opportunity for recreational activities within a village. The location of schools adjacent to parks, enhance both uses and may allow for shared use of facilities.



Commercial Centers

Commercial areas within a village can provide recreational opportunities in the form of outdoor seating and eating areas. Businesses such as cafes, bookstores and bike shops promote leisure and recreational activities.

Community Purpose Facilities

Recreational activities that serve the village may be provided by a community purpose facility such as a church, Boys and Girls Club or similar non-profit entity. Facilities may include swimming pools, senior or teen centers and meeting rooms.

Private Open Space

Private Open Space areas are intended to serve residents in neighborhoods where individual lots may not achieve the minimum Private Usable Open Space requirements identified in the PC District Regulations. Facilities may include, but are not limited to, open lawn areas, ball fields and courts, tot lots/play areas, picnic areas, and swimming pools.

Paseos

Paseos are intended to provide pedestrian and/or bicycle linkages through residential neighborhoods connecting to the Village Trail network. Paseos typically include a wide, meandering walkway with landscaping on both sides.

Common Usable Open Space (CUOS)

CUOS sites, as defined in the PC District Regs, Page 26, may be sited within multi-family and single family neighborhoods. These sites will be designed with recreational uses including both passive (landscaping) and active amenities (tot lots, picnic areas, etc.).

Village Pathway and Trails

Special pedestrian and bicycle routes provide an opportunity for expanded recreation and for conveniently traveling to parks or other recreational sites within a village.

2. Parks

Park Development Standards

The SPA Park Master Plan will adhere to the standards and requirements set forth in the City of Chula Vista Landscape Manual and the City of Chula Vista Parks Master Plan, Chapter 3. General standards include the following for determining net useable park acreage:

- Park sites shall be graded to a 2% slope to accommodate the facility requirements of the specific park site.
- Slopes steeper than 4:1 are ineligible for park credit.



- Graded slopes are to be constructed in conformance with the City's landform grading policies.

All park areas shall be accessible per the American Disabilities Act (ADA) requirements.

Parks Descriptions

The SPA Park Master Plan area parks include one Neighborhood Park and a Community Park. Exhibit 34, Parks, Recreation, Open Space and Trails Plan illustrates the locations of the village parks. A conceptual design and description of park facilities is provided below.

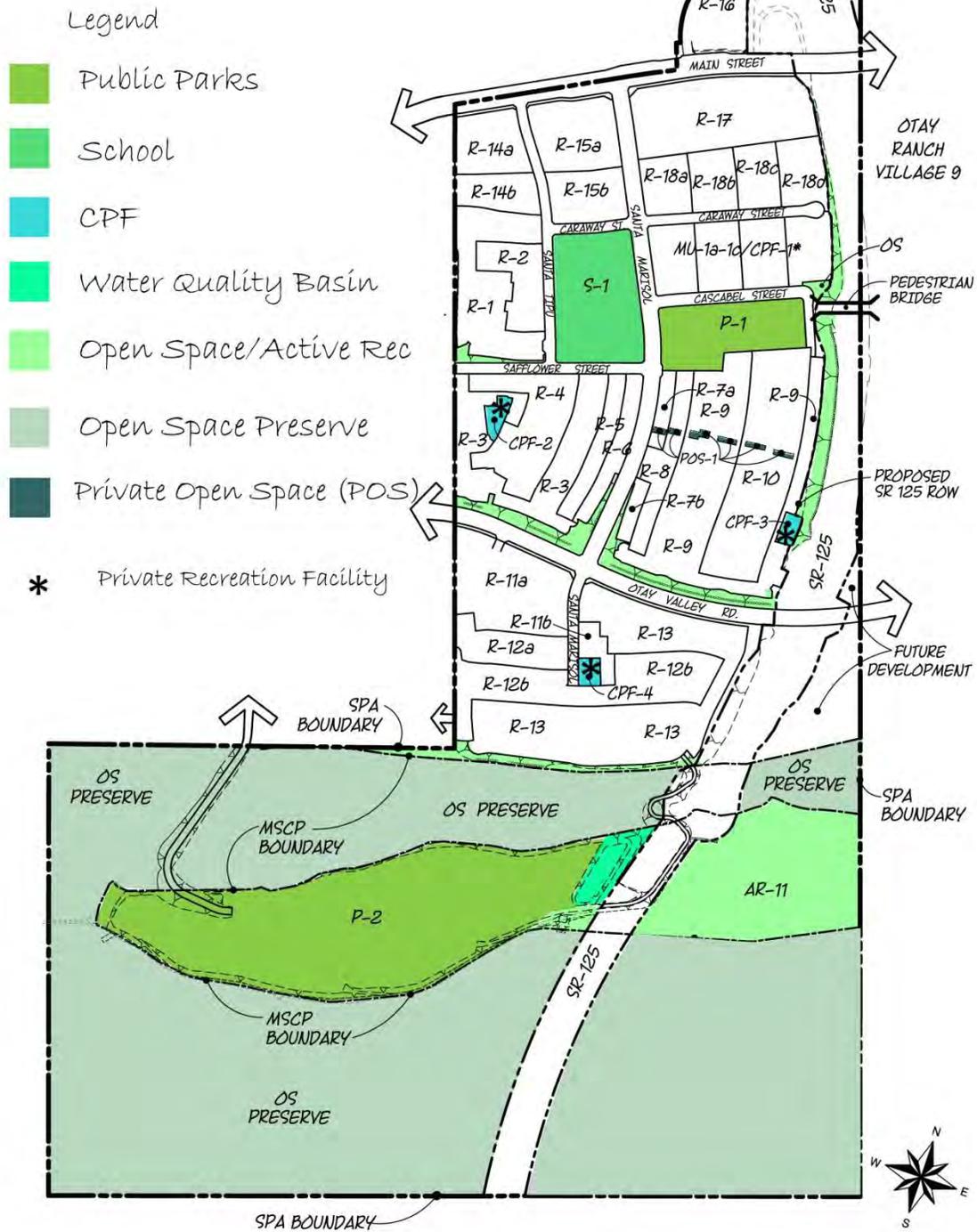


Exhibit 34
 Parks, Recreation, and Open Space Plan



Neighborhood Park P-1

Location

An 6.8 acres (net) Neighborhood Park (P-1) is located in the Village 8 East Core along the Village Pathway. This location is within walking distance of the most densely populated portion of the village and its proximity to the elementary school provides opportunities for shared facilities and programs.

Park Facilities

Park amenities will be in conformance with the City of Chula Vista Parks Master Plan requirements. Amenities may include multi-purpose open lawn areas, ball fields, sports courts, picnic shelters, tot lots and restroom and maintenance buildings. Exhibit 35 illustrates a conceptual design. The Chula Vista Parks Master Plan recommends the following facilities be included in the public parks within Village 8 East:

Primary Facilities:

- 1 Multi-Purpose Field
- 1 Basketball Court with lighting
- 1 Tennis Court with lighting
- 8 picnic Tables (quantity of shade structures to be determined through the individual park design process)
- 1 Play Area with Play Equipment (age appropriate equipment to be determined through the individual park design process)
- Restrooms/Maintenance Building
- 1 Dog Park
- Open Lawn Areas

Support Facilities:

- Paved Walkways with Lighting
- Parking (the need for parking to be determined through the individual park design process)

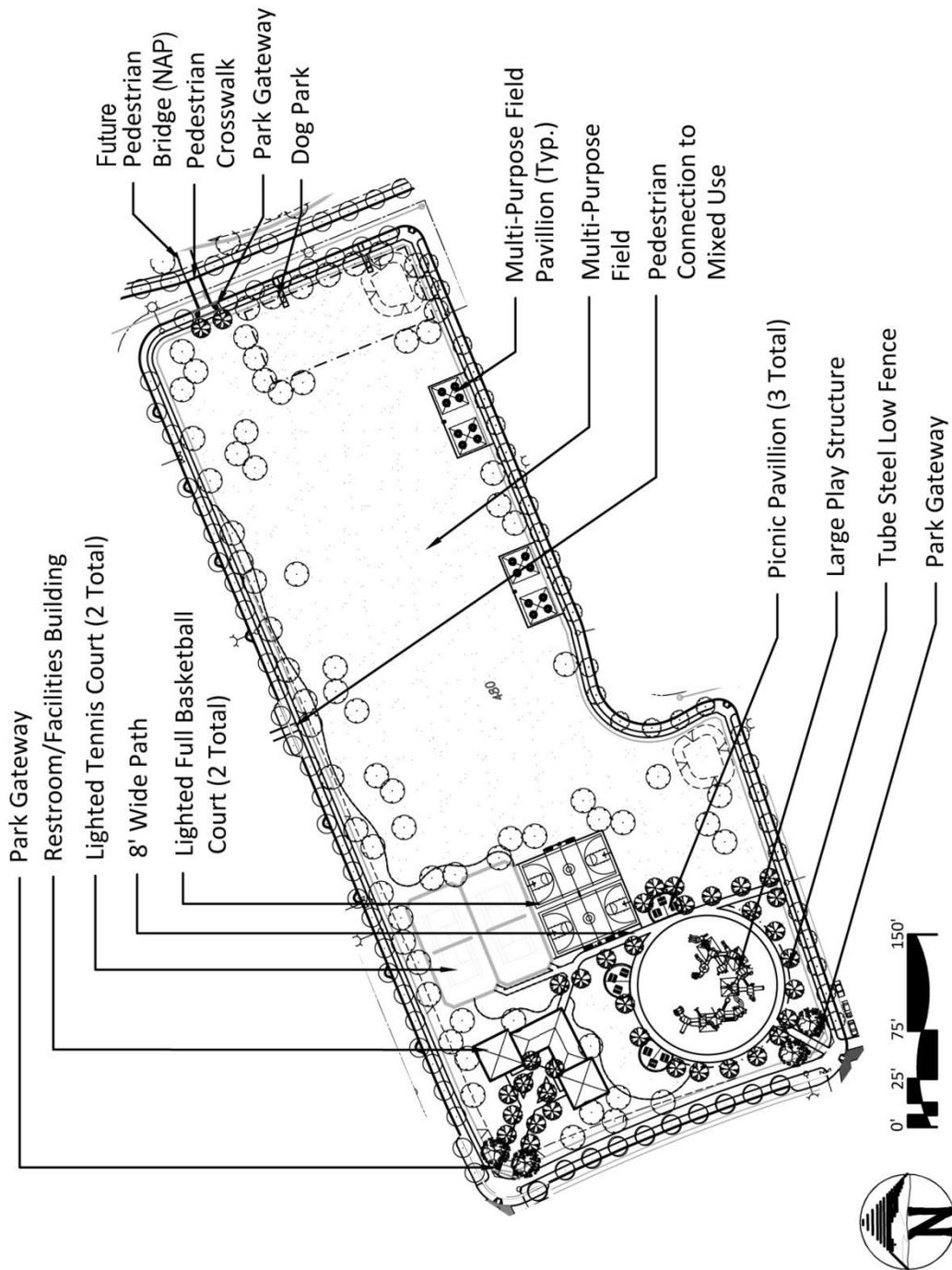


Exhibit 35
Neighborhood Park (P-1) Concept Plan

Note: This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.



Community Park P-2

Location

An approximately 40.0 acres (net) Community Park (P-2) is located south of Village 8 East, within the Otay Valley Regional Park. This area is identified in the OVRP Concept Plan as Recreation Area 11 and is subject to policies contained in the Otay Valley Regional Park Concept Plan and the Otay Valley Regional Park Guidelines for Project Design and Community Input Process. Two points of access are provided through Village 8 East.

Park Facilities

Park amenities will be in conformance with the City of Chula Vista Parks Master Plan. Amenities may include multi-purpose open lawn areas, ball fields, sports courts, picnic shelters, play areas and restroom and maintenance buildings. Exhibit 36 illustrates a conceptual design. The Chula Vista Parks Master Plan recommends the following facilities be included in the public parks within Village 8 East:

Primary Facilities*:

- Multi-Purpose Field(s) (the need for field lighting to be determined through the individual park design process)
- Tennis Courts with lighting
- Basketball Courts with lighting
- Picnic Tables
- Play Area with Play Equipment (age appropriate equipment)
- Restrooms/Maintenance Building
- Open Lawn Areas

Support Facilities:

- Paved Walkways with Lighting
- Parking (the need for off-street parking to be determined through the individual park design process)

* Facilities to be determined through the individual park site design process

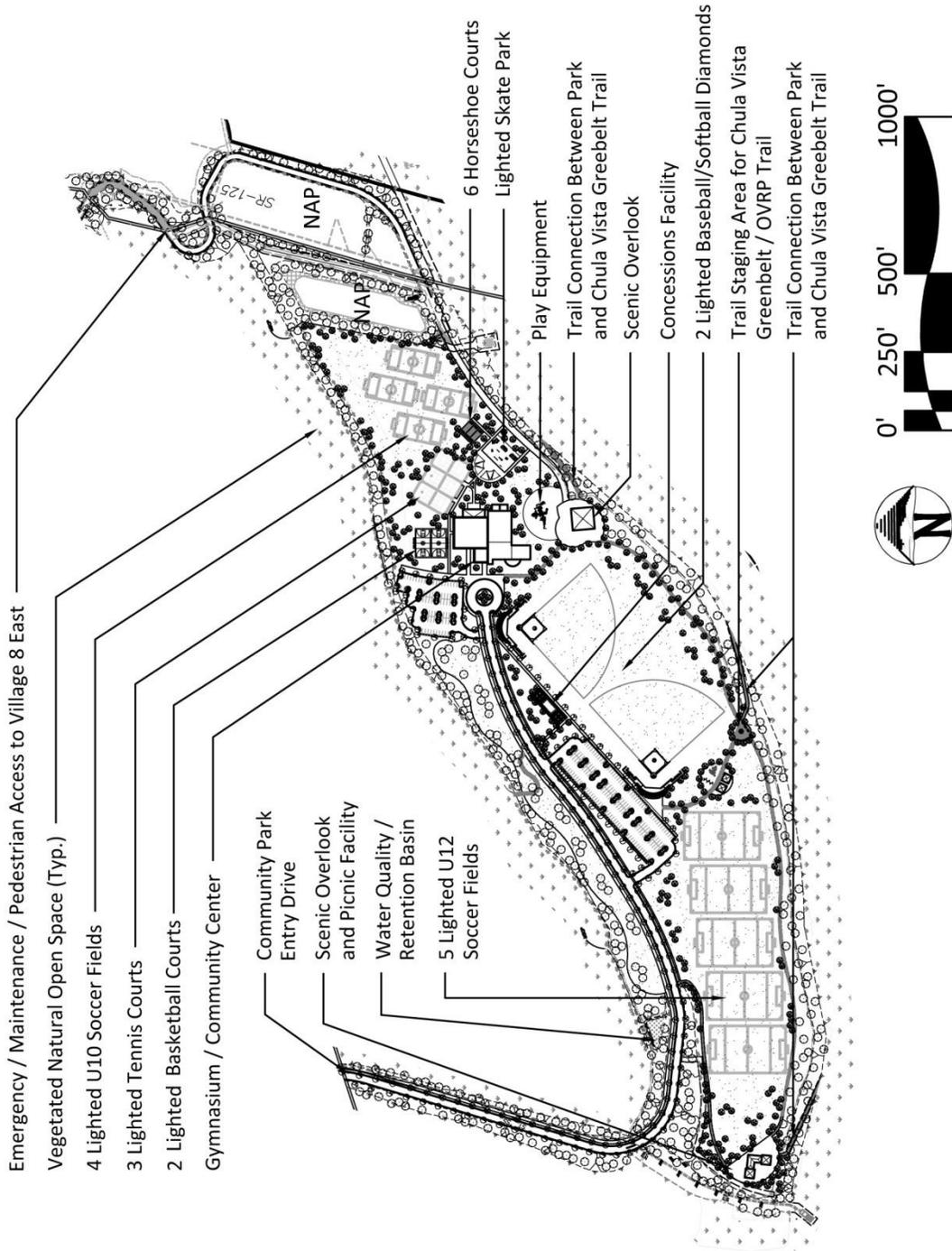


Exhibit 36
Community Park (P-2) Concept Plan

Note: This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.



Active Recreation AR-11

The OVRP Concept Plan identifies Recreation Areas through the Otay River Valley, including the site south of Village 8 East (Active Recreation Area 11). The western portion is proposed as a Community Park (P-2) in the Village 8 East SPA Plan. The eastern portion of Recreation Area 11 is not proposed for development but remains designated “Active Recreation” on the Chula Vista General Plan and remains available for future uses that are compatible with the Active Recreation designation.

3. Trails and Bicycle Routes

The SPA Plan Area has been designed to accommodate the trails program described in the Otay Ranch Overall Design Plan, the City's Greenbelt Master Plan and the Otay Valley Regional Park Concept Plan. The plan recognizes the provision of bicycle and pedestrian circulation is fundamental to creating an urban village. All circulation elements within the SPA Plan Area have been located and designed to be as accessible as possible, however, the off-street trails contain steep topography which may limit bicycle travel. The project will provide Greenbelt Trail improvements along the portion of Wiley Road, within the project boundary. Improvements may include fencing and signage and shall be determined based upon environmental and other constraints, subject to City review and approval per the Chula Vista Greenbelt Master Plan, Page 25.

The Trails Plan is illustrated in Chapter III, Circulation, of this SPA Plan. The landscape treatment and design elements of village trails are also illustrated and described in the Village 8 East Design Plan.

4. Community Gardens

The Chula Vista General Plan includes objectives and policies related to planning for healthy communities. Highlighting the growing awareness of the need for Healthy Communities the national “Healthy Community” Initiative stresses healthy choices at all levels from appropriate placement of land uses to ensure that citizens are not adversely affected by uses that may present health risks, to opportunities for exercise and to have healthy



diets in part through better access to recreation facilities and healthy food choices. Another important facet of Healthy Communities is increasing availability and access to healthy food choices. In 2010, the City of Chula Vista adopted a community garden policy that provides a framework for community groups wishing to establish gardens. The adopted Community Gardens Policy describes the community participation process for establishing a community garden, outlines the process for community garden planning and provides community garden establishment and maintenance guidelines. A standard “Community Garden User Agreement” is also a component of the Community Garden Policy.



Community gardens in Village 8 East are envisioned primarily as ornamental gardens, funded and maintained by a village garden club or the Home Owners Association (HOA). Potential site locations include the Private Recreation Facilities, open space areas and cul-de-sac openings.

5. Open Space

Open space within the SPA Plan Area is comprised of Otay River Valley open space (part of the Otay Ranch Preserve) to the south, graded slopes within and surrounding the village, a Neighborhood Park, a Community Park, active recreation area and the landscape buffer adjacent to surrounding major streets.

The Otay Ranch GDP requires the provision of open space in addition to local parks at a ratio of 12 acres for every 1,000 residents. Based on an estimated population of 11,534 residents, approximately 138.4 acres of open space is required. This requirement is met through the provision of 263.2 acres of open space in the form of preserve open space, manufactured slopes and other interior open spaces within the SPA Plan Area.

Otay Ranch Preserve Conveyance

The largest component of open space in the Otay Ranch is the Otay Ranch Preserve, described in the Resource Management Plan (RMP). As prescribed by the RMP, the development of each Otay Ranch Village requires a contribution to the Otay Ranch preserve. The Otay Ranch Preserve Conveyance requirement will be met through dedication of land within the Preserve to the Preserve Owner / Manager (POM) comprised of the City of Chula Vista and County of San Diego.

The required contribution is 1.188 acres of open space conveyance per one acre of development less the acreage of “common use lands,” (local parks, schools, arterial roads and other land designated as public use areas). The actual contribution requirement is based on the actual development area determined at the Final Map(s) level. The estimated Preserve conveyance requirement calculation is as follows:



Table 5 - Estimated Conveyance Requirements

VILLAGE 8 EAST	ACRES
Village 8 East Total Acres	575.3
Common Use Lands	
P-1	7.3
P-2	51.5
AR-11	22.6
S-1	10.8
SR-125	3.6
Circulation Element Roads	9.9
Preserve Open Space	253.6
Total Common Use Lands	359.3
Development Area	216.0
Village 8 East Conveyance Obligation*	256.6

* Actual Conveyance Acreage to be Determined at Final Map by City Engineer.

Manufactured Slopes

Manufactured slopes within the village are located between residences in neighborhoods, along major streets and adjacent to natural open spaces. All manufactured slopes will be constructed and landscaped to City standards and guidelines provided in the Village 8 East Design Plan. All slopes over 25 feet in height will be permanently irrigated, with the exception of the temporary slopes and native transition slopes adjacent to Preserve open space which may be temporarily irrigated for establishment of the landscape. The design and maintenance of the slopes adjacent to the Preserve are described in the Village 8 East Preserve Edge Plan.

Ownership, Funding and Maintenance

All slopes outside of the public right-of-way and the Otay Ranch Preserve will be owned and maintained through a Community Facilities District (CFD) or HOA.

C. OWNERSHIP AND MAINTENANCE OPTIONS

The following are options for ownership and maintenance of park, open space and trail facilities in the SPA Plan Area.

I. Community Facilities District and Homeowners Association

Facilities not maintained by private property owners or a public agency will be maintained through Community Facilities Districts (CFD) or Homeowners Associations (HOA). Such areas will include common areas, common slope areas, common open space, private parks, entry landscaping, walls facing the public right-of-way, trails, paseos and storm water pollution prevention facilities. Certain public facility areas may also be included, as



determined by the Director of Public Works, such as detention basins and enhanced median and parkway landscaping in the public right-of-way.

2. Public Agency Maintenance

Public agencies will be responsible for maintaining the facilities on publicly owned land. These areas include landscaping within street and highway rights-of-way (unless maintained by an HOA, per the GDP, BOA or CFD), public parks, schools and other similar public lands.

3. City of Chula Vista General Services

Public streets, walks, parkways and trails which are located on public land and drainage structures other than those designed as swales or brow ditches will be the maintenance responsibility of the Chula Vista Public Works Department (unless maintained by an HOA or CFD).

D. PHASING

1. Parks

The construction of parks is coordinated with residential development phasing to insure that parks are provided to serve the resident population. Park obligations are described in the PFFP.

2. Open Space

Open spaces adjacent to the major surrounding streets will be phased with street construction. All slopes and other open spaces will be implemented in conjunction with adjacent development.

Conveyance of the Resource Management Preserve land will comply with the Phase 2 RMP policies requiring conveyance of 1.188 acres of preserve land for every acre of development area. This conveyance will occur on a phased basis prior to approval of Final Maps.

3. Trails

Trails will be phased in conjunction with adjacent development, including street and slope construction. Public access to trails that connect to the Chula Vista Greenbelt multi-use trail within the Otay Ranch Preserve will be restricted until Greenbelt Trail improvements are complete to the satisfaction of the City of Chula Vista Development Services Director.

***VI. Community Purpose
Facility Master Plan***



VI. COMMUNITY PURPOSE FACILITY MASTER PLAN

A. INTRODUCTION

The City of Chula Vista Municipal Code Chapter 19.48. (P-C – Planned Community Zone), requires 1.39 acres of Community Purpose Facilities land per 1,000 persons be provided. Pursuant to the Code, Community Purpose Facilities (CPF) means "a land use designation in a planned community intended for non-profit and certain for-profit land uses..." The following uses are permitted within the CPF zone, and may be subject to approval of a conditional use permit:

- Boy Scouts, Girl Scouts, and other similar organizations;
- Social and human services activities, such as Alcoholics Anonymous;
- Services for homeless;
- Services for military personnel during the holidays;
- Senior care and recreation;
- Worship, spiritual growth and development, and teaching of traditional family values;
- Non-profit or for-profit day care facilities that are ancillary to any of the above or as a primary use. For-profit facilities as a primary use are subject to further requirements and additional criteria as outlined in Section F of the Code;
- Private schools that are ancillary to any of the above;
- Interim uses, subject to the findings in Section E of the Code;
- Recreational facilities, such as ball fields, for non-profit organizations (including home owners associations) serving the local community, subject to the requirements outlined in Section 19.48.040(B)(6) of the CVMC (P-C-Planned Community Zone: Application – General Development Plan Required – Contents Required) and subject to the findings outlined in Section 19.48.025(H) of the CVMC (P-C-Planned Community Zone: Community Purpose Facilities – Minimum Acreage Required – Permitted Uses).

Pursuant to Section 19.48.040(B)(6) (P-C-Planned Community Zone: Application – General Development Plan Required – Contents Required) of the CVMC, a CPF Master Plan is required and "shall show the specific boundaries of said plan which may be the SPA, GDP, or Planned Community Boundaries (or more than one GDP as deemed appropriate by the Director of Planning and Building); the distribution of existing and proposed CPF designated parcels within the Master Plan area; and the tabulation of individual sites acreages which shall be prepared and incorporated into the Planned Community's Sectional Planning Area (SPA) Plan....The incorporation of the CPF Master Plan into the SPA or GDP shall be done



through a SPA or GDP amendment/adoption pursuant to Sections 19.48.080 and 19.48.130 of the CVMC (P-C-Planned Community Zone: .080 = General Development Plan – Modification Requests and Procedures and .130 = Sectional Area Plans – Modification Requests and Procedures)."

The total acreage required within Village 8 East has been reduced to 4.0 acres pursuant to the Land Offer Agreement (LOA) between the City of Chula Vista and the Applicant. Additional details are provided below.

B. COMMUNITY PURPOSE FACILITY REQUIREMENT

The proposed 3,560 units in Village 8 East generate a population of approximately 11,534 persons (population is based on 3.24 persons per residential unit), requiring approximately 16.0 acres of CPF land in the Plan area. However, per the LOA, Village 8 East is obligated to provide a total of 4.0 acres of CPF designated sites. This obligation may be met through the designation of a 2.6 acre CPF site within the MU-1 parcel within the Village Core or pursuant to CVMC Section 19.48.025, Alternative Compliance, and the remaining 1.6 acres is distributed through three private recreation facilities sited within single family neighborhoods.

C. COMMUNITY PURPOSE FACILITY IMPLEMENTATION

The SPA Land Use Plan distributes CPF sites throughout the Plan area as shown in Exhibit 37. Conceptual plans for private recreation facilities are provided in Exhibit 38-40. The following describes the conceptual design for each CPF facility.



I. CPF-1

CPF-1 is a 2.6 site designated for community purpose facilities per CVMC Chapter 19.48.025, located within the Mixed Use Area of the Village Core. This site is located within walking distance of a majority of Village 8 East residents.

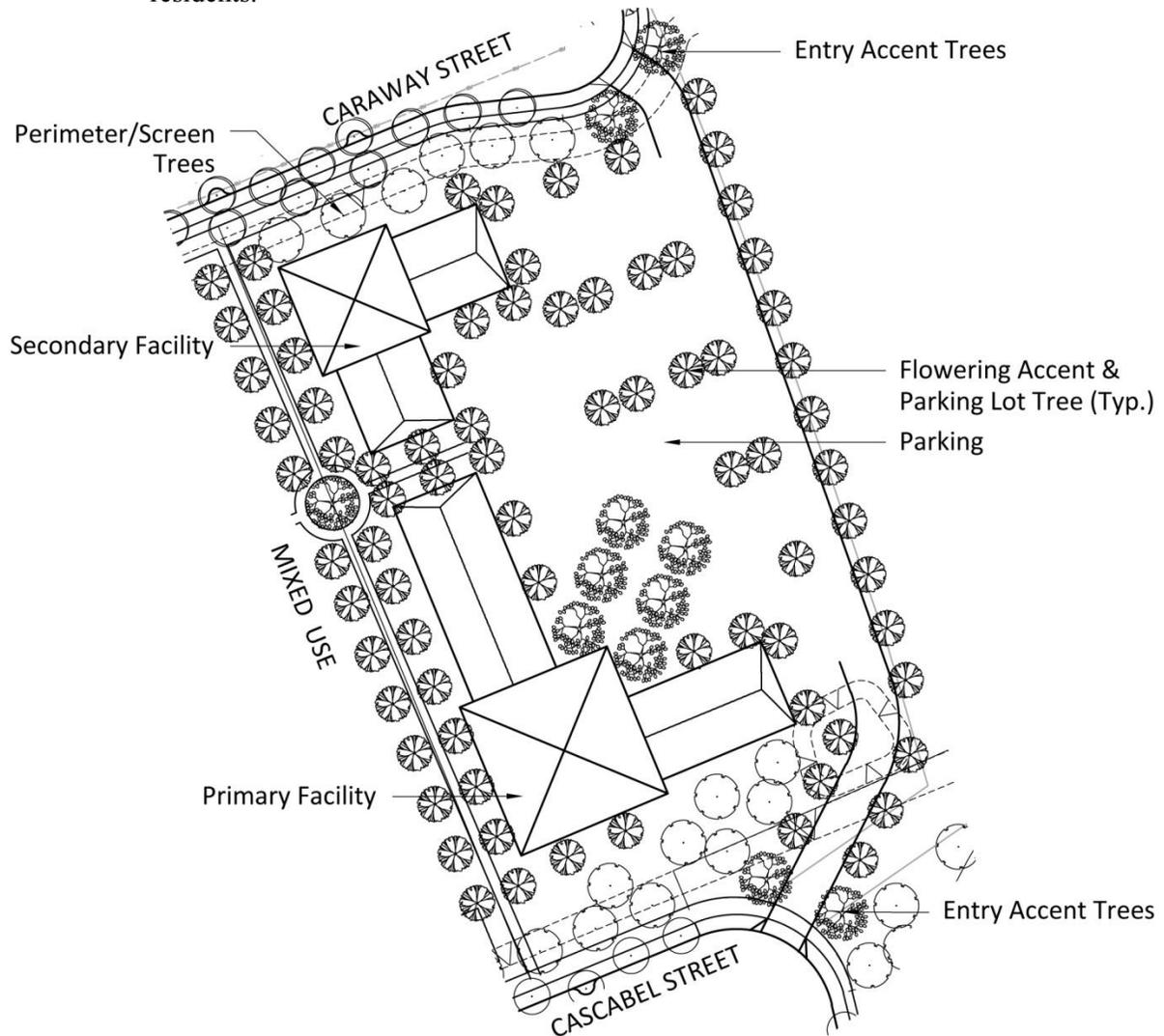


Exhibit 38

Common Useable Open Space Concept Plan – CPF-1

Note: The CPF-1 Site may be located on any portion of the MU parcel.



2. CPF-2

CPF 2 is a 0.5-acre Private Recreation Facility centrally located in residential neighborhoods to create a village focal point. The location is within walking distance of the residences that it serves and is linked to the village core by Residential Promenade Streets. Amenities may include picnic and play areas, a tot lot and sports courts.

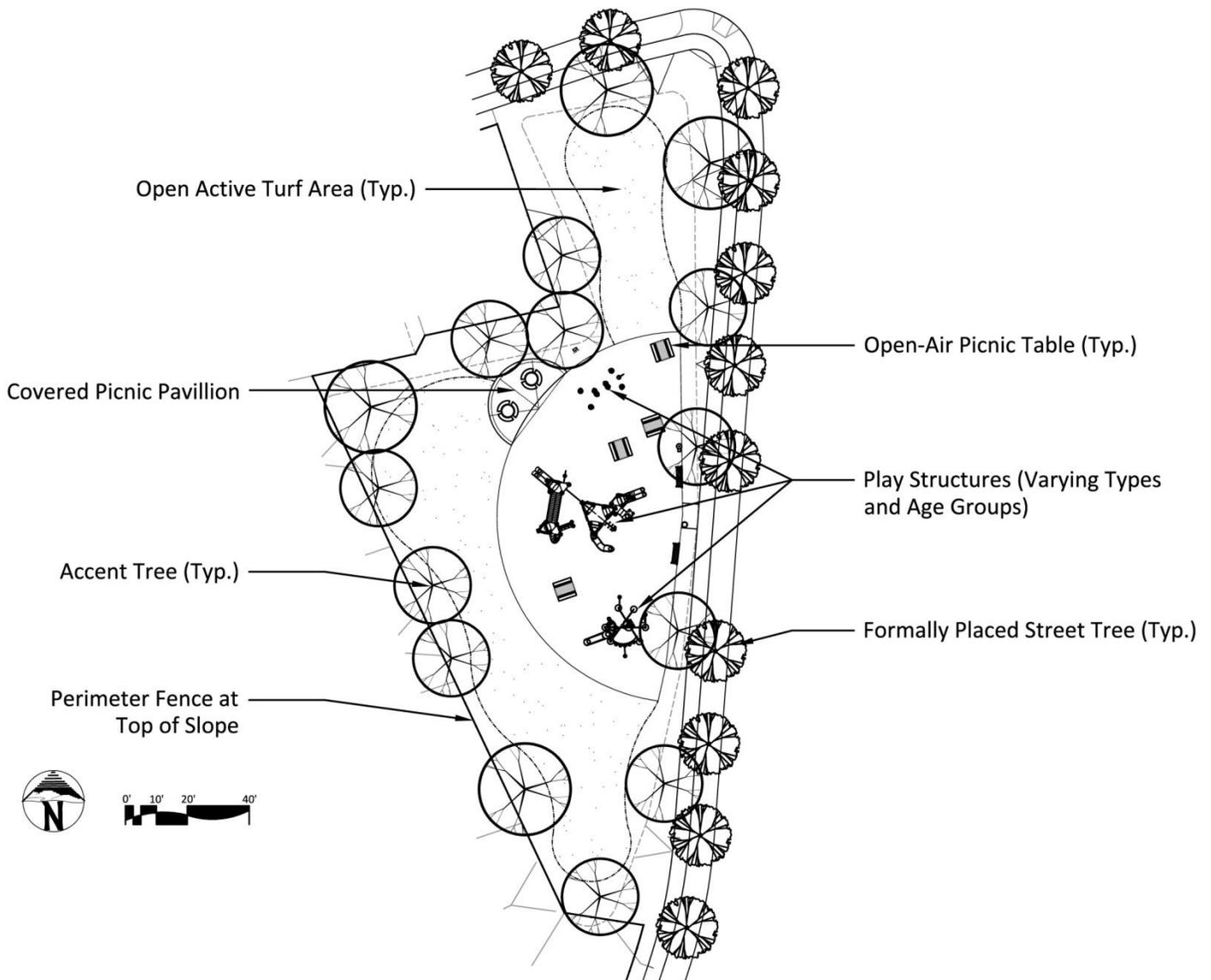


Exhibit 39
Common Useable Open Space Concept Plan – CPF-2



3. CPF-3

CPF-3 is a 0.5 acre Private Recreation Facility located in the eastern portion of Village 8 East within a single family area. This Private Recreation Facility is located to provide recreation opportunities within walking distance of the residential neighborhoods surrounding the site. Amenities may include picnic, play areas and sport courts.

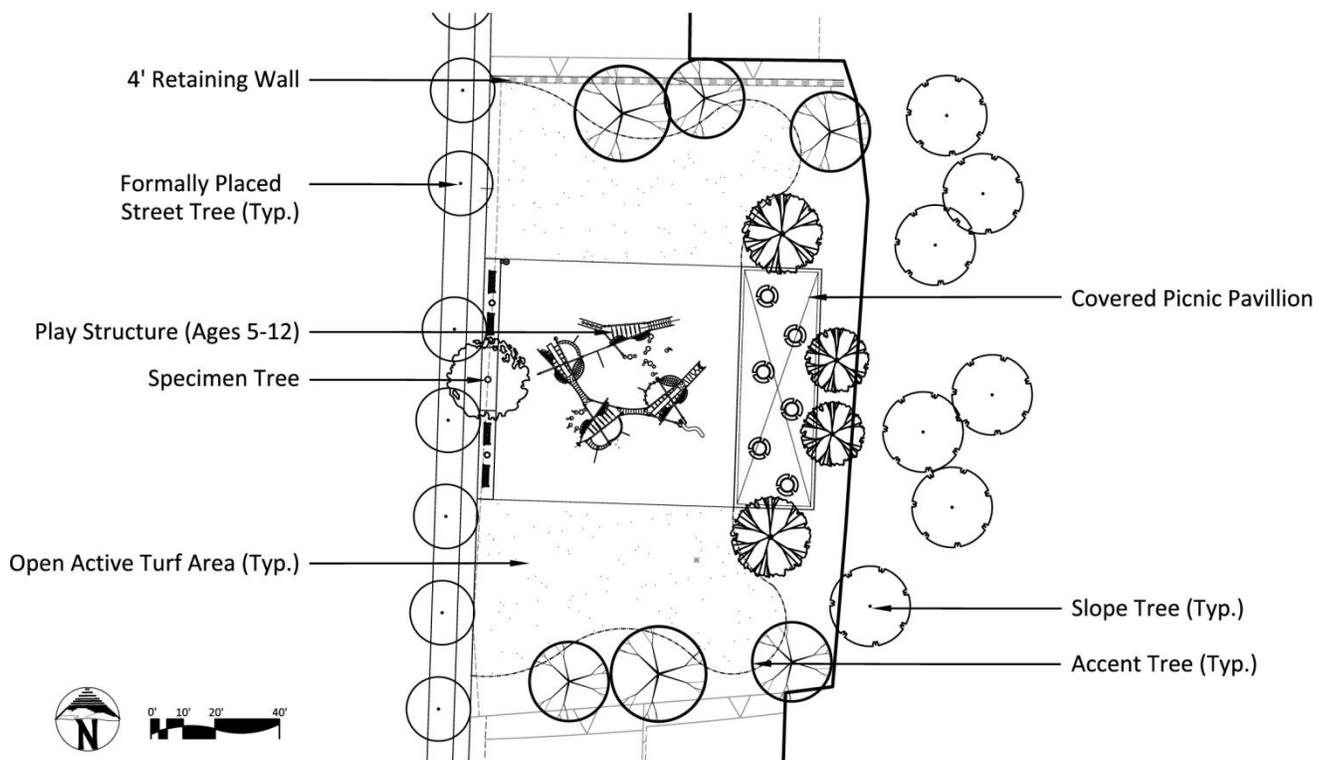


Exhibit 40
Common Useable Open Space Concept Plan – CPF 3



4. CPF-4

CPF-4 is a 0.6 acre Private Recreation Facility located in the southern portion of Village 8 East within a single family area. This Private Recreation Facility is located to provide recreation opportunities within walking distance of the residential neighborhoods surrounding the site. Amenities may include picnic, play areas and sport courts.

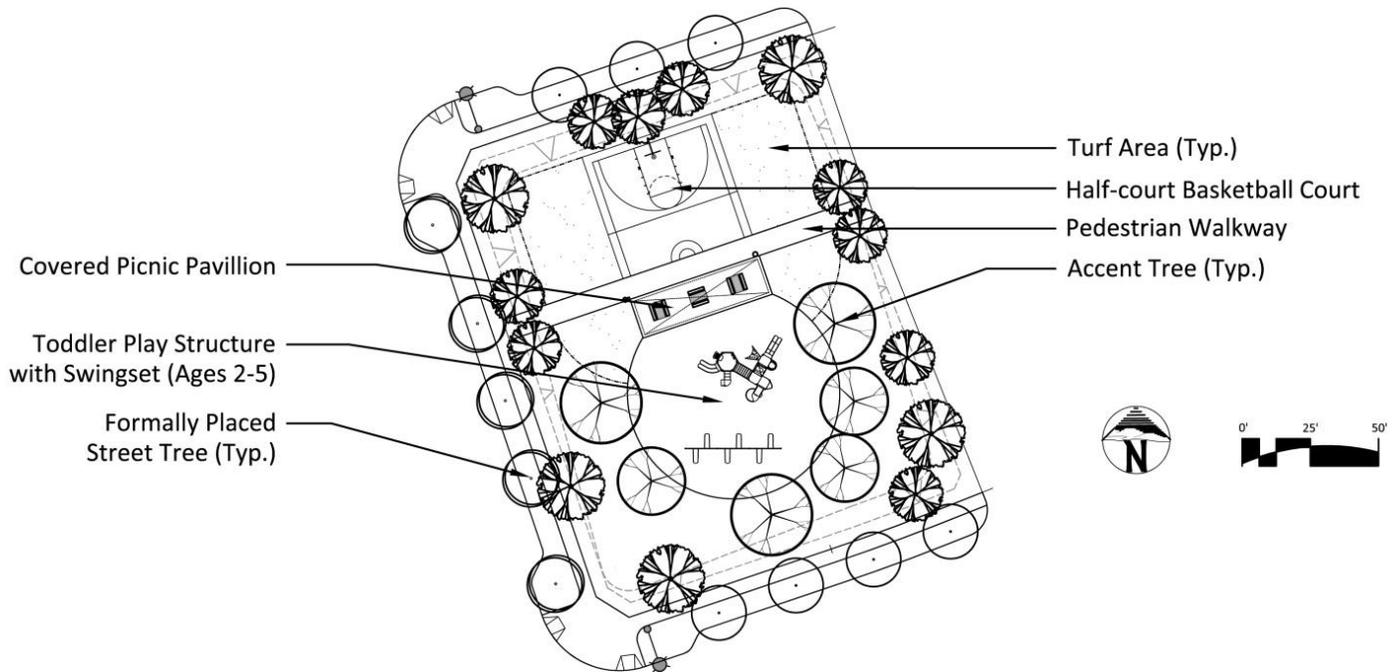


Exhibit 41
Common Useable Open Space Concept Plan – CPF 4

VII. Development Phasing



VII. DEVELOPMENT PHASING

A. INTRODUCTION

Development of the SPA Plan Area will be completed in phases to ensure construction of necessary infrastructure and amenities for each phase as the project progresses. The Conceptual Phasing Table (Table 5) and the Conceptual Phasing Plan (Exhibit 41) reflect anticipated market demand for a variety of housing types and commercial development.

The Phasing Plan is non-sequential because sequential phasing is frequently inaccurate due to unforeseen market changes or regulatory constraints. Therefore, this SPA Plan and PFFP permits non-sequential phasing by imposing specific facilities requirements for each phase to ensure the SPA Plan Area is adequately served and City threshold standards are met. Public parks and schools shall be phased as needed. The Phasing Plan is consistent with the PFFP. The proposed phasing and actual construction timing of the SPA Plan Area may be modified subject to compliance with provisions of the PFFP.



Table 6 Village 8 East Conceptual Phasing

	Land Use	Blue		Red		Yellow		Green		Purple		Orange		ac*	du
		ac	du	ac	du	ac	du	ac	du	ac	du	ac	du	Total	Total
RESIDENTIAL															
R-16	MF	6.2	287											6.2	287
R-17	MF	12.0	562											12.0	562
R-18	MF	11.3	547											11.3	547
MU-1	MU	9.5	440											9.5	440
Subtotal		39.0	1836											39.0	1836
R-1	SF			8.4	76									8.4	76
R-2	SF			3.9	34									3.9	34
R-14	MF			7.1	329									7.1	329
R-15	MF			9.6	452									9.6	452
Subtotal				29.0	891									29.0	891
R-3	SF					9.8	80							9.8	80
R-4	SF					7.6	52							7.6	52
R-5	SF					2.7	23							2.7	23
R-6	SF					2.6	25							2.6	25
R-7A	SF					1.2	14							1.2	14
R-7B	SF					0.9	11							0.9	11
R-8	SF					3.8	33							3.8	33
R-9	SF					17.1	159							17.1	159
R-10	SF					13.5	111							13.5	111
Subtotal						59.2	508							59.2	508
R-11A	SF							9.3	74					9.3	74
R-12A	SF							3.9	29					3.9	29
R-12B	SF							4.9	32					4.9	32
R-13	SF							5.4	38					5.4	38
Subtotal								23.5	173					23.5	173
R-11B	SF									1.3	10			1.3	10
R-12B										5.7	40			5.7	40
R-13										15.1	102			15.1	102
Subtotal										22.1	152			22.1	152
NON-RESIDENTIAL															
CPF-1	CPF	2.6												2.6	
CPF-2	CPF					0.5								0.5	
CPF-3	CPF					0.5								0.5	
CPF-4	CPF									0.6				0.6	
P-1	Park	7.3												7.3	
P-2	Park											51.5		51.5	
AR	Act. Rec.											22.6		22.6	
S-1	School			10.8										10.8	
Subtotal		9.9		10.8		1.0		0.0		0.6		74.1		96.4	
TOTAL														269.2	3,560

* All acreages are net except those in the single family neighborhoods (R-1 through R-13)

VIII. Public Facilities



VIII. PUBLIC FACILITIES

A. INTRODUCTION

This section briefly summarizes the public facilities required for the SPA Plan Area in compliance with the City's goals that new developments provide all necessary support services. The PFFP prepared in conjunction with this SPA Plan describes the backbone facilities in more detail and assigns the responsibility for construction, maintenance and financing of all required facilities.

The public facilities outlined in this section have been determined based upon projected land uses and their distribution as shown on the Village 8 East Site Utilization Plan (Exhibit 5). Facilities will be sized in accordance to the projected demands and necessary distribution for these land uses. Facilities needs and delivery schedule may be modified, subject to City approval, during the Tentative Map review and approval process. Electric/gas distribution facilities will be constructed primarily in public streets and will be provided by SDG&E.

B. WATER SUPPLY AND MASTER PLAN

Water service and facilities for the SPA Plan Area are addressed in the *Overview of Water Service* ("Water Plan") prepared by Dexter Wilson Engineering, Inc. In conformance with the GDP and SPA requirements, the Water Plan demonstrates compliance with state and local agency requirements and the ability to serve the SPA Plan Area. A summary of key points from the Water Plan are outlined below.

I. Water Supply

- Senate Bill 610 principally applies to the California Water Code and requires the California Environmental Quality Act process for a project to be amended to include documentation to definitively establish water availability.
- California Senate Bill 221 and Senate Bill 610 were approved on October 9, 2001 and became effective January 1, 2002. Senate Bill 221 primarily applies to the Subdivision Map Act and requires the lead agency (City of Chula Vista), in considering a tentative map, to verify that the public water supplier (Otay Water District) has sufficient water supply available to serve the project.
- To meet the requirements of Senate Bills 221 and 610, the City of Chula Vista formally requested the Otay Water District to prepare a water supply assessment report for the project. The Otay Water District Board of Directors formally approved the Water Supply Assessment and Verification Report, Otay Ranch Villages 3 North, a Portion of Village 4, 8 East and 10 Sectional Planning Area Plans on November 6, 2013.



- The SPA Plan Area is located within the boundaries of the Otay Water District (OWD), which is responsible for providing local water service. OWD is a member of the San Diego County Water Authority and the Metropolitan Water District of Southern California. The SPA area will be annexed into Improvement Districts 22 and 27 of the Otay Water District.

2. Potable Water Demand

- Domestic water demand for the SPA Plan Area will be estimated as a part of the Subarea Water Master Plan to be approved by the OWD. An analysis of available water supply will also be completed to assure that sufficient supplies are planned to be available as demand is generated by the project.
- The project is within the Central Service Area of the Otay Water District. Potable water for the development will be supplied from the 624 and 711 pressure zones. Exhibit 42 depicts the recommended distribution system required for the project area.
 - The 624 Zone will be expanded by connecting to a proposed 12-inch line in Otay Valley Road. This 12-inch 624 Zone line will be extended in Otay Valley Road to connect to the proposed Village 8 West and Village 9 water systems.
 - The 711 Zone system will be served by connecting to a new 12-inch line in Main Street and by connecting to the proposed water system in Village 8 West.
- The Otay Water District has three existing reservoirs in the 624 Zone. These reservoirs are filled by OWD Connections 10 and 12 to the San Diego County Water Authority aqueduct.
- The 711 Zone has storage reservoirs within the EastLake Greens development and within the District's Use Area Property north of Rolling Hills Ranch.

3. Recycled Water Supply and Master Plan

- Current Otay Water District (OWD) policies regarding new subdivision development require the use of recycled water where available. Consistent with the Otay Ranch GDP, it is anticipated that recycled water will be used to irrigate street parkway landscaping, parks, manufactured slopes along open space areas and landscaped areas of commercial, industrial and multi-family sites. Exhibit 43 depicts the recycled water distribution system for Village 8 East.



- The project is located in the 680 and 815 Zones for recycled water service. The primary source of recycled water for the SPA Plan Area will be the South Bay Water Reclamation Plant. From this plant, the ultimate recycled water system will consist of a series of pump stations, transmission piping and storage reservoirs which will provide recycled water to portions of Otay Ranch, including the SPA Plan project area.
- In the SPA Plan Area, the existing recycled water distribution system serves Village 7 and Village 11 to the north. The recycled water system is also proposed to be extended to serve Villages 8 West and 9. The plan to distribute recycled water within the project is depicted on the Recycled Water Plan (Exhibit 43).
- Recycled water requirements for the project will be coordinated by the Water District and the City. Phased construction of recycled water facilities, based on the District approved master plan, will be incorporated into the PFFP and/or subdivision map conditions to assure timely provision of required facilities.

4. Water Conservation

A Water Conservation Plan has been prepared as a component of this SPA Plan in conformance with the requirements of the Otay Ranch GDP and the Chula Vista Growth Management Ordinance.

As described in the Water Conservation Plan prepared by Dexter Wilson Engineering, certain landscaped areas are required to utilize recycled water where available based on current Otay Water District (OWD) policies regarding new subdivision development. Consistent with the Otay Ranch GDP, it is anticipated that recycled water will irrigate landscape areas identified in the Water Plan.

The potential sources and availability for recycled water use are described in more detail in the Water Plan. Potential demand within the SPA Plan area will be estimated in a subsequent Subarea Water Master Plan to be approved by the OWD. Recycled water requirements for the project will be coordinated by OWD and the City. Phased construction of recycled water facilities, based on an OWD-approved master plan, will be incorporated into the PFFP and/or subdivision map conditions to assure timely provision of required facilities.

Water conservation measures for the SPA Plan Area include the following:

- Hot Water Pipe Insulation. This measure involves the insulation of hot water pipes with 1-inch walled pipe insulation and separation of hot and cold water piping. This measure is estimated to cost an additional \$50 during initial construction and result in annual savings of 2,400 gallons per residential unit.



- **Pressure Reducing Valves.** Setting the maximum service pressure to 60 psi reduces any leakage present and prevents excessive flow of water from all appliances and fixtures. This measure is estimated to cost \$100 during initial construction and result in annual water savings of 1,800 gallons per residential unit.
- **Water Efficient Dishwashers.** There are a number of water efficient dishwashers available that carry the Energy Star label. These units cost an additional \$500 on average and result in an estimated yearly water savings of 650 gallons per residential unit.

Other potential water saving features of the project include:

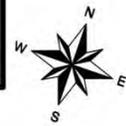
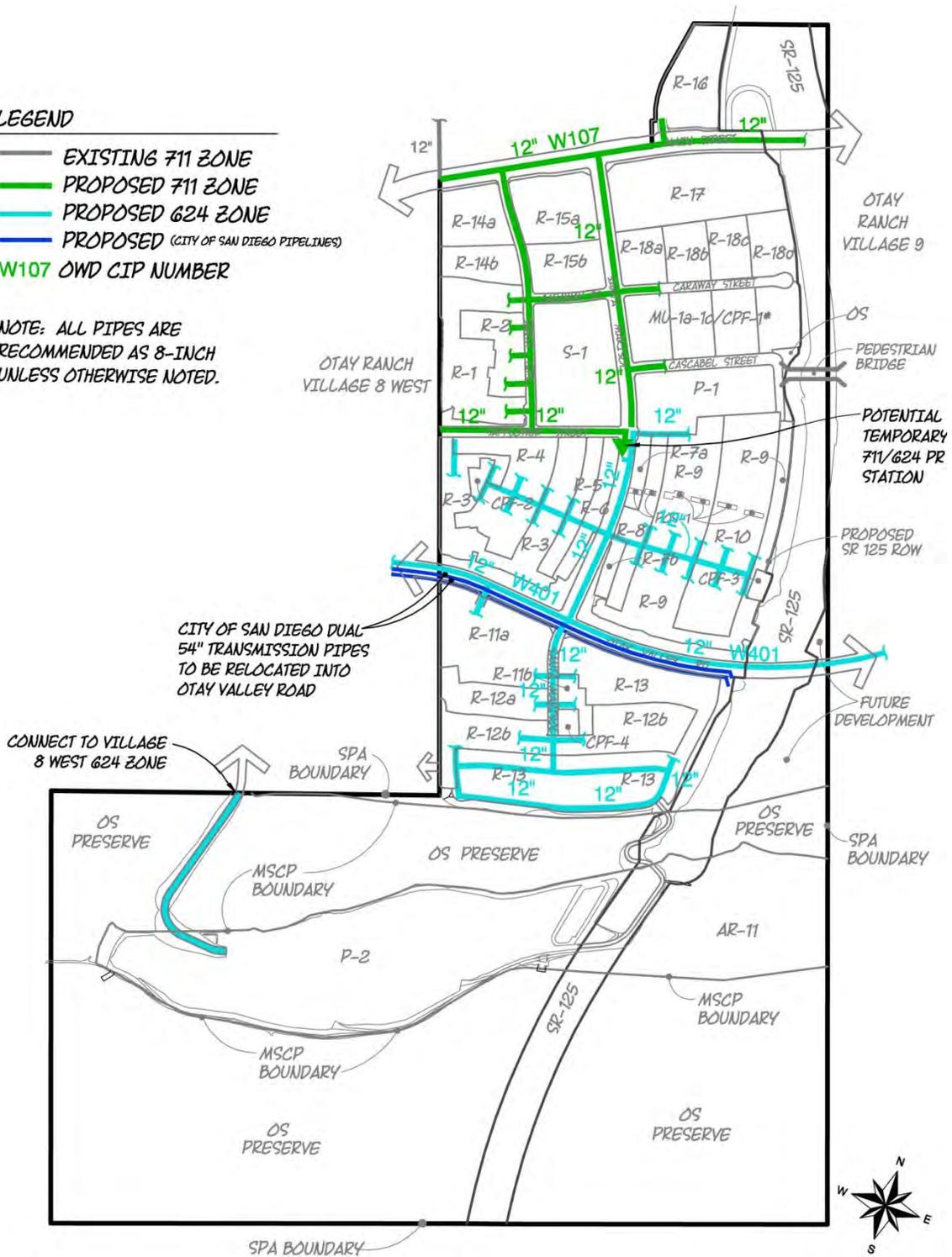
- **Dual Flush Toilets.** The developer will install dual flush toilets within the project. This measure is estimated to cost \$200 per household and result in annual water savings of 4,000 gallons per year per residential unit.
- **Water Efficient Landscaping.** The developer will comply with the City's Landscape Water Conservation Ordinance to reduce outdoor water use. This will include a more drought tolerant plant selection including less turf area as well as installation of water efficient irrigation systems. While the estimated savings from this measure is difficult to quantify at this stage of planning, it is estimated that outdoor water usage at single family residences will be reduced by a minimum of 10 percent, or approximately 25 gpd per home.



LEGEND

- EXISTING 711 ZONE
- PROPOSED 711 ZONE
- PROPOSED 624 ZONE
- PROPOSED (CITY OF SAN DIEGO PIPELINES)
- W107 OWD CIP NUMBER

NOTE: ALL PIPES ARE RECOMMENDED AS 8-INCH UNLESS OTHERWISE NOTED.



**Exhibit 43
 Potable Water Plan**



LEGEND

- EXISTING 815 ZONE
- PROPOSED 815 ZONE
- PROPOSED 680 ZONE
- R2043 OWD CIP NUMBER

NOTE: RECYCLED WATER WILL BE USED FOR OPEN SPACE SLOPES, PARKS, MASTER STREET PARKWAY LANDSCAPING, AND THE COMMON AREAS OF RECREATION, COMMERCIAL, AND MULTI-FAMILY SITES.

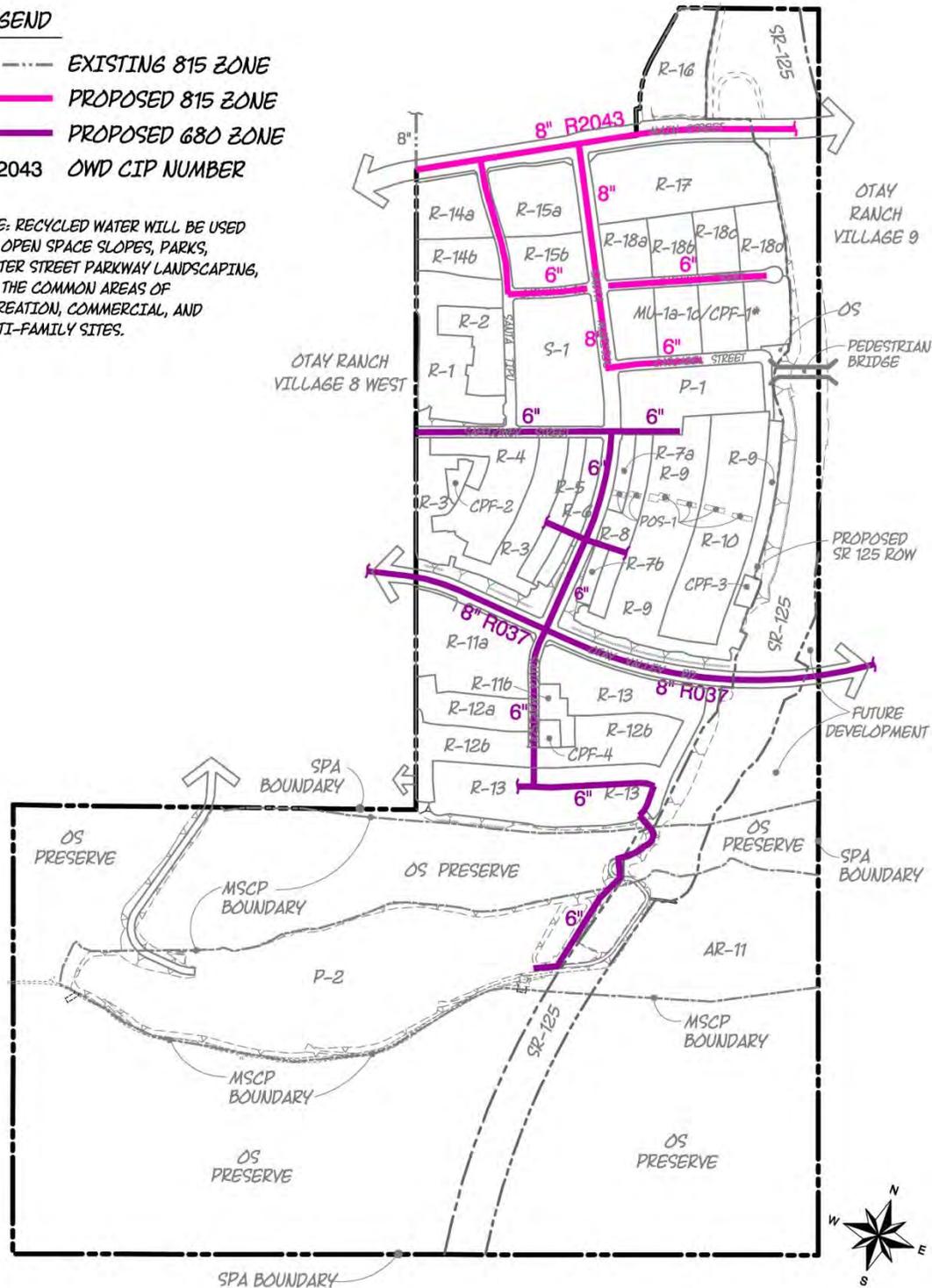


Exhibit 44
 Recycled Water Plan



C. SEWER SERVICE

Sewerage service and facilities are addressed in the *Overview of Sewer Service*, prepared by Dexter Wilson Engineering. Sewer service to the project site is provided by the City of Chula Vista. Chula Vista operates and maintains its own sanitary sewer collection system that connects to the City of San Diego's Metropolitan Sewer System.

The City of Chula Vista's Subdivision Manual establishes sewage generation factors based on population multipliers used to project sewage flows. The average daily flow into the Salt Creek basin from the SPA Plan Area is estimated at 849,589 gpd. This flow will be conveyed to the existing Salt Creek Interceptor just to the south of the project. On-site sewer lines will need to be oversized to accommodate flows from the Village 8 West project. Sewer facility improvements required to serve the SPA Plan Area include 8-inch to 12-inch gravity sewer lines on-site and fees to fund future improvements to the Salt Creek Interceptors.

Sewer facilities required to serve the SPA Plan Area will be constructed in phases. The phasing and financing requirements are addressed in the PFFP and/or subdivision map conditions to assure timely provision of required facilities. Existing and planned sewer facilities are illustrated on Exhibit 44.



D. STORM DRAIN & WATER QUALITY

The *Master Drainage Study* (“Drainage Plan”) and *Water Quality Technical Report* (“WQMP”) prepared by Hunsaker and Associates assessed the existing and developed drainage and water quality conditions in the SPA Plan Area. In conformance with the Otay Ranch GDP and SPA requirements, the reports provides the necessary hydrological studies, analysis and design solutions to provide appropriate urban runoff and water quality for the SPA Plan Area. Key elements of the Drainage Plan and WQMP are provided below.

1. Village 8 East Drainage

- All pre development and post development runoff from Village 8 East is within the Otay River Valley watershed.
- Runoff from the developed portion of Village 8 East is treated in a Water Quality Basin located east of the P-2 Community Park and then outlets directly to the Otay River via internal storm drain systems.
- An additional water quality basin is provided within the P-2 Park to treat runoff from the Community Park Entry Drive.
- Due to the impact of the Savage Dam at the Otay Reservoir, studies have determined that the development of the Village 8 East site will not increase the 100 year frequency peak flows in the Otay River. Therefore, no detention basins are required.

2. Village 8 East Water Quality

- The development of the SPA Plan Area will implement all necessary requirements for water quality as specified by State and local agencies.
- The development will meet the requirements of the City's Standard Urban Storm Water Mitigation Plan (SUSMP), the Jurisdictional Urban Runoff Management Plan and the Storm Water Management and Discharge Ordinance (as specified in the City of Chula Vista Development and Redevelopment Storm Water Management Standards/Requirements Manual).
- The Otay River is a USGS blue line stream, which makes it a waterway of the United States under the Clean Water Act (CWA). All development in excess of five acres must incorporate urban runoff planning, which will be detailed at the Tentative Tract Map level. The conceptual grading and storm water control plan for the SPA Plan Area provides for water quality control facilities to ensure protection for the Otay River.



- The Otay River is listed in the County of San Diego *Hydromodification Management Plan* as an exempt facility. Since all runoff from the developed area within the Village 8 East SPA area is proposed to drain directly to the Otay River, hydromodification basins are not required for this development.

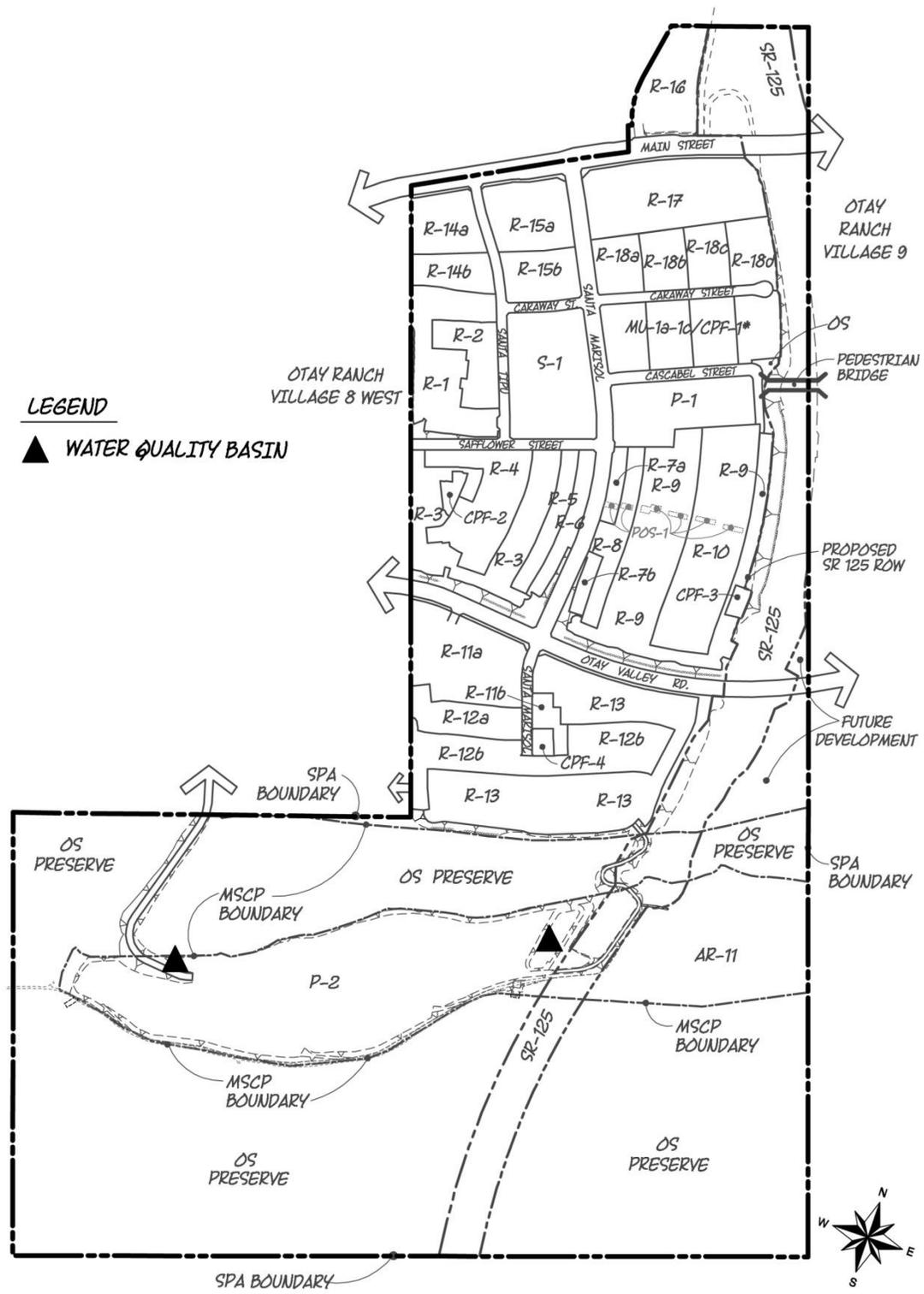


Exhibit 47
 Water Quality Basin Plan



E. ROADS

Roads included in this SPA proposal are addressed in Chapter III, Circulation, of this SPA Plan. The PFFP details their phasing and financing.

F. SCHOOLS

The Otay Ranch GDP requires preparation of a School Master Plan for each SPA. This section addresses and satisfies the requirements for such a plan. Additionally, the phasing and funding of school facilities is addressed in the PFFP.

The construction of up to 943 single family dwelling units and 2,617 multi-family dwelling units is planned for the Village 8 East SPA Plan. Based on Chula Vista Elementary School District and Sweetwater Union High School District student generation factors (students/dwelling unit), there is a need to accommodate approximately 1,286 elementary students, 250 middle school students, and 493 high school students, for a total of 2,029 students.

1. Elementary Schools

To meet the elementary school requirements, the Otay Ranch General Development Plan (GDP) provides for the siting of one elementary school in Village 8 East. This SPA Plan reserves a 10.8-acre elementary school site, Parcel S-1, in the village core adjacent to the neighborhood park to facilitate joint use opportunities. The site will be reserved for acquisition by the Chula Vista Elementary School District, as provided in the PFFP. The construction schedule for the school will be determined by the school district. At the discretion of the Chula Vista Elementary School District, students in Village 8 East will be accommodated in neighboring village elementary schools until the Village 8 East school is constructed. Adjacent elementary schools include Camarena Elementary (Village 11) and High Tech Elementary School (University Planning Area).

2. Middle Schools & High Schools

Middle school and high school requirements are met by the existing EastLake Middle School, Otay Ranch High School and Olympian High School. In addition to these public schools, a private school (Mater Dei High School) and a charter school (High Tech High School) are located proximate to Village 8 East.

3. Adult Schools

Demand for adult school facilities will be satisfied within existing facilities in the Sweetwater Union High School District, until a new facility can be constructed in the Otay Ranch Eastern Urban Center on a site reserved pursuant to the Otay Ranch GDP.



G. CHILD CARE FACILITIES

The Otay Ranch GDP establishes the following goal and threshold for child care facilities:

GOAL: Provide adequate child care facilities and services to serve the Otay Ranch Project Area.

The Otay Ranch GDP establishes the following threshold for child care facilities:

Threshold: Identify sites for child care and pre-school facilities adjacent to or as part of public and private schools, religious assembly uses, village center employment areas, residential areas, and other locations deemed appropriate.

The City of Chula Vista adopted the Chula Vista General Plan policy direction for the provision of adequate child care facilities necessary to serve existing and future developed areas in the City.

Child care uses may be allowed as a primary or an accessory use. Facility-based (not in a home) child care may be conducted by non-profit, quasi-public organizations or commercial providers. In addition, day nurseries, daycare schools or nursery schools are permitted uses in the Village 8 East Land Use Districts (see PC District Regulations), specifically permitted within all non-residential dominant districts, which would make them available to both residents and employees in Village 8 East.

The State of California has adopted regulations related to licensing, application procedures, administrative actions, enforcement provisions, continuing requirements and physical environment for child day care and day care centers. All child care facilities within the SPA will comply with state and local regulations.

The SPA Plan Area and the Otay Ranch Community may have a mix of child care providers, such as school, church, non-profit or commercial facilities. Childcare facilities may be located within private homes, commercial centers, offices, governmental and industrial complexes and/or adjacent to public and private schools where appropriate. The SPA Land Use Plan provides opportunities to locate and phase facilities to meet the needs of the community.

I. Family Day Care Homes

Home-based child care includes small family day care homes (SFDCH) that serve up to 6 children and large family day care homes (LFDCH) that serve 7-12 children. A conditional use permit may be required for all family day care homes within the SF4 zone. Consistent with Chula Vista zoning, SFDCHs could potentially be located within all residential zones in Village 8 East.



The California Code of Regulations, Title 22, Division 12, Chapter 3, Section 102417 includes regulations related to the operation of family day care homes and all family day care homes within Village 8 East would be required to comply with both state and local regulations.

2. Facility-Based Child Care

Facility-based childcare may be non-profit or commercial facilities located in non-residential land use areas of the village. The SPA Plan includes CPF and MU/commercial land uses. These land use designations can accommodate facility-based childcare. Non-profit childcare facilities are considered an accessory land use to CPF uses and are permitted within commercial areas. Commercial childcare facilities are also permitted within the commercial areas.

Facility-based childcare could be sited on mixed-use parcels. Elsewhere in Otay Ranch, such as the Eastern Urban Center, day care facilities could easily be sited. Having child care facilities located near other compatible services and activities is consistent with efficient land use planning. Locating childcare facilities near many other services is consistent with the neo-traditional principles established for Otay Ranch.

H. POLICE, FIRE AND EMERGENCY SERVICES

1. Police Protection

The Chula Vista Police Department (CVPD) currently provides police services within the City of Chula Vista. The demand for police services and facilities necessary to serve the SPA Plan area is described and analyzed in the Village 8 East PFFP.

2. Fire Protection

Fire protection services are provided by the City of Chula Vista Fire Department (CVFD). Fire Station #7 is located adjacent to the Village 2 Core. Pursuant to the Chula Vista Fire Master Plan approved by the Chula Vista City Council on January 28, 2014, additional fire stations are planned within the Village 8 West Town Center and the Eastern Urban Center. The demand for fire protection equipment and facilities to serve the SPA Plan Area is described in the PFFP. Village 8 East must comply with the updated Chula Vista Fire Master Plan, as adopted.

The Otay Ranch GDP requires as a condition of SPA plan approval the Fire Department review fuel modification plans. The Preserve Edge Plan and Fire Protection Plan were developed with direction from the Fire Department. The Preserve Edge Plan provides for fuel modification zones adjacent to natural open spaces. Fire Department-approved architectural measures, such as boxed eaves, exterior sprinkler systems and solid block wall fencing may also be used for fire protection in certain circumstances. The fuel modification and fire protection strategies are more fully described in the Fire Protection Plan; University Villages - Village 8 East .



Brush Management

Pursuant to the University Villages Master Fire Protection Plan (FPP) and Chula Vista MSCP Subarea Plan; fuel modification zones have been incorporated into the proposed Village 8 East development areas adjacent to natural open space. These fuel modification zones are consistent with the requirements of the Chula Vista MSCP Subarea Plan and Otay Ranch Phase 2 RMP. No fuel modification activities will occur within Otay Ranch Preserve/MSCP Preserve areas. Graded landscaped slope areas will be maintained pursuant to FPP requirements and will be outside of the Preserve. Streets and hard surface and irrigated landscaped areas may be included in the Brush Management Zone, in accordance with specific requirements of the FPP.

3. Emergency Medical Services

American Medical Response provides contract emergency medical services for the City of Chula Vista, National City, and Imperial Beach. There are five American Medical Response South County paramedic units. Two are located in Chula Vista, two in National City, and one in Imperial Beach. The SPA Plan Area will be served through a contract arrangement by the City of Chula Vista.

4. Emergency Disaster Plan

The following serves as the GDP-required "Emergency Disaster Plan" required at the SPA level:

The San Diego Region is exposed to a number of hazards that have the potential for disrupting communities, causing damage and creating casualties. Possible natural disasters include earthquakes, floods, fires, landslides and tropical storms. There is also the threat of man-made incidents such as war, nuclear disasters, hazardous materials spills, major transportation accidents, crime, fuel shortages, terrorism or civil disorder.

The San Diego County Emergency Plan is a comprehensive emergency management system that provides for a planned response to disaster situations associated with natural disasters, technological incidents and nuclear defense operations. The Plan includes operational concepts relating to various emergency situations, identifies components of the Emergency Management Organization and describes the overall responsibilities for protecting life and property and assuring the overall well-being of the population. The plan also identifies the sources of outside support that might be provided (through mutual aid and specific statutory authorities) by other jurisdictions, state and federal agencies and the private sector.

The Unified San Diego County Emergency Services Organization consists of the County and the cities within the County. It was established in 1961 and provides for "preparing mutual plans for the preservation of life and property and making provisions for the execution of these plans in the event of a local



emergency, state of emergency, and to provide for mutual assistance in the event of such emergencies."

The foundation of California's emergency planning and response is a statewide mutual aid system that is designed to ensure that adequate resources, facilities and other support is provided to jurisdictions whenever their own resources prove to be inadequate to cope with a given situation. The basis for the system is the California Disaster and Civil Defense Master Mutual Aid Agreement, as provided for in the California Emergency Services Act. This Agreement was developed in 1950 and adopted by California's unincorporated cities and by all 58 counties. San Diego County is in Mutual Aide Region 6 of the State system.

The City of Chula Vista participates in the Unified County Emergency Services Organization described above. The City of Chula Vista has comprehensive agreements with the Bureau of Land Management, California Department of Forestry, California Conservation Corps., Urban Search and Rescue Corps., San Diego County Fire Mutual Aid and other agencies in conjunction with the California Disaster and Civil Defense Master Mutual Aid Agreement. The project is incorporated into Chula Vista's existing emergency disaster programs, including all fire and emergency services and mutual aid agreements.

I. LIBRARY SERVICES

Library services are provided by the City of Chula Vista as described by the City Library Master Plan. The demand for library facilities generated by the build-out of Village 8 East will be satisfied through participation in the City's Public Facilities Development Impact Fee Program as identified in the PFFP.

J. PARKS, RECREATION, OPEN SPACE AND TRAILS FACILITIES

Parks, recreation, open space and trails are addressed in Chapter V, Parks, Recreation, Open Space and Trails Master Plan and the PFFP.

K. CIVIC FACILITIES

The City of Chula Vista is currently served by the Chula Vista Civic Center. The City's master plan for the expansion of the Civic Center provides for the needs of the Village 8 East residents. The SPA Plan Area is subject to the City's Development Impact Fee (DIF) Program, which generates revenue for civic facilities.

L. ANIMAL CONTROL FACILITIES

The City of Chula Vista provides animal health and regulatory services. Currently, no impact fees are imposed to fund expansion of animal control facilities.



M. REGIONAL FACILITIES

A Regional Facilities Report was completed as part of the SPA One planning process. Generally, the Otay Ranch GDP requires the demand generated for regional facilities to be satisfied through participation in a regional impact fee program (if such a program is implemented) and/or, reserve land or facilities for regional service programs in the Eastern Urban Center. The Regional Facilities Report is updated with SPA Plan applications to ensure adequate provision for regional facilities. The following is a review of the updated Otay Ranch Regional Facilities needs.

1. Integrated Solid Waste Management

The City of Chula Vista contracts with Allied Waste Management to provide recycling and disposal. Per Chula Vista Municipal Codes Sections 8.24 and 8.25 and State of California Public Resources Code Chapter 12.8, 42649, it is mandatory for all generators to recycle. The City provides residences (known as Small Quantity Generators) with automated, weekly collection services for trash, recyclables and yard waste. The PC District Regulations for the SPA Plan Area include regulatory requirements for waste management and recycling.

2. Arts and Cultural

The Otay Ranch GDP provides for a multi-use cultural complex in the EUC. Within villages, arts and cultural facilities may be provided in public and civic space. The SPA Land Use Plan provides public spaces that may accommodate art and performances including plazas within the mixed-use village core and neighborhood park. The community purpose facilities, private pedestrian parks/community buildings, community park and the MU/commercial area also provide opportunities for art display and performance.

3. Health and Medical

Health and medical facilities that serve the SPA Plan Area include Scripps Chula Vista Memorial Hospital, Sharp Chula Vista Medical Center, and Paradise Valley Hospital. A 66,000 square foot medical office building is located in Village of Heritage, which houses the Sharp Rees-Stealy Medical Group. The mixed use commercial and community purpose facility sites within the Otay Ranch villages provide opportunities for both public and private nursing, health education, screening research and medical offices.

4. Community and Regional Purpose Facilities

A Community Purpose Facility (CPF) Master Plan is provided in Chapter VI of this SPA Plan. The CPF Master Plan describes the provision of facilities within the SPA Plan Area. The Otay Ranch GDP does not locate a Regional Purpose Facility in this SPA Plan Area.



5. Social and Senior Services

The County of San Diego has the primary responsibility to provide social services to County residents. There are numerous non-profit health and social service organizations located in Chula Vista. The City of Chula Vista provides an adult literacy program, a Youth Action Program and the Police Activities League program. The County's Area Agency on Aging provides social and nutrition programs, legal services, ombudsman programs and services to prevent or postpone institutionalization. The City of Chula Vista provides senior services and the Parks and Recreation Department coordinates activities and programs at the Norman Park Senior Center. The CPF, Community Park and Private Recreation Facilities provide opportunities for social and senior services within Village 8 East.

6. Correctional

The increased population in Village 8 East will contribute to the need for correctional facilities. Should a regional impact fees program be enacted to assist in funding such facilities, Village 8 East development would be obligated to equitably participate.

7. Transit

Transit facilities are intended to reduce the public's dependence upon the automobile to help alleviate traffic congestion. The provision of transit facilities is also an action measure of the City's CO₂ Reduction Plan. Currently, two percent of trips are conducted on public transit in the region. An increase in transit use can be fostered through the location of higher-density housing near transit, site design with transit orientation and enhanced pedestrian access to transit. The land use and circulation plan for the SPA Plan Area incorporates transit-oriented design. A Rapid Bus route is planned on Main Street. Local Bus service may be provided through Village 8 East, with a potential station located within the Village Core.

IX. GDP Compliance



IX. GDP COMPLIANCE

The adopted Otay Ranch General Development Plan establishes goals and objectives for land use; mobility; housing; parks, recreation, open space; public facilities; safety; phasing; and resource protection, conservation and management. This chapter provides a re-statement of the GDP goals and objectives followed by an explanation of how each is implemented by this SPA Plan.

A. LAND USE

This SPA Plan is designed in conformance with the Otay Ranch GDP Land Use Plan and the GDP Village 8 East SPA Plan, as amended, is illustrated in Exhibit 47. A brief description of the SPA Plan major land use components consistency with the Otay Ranch.

This SPA Plan contains all the requisite land uses comprising an urban village as described by the GDP. Village 8 East includes variety of small lot single family detached and multi-family residential housing densities, mixed-use development, land designated for community purpose facilities, an elementary school and parks and open space. This SPA Plan reconfigures Village 8 East to facilitate planning and development of the entire village area by individual property owners. Table 6 provides the proposed, amended Otay Ranch GDP for Village 8 East, including allocated acreages for each land use and the number and type of residential units.

Table 7 – GDP Exhibit 47 -- Village Eight (East)

Use	Dwelling Units				Acreage									Approx. Pop.
	SF	MF	Total	Dens	Res.	Park ⁺	CPF	Sch.	C'ml.	Ind.	Open Sp.	Art.	Total	
M	943		943	7.2	130.5		1.6						132.1	3,140
MU		2,617	2,617	42.1	62.1	7.3	2.6	10.8	+				82.8	6,752
OTHER											11.2	9.9	21.1	
VILLAGE 8 EAST SUBTOTAL	943	2,617	3,560	18.5	192.6	7.3	4.2	10.8	+		11.2	9.9	236.0	9,892

⁺ 20,000 Square feet of commercial may occur vertically or horizontally; therefore, actual acreage may vary.

⁺⁺ Part of park acreage requirement have been allocated to community parks. Actual park size to be determined at the SPA level. Park acreage based on ratio of 3.0 acres per 1000 persons.

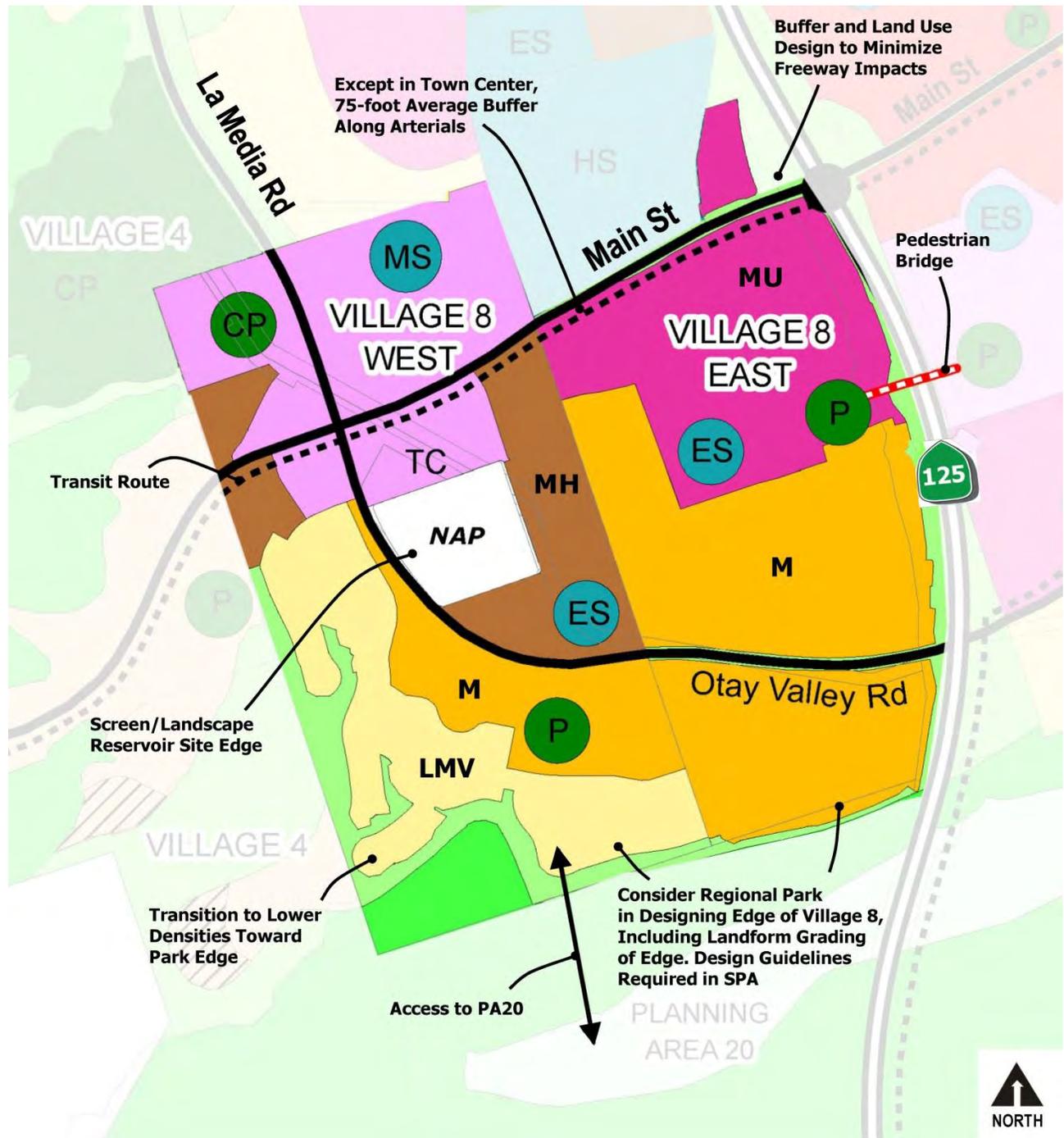


Exhibit 48
Otay Ranch GDP Village 8 East Land Use Plan (Proposed)



A. II.2.8.1 LAND USE

Goal: Develop comprehensive, well integrated and balanced land uses which are compatible with the surroundings.

Objective: Provide a well-integrated land use pattern which promotes both housing and employment opportunities, while enhancing the unique environmental and visual qualities of the Otay Ranch.

Objective: Provide a wide range of residential housing opportunities, from rural and estate homes to high-density multi-family projects. Provide a balanced and diverse residential land use pattern for the Otay Valley Parcel which promotes a blend of multi-family and single-family housing styles and densities, integrated and compatible with other land uses in the area.

Objective: Provide development patterns complementary to the adopted plans and existing development of the adjacent communities.

Implementation:

The SPA Land Use Plan supports these GDP goals and objectives by providing a range of housing and employment opportunities. The plan adheres to the GDP specific directives for Village 8 East which creates a village core (composed of MU/commercial, community purpose facility, elementary school, neighborhood park, and residential land uses) and residential neighborhoods that offer a variety of housing styles and densities.

The organization of the land uses within the SPA Plan Area meets the objectives of integration and compatibility of land uses within villages and with adjacent communities. Adjacent land uses include existing residential to the north and future university and residential to the east, and open space preserve to the south. Future land uses to the west include the Village 8 West Town Center. The land uses within Village 8 East transition from the village core mixed use and higher density residential uses near the Town Center to lower density residential uses at the village perimeters and adjacent to the open space preserve areas.

The SPA Plan supports the objective of enhancing the unique environmental and visual qualities of Otay Ranch. The village conforms to the natural topography of the site and maintains views toward open spaces and distant mountains. Single family homes adjacent to the open space preserve areas reduce the appearance of development from the OVRP.

Goal: Environmentally sensitive development should preserve and protect significant resources and large open space areas.



Objective: Provide land use arrangements which preserve significant natural resource areas, significant landforms and sensitive habitat.

Implementation:

These goals and objectives will be met through the conveyance of approximately 256.6 acres of land to the Otay Ranch Preserve in accordance with the requirements of the RMP. The SPA Plan Area is sited within land area designated for development and provides for protection of the adjacent environmentally sensitive land as described in the Preserve Edge Plan.

Goal: Reduce reliance on the automobile and promote alternative modes of transportation.

Objective: Develop villages which integrate residential and commercial uses with a mobility system that accommodates alternative modes of transportation, including pedestrian, bicycle, bus, light rail, and other modes of transportation.

Objective: Develop residential land uses which encourage the use of alternative modes of transportation through the provision of bus and light rail right-of-way, and the inclusion of a bicycle and pedestrian network.

Objective: Commercial uses should be sized to meet the needs of the immediate and adjacent villages. Village commercial land uses preempt large regional commercial opportunities within villages and relegate them to the EUC or freeway commercial areas.

Implementation:

Land uses within the SPA Plan Area, including mixed use commercial, community purpose facility, park and school uses, are designed to provide for the daily needs of residents. The provision of land uses which minimize the need for automobile travel coupled with the multi-modal transportation design of the village are two ways the Plan meets the GDP goals and objectives.

The Village 8 East core is centrally located within walking distance of most village residents. Throughout the village, a system of trails and landscaped streets link residential neighborhoods, the village core, park and school to encourage walking, rather than driving. These paths are designed with landscaped parkways between walkways and streets, landscaping, lighting and furnishings to make the pedestrian experience pleasant and promote safety. The Village Pathway provides an off-street multi-purpose pathway for pedestrian and bicycle travel. The Village Paseo provides an additional dedicated walkway between single family neighborhoods and the village core. Convenient support features, such as bus stops and bicycle racks, are provided to further promote non-automobile transportation. Bus routes can be accommodated adjacent to and through the village with strategically located stops. The village trail system also connects to the surrounding



Chula Vista Regional Trail, Chula Vista Greenbelt Trail and OVRP Trail networks.

Goal: Promote village land uses which offer a sense of place to residents and promotes social interaction.

Objective: Organize Otay Ranch into villages, each having its own identity and sense of place.

Objective: The design of the Otay Ranch should promote variety and diversity at the village scale, while providing a sense of continuity through the use of unifying design elements.

Objective: Promote a diverse range of activities and services to encourage a mixture of day/night and weekday/weekend uses.

Implementation:

Village 8 East meets these goals and objectives by providing a village core arranged along a main street. Land uses within the village core include commercial/mixed use, community purpose facility, neighborhood park, elementary school, and a variety of residential housing types. The land uses, coupled with a village design theme create the village identity and sense of place. The village incorporates Ranch-wide design elements such as signage and landscaping to connect it with the other villages of Otay Ranch.

Goal: Diversify the economic base within Otay Ranch.

Objective: Create an economic base that will ensure there is adequate public revenue to provide public services.

Objective: Create an Eastern Urban Center within the Otay Valley Parcel and encourage the development of a retail base for the planning area, but not to the detriment of existing regional and local commercial centers.

Objective: Create employment opportunities for area residents which complements, rather than substitutes for industrial development on the Otay Mesa.

Implementation:

The Village 8 East core mixed use development contributes to the economic base with neighborhood-serving businesses. Further, Village 8 East provides additional housing in proximate to the high-intensity Village 8 West Town Center, Village 9 Town Center and Eastern Urban Center to meet Chula Vista General Plan requirements related to jobs/housing balance.

Goal: Promote synergistic uses between the villages of the Otay Ranch to provide a balance of activities, services and facilities.

Objective: Develop individual villages to complement surrounding villages.



Objective: Select villages to provide activities and uses which draw from surrounding villages. Uses serving more than one village, such as a cinema complex, should be located in a village core that has convenient access to adjacent villages.

Implementation:

Village 8 East provides mixed use commercial uses that serve neighboring villages and the future University. Village 8 East residents will also be served by the adjacent Village 8 West Town Center, Village 9 Town Center and the EUC.

Goal: Organize land uses based upon a village concept to produce a cohesive, pedestrian friendly community, encourage non-vehicular trips, and foster interaction amongst residents.

Implementation:

All areas of Village 8 East are connected by an extensive trail and pathway system. These trails and pathways reinforce a pedestrian friendly concept as well as promote the use of alternative modes of transportation. By reducing the need for an automobile, residents will have opportunities to interact with their neighbors and other residents of the village as they walk or ride to their destinations.

B. II.2.8.2 MOBILITY

Goal: Provide a safe and efficient transportation system within Otay Ranch with convenient linkages to regional transportation elements abutting the Otay Ranch.

Objective: Ensure timely provision of adequate local circulation system capacity to respond to planned growth, maintaining acceptable levels of service (LOS).

Objective: Plan and implement a circulation system such that the operational goal of Level of Service “C” for circulation element arterial and major roads and intersections can be achieved and maintained. Internal village streets/roads are not expected to meet this standard.

Objective: Encourage other transportation modes through street/road design standards within the village, while accommodating the automobile. Design standards are not focused on achieving LOS standards or providing auto convenience.

Objective: Provide an efficient circulation system that minimizes impacts on residential neighborhoods and environmentally sensitive areas.

Implementation:

Streets surrounding and internal to the SPA Plan Area are designed in compliance with the goals and objectives of the GDP. Street design and phasing strives to provide efficient and appropriate level of service. This is



achieved through completion of the Chula Vista General Plan Circulation Plan by connecting Main Street from Village 8 West/La Media Road to SR-125 and the extension of Otay Valley Road from the Village 8 West Town Center through the village and connecting to Village 9. Triggers for these facilities are specified in the PFFP.

The village circulation system accommodates public transportation. A local bus stop could be accommodated in the Village 8 East village core. Pedestrian linkages to the planned BRT station in the Village 8 West Town Center are planned to further connect Village 8 East residents with transit.

Internal streets have been designed to accommodate bicycles and a series of pedestrian paths are provided throughout the village to provide alternatives to automobile travel.

Goal: Achieve a balanced transportation system which emphasizes alternatives to automobile use and is responsive to the needs of residents.

Objective: Study, identify, and designate corridors, if appropriate, for light rail and transit facilities.

Objective: Promote alternative forms of transportation, such as bicycle and car paths, riding and hiking trails, and pedestrian walkways as an integral part of the circulation system.

Implementation:

A wide variety of alternative forms of transportation, including transit routes, bicycle lanes and pedestrian routes and open space trails are provided within the SPA Plan Area. This alternative transportation network addresses the needs of residents by offering different routes within and outside of the villages, including connections to public transportation, the City of Chula Vista Bikeway network and Greenbelt and OVRP trails.

C. II.2.8.3 HOUSING

Goal: Create a balanced community exemplified by the provision of a diverse range of housing styles, tenancy types and prices.

Objective: Provide a variety of housing opportunities sufficient to meet a proportionate share of the Regional Share allocation of housing.

Objective : Each Otay Ranch Village will proportionately assist the appropriate land use jurisdiction to meet or exceed Otay Ranch's share of the five-year Regional Share allocation as provided by each jurisdiction's Housing Element.



Implementation:

The Village 8 East plan meets these goals and objectives by providing a wide variety of housing types, including affordable housing. Proposed housing includes apartments, townhouses, condominiums, attached housing (duplexes and/or triplexes), small lot single-family and average lot single family residential. The Affordable Housing Plan and the PFFP describe in detail how the housing goals are met. Based on the target residential units proposed for the development, 178 low-income and 178 moderate-income residential units will be provided.

Goal: The provision of sufficient housing opportunities for persons of all economic, ethnic, religious and age groups, as well as those with special needs such as the handicapped, elderly, single parent families and the homeless.

Objective: Ensure that the Otay Ranch provides housing opportunities sufficient to meet a proportionate share of identified special housing needs, and applies fair housing practices for all needs groups in the sale, rental, and advertising of housing units.

Implementation:

Village 8 East will contain a wide variety of housing types ranging in density from medium to mixed-use/high. The variety of housing types will accommodate families, singles and those with special housing needs, including the handicapped and the elderly. Fair housing practices will be employed in the sale, rental and advertising of all units.

D. II.2.8.4 PARKS, RECREATION, OPEN SPACE

Goal: Provide diverse park and recreational opportunities within Otay Ranch which meet the recreational, conservation, preservation, cultural and aesthetic needs of project residents of all ages and physical abilities.

Objective: Identify park, recreational and open space opportunities, where appropriate, to serve the South County region and San Diego County as a whole.

Objective: Maximize conservation, joint uses and access and consider safety in the design of recreational facilities.

Objective: Provide neighborhood and community parks and recreational facilities to serve the recreational needs of local residents.

Implementation:

Chapter V, Parks, Recreation, Open Space and Trails Plan describes in detail the location funding and maintenance of required facilities.



E. II.2.8.5 CAPITAL FACILITIES

Goal: Assure the efficient and timely provision of public services and facilities of developable areas of Otay Ranch concurrent with need.

Objective: Ensure that the pace and pattern of residential, commercial and other non-residential development is coordinated with the provision of adequate public facilities and services.

Objective: Permit development only through a process that phases construction with the provision of necessary infrastructure prior to or concurrent with need.

Objective: Development projects shall be required to provide or fund their fair share of all public facilities needed by the development.

Objective : “Enhanced Services” may be provided to specified geographic areas of the Otay Ranch. These are services that exceed the normal or standard level of services provided to the jurisdiction as a whole.

Objective: The City of Chula Vista and the county of San Diego shall enter into a Master Property Tax Agreement covering all annexations within an agreed-upon geographic area in Otay Ranch. That Agreement shall consider the distribution of property tax revenues, as well as the allocation of total project revenues between the City and the County in accordance with the following policies.

Objective: As a general guideline, efforts should be made to keep the effective tax rate (ETR), including all property taxes and special assessments, not to exceed 2.00 percent of the assessed value of the property.

Objective: Monitor the impacts of growth and development on critical facilities and services to ensure that necessary infrastructure is provided prior to or concurrent with need.

Implementation:

The PFFP provides an analysis and detailed description of how these goals and objectives will be met. The SPA Plan will phase development with infrastructure improvements and the developer will participate in fair-share funding of facilities as described in the PFFP.

Drainage Facilities

Goal: Provide protection to the Otay Ranch project area and surrounding communities from fire, flooding and geologic hazards.

Objective: Individual projects will provide necessary improvements consistent with the National Flood Insurance Program, Drainage Master Plan(s) and Engineering Standards.



Objective: Development within floodplains will be restricted to decrease the potential for property damage and loss of life from flooding and to avoid the need for channels and other flood control facilities.

Objective: Preservation of the floodplain environment from adverse impacts due to development.

Objective: Require onsite detention of storm water flows such that existing downstream structures will not be overloaded.

Implementation:

The project will meet the goals and objectives for drainage facilities through planning, permitting and implementation of facilities as required by the City and regulatory agencies. The *Master Drainage Study*, prepared by Hunsaker & Associates, and tentative map address these goals. Subsequent grading and drainage plans will provide additional, site-specific measures.

Sewerage Facilities

Goal: Provide a healthful and sanitary sewerage collection and disposal system for the residents of Otay Ranch and the region, including a system designed and constructed to accommodate the use of reclaimed water.

Objective: The ongoing planning, management and development of sewerage conveyance, treatment and disposal facilities to adequately meet future demands.

Objective: Assure that wastewater treatment plants are consistent with sewerage master plans.

Objective: Sewage disposal systems should maximize the provision and utilization of reclaimed water.

Implementation:

The *Overview for Sewer Service for Otay Ranch Villages 3 and Portion of Village 4, 8 East and 10*, prepared by Wilson Engineering describes the planning, management and sewer facilities necessary to serve the development. The tentative map and subsequent improvement plans provide additional site-specific design for implementation of the project sewer system.

Integrated Solid Waste Management Facilities

Goal: Provide solid waste facilities and services which emphasize recycling of reusable materials and disposal of remaining solid waste so that the potential adverse impacts to public health are minimized.

Objective: Reduce the volume of waste to be land-filled by 30% by 1995 and by 50% by 2000.

Implementation:



During construction, solid waste disposal and recycling of materials will adhere to best management practices and City standards outlined in Chula Vista Municipal Code Section 8.25.095- Construction and demolition debris recycling. Planning for occupancy will include considerations as listed in the City's "Recycling and Solid Waste Planning Guide. A recycling/drop-off center may be located within the mixed-use area of the village core. This central location will provide an alternative method for residents and businesses in the village to participate in recycling California Redemption Value bottles and cans..

Urban Runoff Facilities

Goal: Ensure that water quality within the Otay Ranch project area is not compromised.

Goal: Ensure that the City of San Diego's water rights within the Otay River watershed shall not diminish.

Implementation:

The *Master Drainage Study for Otay Ranch Village 8 East* and the *Water Quality Technical Report for Otay Ranch Village 8 East*, prepared by Hunsaker & Associates describe how these goals will be met through management and containment in conformance with City and regional environmental protection standards.

Water Facilities

Goal: Ensure an adequate supply of water for build-out of the entire Otay Ranch project area; design the Otay Ranch project area to maximize water conservation.

Objective: Ensure an adequate supply of water on a long-term basis prior to the development of each phase of the Otay Ranch Project Area.

Objective: Ensure infrastructure is constructed concurrently with planned growth, including adequate storage, treatment, and transmission facilities, which are consistent with development phasing goals, objectives and policies, and the Service/Revenue Plan.

Objective: Ensure that water quality within the Otay Ranch Project Area is not compromised, consistent with NPDES Best Management Practices, and the RWQCB Basin Plans.

Objective: Promote water conservation through increased efficiency in essential uses and use of low water demand landscaping.

Objective: Encourage suppliers to adopt a graduated rate structure designed to encourage water conservation.

Implementation:

The *Overview of Water Service for Otay Ranch Villages 3 and Portion of Village 4, 8 East and 10*, prepared by Wilson Engineering describes how



these goals and objectives will be met. A Water Supply Assessment and Verification Report for the Project which ensures sufficient water supplies are available in normal, dry year and multiple dry years was approved by the OWD Board of Directors on November 6, 2013.

Water Reclamation Facilities

Goal: Design a sewerage system which will produce reclaimed water. Ensure a water distribution system will be designed and constructed to use reclaimed water. Construction of a “dual system” of water supply will be required for all development where reclaimed water is used.

Objective: Encourage development of public and private open space and recreational uses that could utilize reclaimed water.

Implementation:

The *Overview of Water Service for Otay Ranch Villages 3 and Portion of Village 4, 8 East and 10*, prepared by Wilson Engineering describes the implementation of reclaimed water systems in the development. A SAMP for the project will include recycled water facilities.

Arts and Cultural Facilities

Goal: Plan sites for facilities dedicated to the enhancement of the arts at the community level that can contain indoor and outdoor facilities capable of supporting community theater, training and exhibition of art and sculpture, musical training and concerts, film and cultural festivals, public meetings, and other community events.

Implementation:

The SPA Plan provides indoor and outdoor facilities including a neighborhood park, private facilities, elementary school, community purpose facility, and mixed use commercial center which could accommodate arts and cultural facilities.

Cemetery Facilities

Objective: Identify and preserve adequate cemetery sites to serve the Otay Ranch Project Area.

Implementation:

A cemetery site is not proposed in the SPA Plan Area.



Child Care Facilities

Goal: Provide adequate child care facilities and services to serve the Otay Ranch project area.

Objective: Identify sites for child care and pre-school facilities adjacent to or part of public and private schools, religious assembly uses, employment areas, and other locations deemed appropriate.

Implementation:

Child care facilities can be accommodated in the mixed use commercial, community purpose facility, elementary school, and neighborhood park land use areas. Small family day care is also an allowable use within residential areas, provided adequate outdoor play area and other design guideline and development regulations criteria can be met. Large family day care is allowable subject to a conditional use permit.

Health and Medical Facilities

Goal: Ensure provision of and access to facilities which meet the health care needs of Otay Ranch residents.

Objective: Identify a general location within Otay Ranch for public and private health service organizations, charities, and private adult care and mental care facilities.

Implementation:

Senior congregate care and health care offices and clinics are allowable uses within the mixed use commercial area of Village 8 East. The community purpose facility land use also allows health care uses.

Community and Regional Purpose Facilities

Goal: Designate areas within the Otay Ranch project area for religious, ancillary private educational, day care, benevolent, fraternal, health, social and senior services, charitable, youth recreation facilities, and other County regional services.

Implementation:

A Community Purpose Facility Master Plan, included in Chapter VI of this SPA Plan, describes the facilities provided by the development that will meet this goal and the specific requirements of the City of Chula Vista Municipal Code and the Land Offer Agreement.

Social and Senior Services Facilities

Goal: Ensure that Otay Ranch project area residents have adequate access to sources of governmental and private social and senior service programs.

Objective: Social and senior service facilities should be sited within Otay Ranch to either provide direct service access or to



provide community service information to each village to educate the public regarding available services.

Objective: Siting of new facilities and expansion of existing social or senior services facilities will be planned to most effectively serve the clients of each social and senior service activity as part of a comprehensive social and senior service delivery system.

Implementation:

Social and senior service needs can be met within allowable use areas including the commercial, private recreation facility, community purpose facility and park land uses, including the Community Park. Shared use may be available with the schools.

Animal Control Facilities

Goal: Ensure that the community of Otay Ranch is served by an effective animal control program that provides for the care and protection of the domestic animal population, safety of people from domestic animals, and the education of the public regarding responsible animal ownership.

Objective: Participate in programs to provide animal control facilities sufficient to provide adequate shelter space per Otay Ranch dwelling unit.

Implementation:

The SPA Plan Area will participate in City programs for provision of animal control.

Civic Facilities

Goal: Assure the efficient and timely provision of public services and facilities to developable areas of the Otay Ranch project area concurrent with need, while preserving environmental resources of the site and ensuring compatibility with the existing character of surrounding communities. Integrate different types of public facilities where such facilities are compatible and complementary.

Implementation:

This goal will be met through implementation of requirements identified by the PFFP.

Correctional Facilities

Goal: Prevent injury, loss of life and damage to property resulting from crime occurrence through the provision of justice facilities.



Objective: Make provisions for justice facilities, including jails, courts, and police facilities adequate to serve the Otay Ranch Project Area.

Implementation:

The SPA Plan Area does not contain correctional facilities.

Fire Protection and Emergency Services Facilities

Goals: Provide protection to the Otay Ranch project area and surrounding communities from the loss of life and property due to fires and medical emergencies.

Objective: Provide sufficient fire and emergency service facilities to respond to calls within the Otay Ranch urban communities within a 7-minute response time in 85% of the cases.

Implementation:

This goal will be met through implementation of the requirements identified by the PFFP. Chula Vista Fire Station #7 is located adjacent to the Village 2. Additional fire stations are planned within the Village 8 West Town Center and the EUC. Additionally, the circulation design of the SPA Plan Area facilitates emergency vehicle access to all areas of the villages and the Preserve Edge Plan includes fuel management requirements. The Village 8 East Fire Protection Plan includes an analysis which demonstrates the SPA Plan Area can be served within the appropriate response time requirements. The project must also comply with the Chula Vista Fire Master Plan (1/28/14).

Justice Facilities

Goal: Prevent injury, loss of life and damage to property by having adequate criminal justice facilities to serve Otay Ranch residents.

Objective: Cooperate with the County to identify an equitable funding method for the development of justice facilities based on the needs of Otay Ranch and their benefit to Otay Ranch residents.

Objective: Justice facilities serving Otay Ranch residents will be sited in appropriate locations and in a timely manner, irrespective of jurisdictional boundaries.

Objective: Enhance public safety by utilizing land use and site design techniques to deter criminal activity.



Implementation:

The SPA Plan Area does not contain justice facilities. The design of Village 8 East fosters community interaction and awareness that deters criminal activity. Design techniques include “eyes on the street” orientation of commercial and residential uses toward the street and placement of parks and paths as focal points in the community. These techniques minimize hidden locations where criminal activity might occur.

Law Enforcement Facilities

Goal: Protection of life and property and prevention of crime occurrence.

Objective: Make provisions for criminal justice facilities, including jails, courts, and police facilities adequate to serve the Otay Ranch Project Area.

Objective: Enhance conditions for public safety by utilizing land use and site design techniques to deter criminal activity and promote law enforcement.

Objective: Site law enforcement facilities to appropriate locations in order to serve the population.

Implementation:

The SPA Plan Area will not contain law enforcement facilities. The project utilizes design techniques to deter criminal activity and promote law enforcement. The goal can be met through implementation measures identified in the PFFP.

Library Facilities

Goal: Sufficient libraries to meet the information and education needs of Otay Ranch residents.

Objective: Provide high quality and contemporary library facilities and services which meet the needs of the entire Otay Ranch Project Area.

Objective: Five hundred square feet (gross) of adequately equipped and staffed library facilities per 1,000 population.

Objective: Otay Ranch libraries will be equitably financed by all new development that will benefit from the facilities.

Implementation:

The SPA Plan Area will contribute its fair share to City of Chula Vista library facilities through payment of the PF DIF as identified in the PFFP.

School Facilities

Goal: Provide high quality, K-12 educational facilities for Otay Ranch residents by coordinated planning of school facilities with the appropriate school district.



Goal: Coordinate the planning of adult educational facilities with appropriate district.

Objective: School facilities shall be provided concurrently with need and integrated with related facility needs, such as child care, health care, parks, and libraries, where practical.

Objective: Provide school district with 12 to 18 month development plan and 3 to 5 year development forecasts so that they may plan and implement school building and/or allocation programs in a timely manner.

Implementation:

An elementary school is provided within Village 8 East. SUHSD has planned for future growth in Otay Ranch and the existing and planned middle school and high school facilities are sufficient to accommodate the needs of future residents.

F. II.2.8.6 AIR QUALITY

Goal: Minimize the adverse impacts of development on air quality.

Implementation:

The Air Quality Improvement Plan provides measures to meet this goal. The Plan addresses improvement measures including job/housing balance, transit access, alternative travel modes, building construction methods and educational programs. The SPA Plan Area has been designed to offer numerous alternative methods of transportation, including public transit, bicycle lanes/routes and pedestrian trails.

Commuter Trip Management

Goal: Create a safe and efficient multi-modal transportation network which minimizes the number and length of single passenger vehicle trips.

Objective: Minimize the number and length of single passenger vehicle trips to and from employment and commercial centers to achieve an average of 1.5 persons per passenger vehicle during weekday commute hours.

Implementation:

Village 8 East is located in proximity to planned regional Rapid Bus route, accommodates a local bus route and stops, provides an extensive pedestrian path system and has been designed to accommodate bicycles. Employment and commercial centers are located within and adjacent to the SPA Plan Area including the Village 8 West and Village 9 Town Centers and the Eastern Urban Center.

Capacity Improvements

Objective: Expand the capacity of both the highway and transit components of the regional transportation system to



minimize congestion and facilitate the movement of people and goods.

Implementation:

The SPA Plan Area will contribute to highway and transit improvements as identified in the Public Facilities Finance Plan, including payment of the TDIF to support build-out of the General Plan Circulation System.

Bicycle System Design

Objective: Provide a safe, thorough and comprehensive bicycle network which includes bicycle paths between major destinations within, and adjacent to, Otay Ranch.

Implementation:

The SPA Plan circulation design provides for bicycle access. The Plan includes bike lanes along major perimeter roads and internal bike routes that offer routes to destinations outside of the villages, as well as connections to multi-use trails within the Greenbelt Master Plan and OVRP trail networks as well as the planned Multi-Purpose (pedestrian and bicycle) bridge across SR-125.

Road Design

Objective: Design arterial and major roads and their traffic signals to minimize travel time, stops and delays.

Implementation:

The major roads surrounding the SPA Plan Area have been designed in accordance with City standards. Traffic signals have been located to facilitate traffic flow and to provide access to neighboring land uses. Intersections have been analyzed and designed to provide appropriate “Level of Service” minimizing stops and delays

Planning and Land Development

Goal: Land development patterns which minimize the adverse impacts of development on air quality.

Objective: Encourage mixed use development to promote linking of trips, reduce trip length and encourage alternative mode usage.

Implementation:

Village 8 East has been designed with mixed-use development and in accordance with village concepts that promote alternatives to automobile use. The convenient village pedestrian path system and internal streets are designed to accommodate pedestrians and bicycles and will encourage alternate modes of travel.



Transit Route and Facility Design

Objective: Facilitate access to public transit.

Implementation:

Pedestrian and bicycle paths provide links to public transit lines. A Bus Rapid Transit station is planned within the University Planning Area east of Village 8 East. Rapid Bus service is planned along Main Street and Local Bus service can be accommodated within Village 8 East. Additional bus stops will be provided around and/or within the surrounding villages to offer residents access to an alternative mode of transportation.

Pedestrian Design

Objective: Encourage pedestrian traffic as an alternative to single vehicle passenger travel.

Implementation:

The extensive system of trails and pathways throughout the SPA Plan Area to destinations such as the village core, schools and parks, the neighboring land uses, will encourage residents to walk rather than drive.

Building Design

Objective: Locate and design buildings within village cores to facilitate transit and pedestrian access.

Implementation:

Buildings within the Village 8 East village core are clustered to minimize walking distances and oriented to the street to encourage pedestrian access. Paths within the core link to public transit stations.

Parking Management

Objective: Manage parking facilities to facilitate transit, ridesharing and pedestrian access.

Objective: Manage parking facilities to encourage a reduction in the number of single vehicle trips.

Implementation:

The PC District Regulations establish parking requirements for each land use district/zone. Parking areas are located at the rear and sides of buildings to maintain a pedestrian-oriented village streetscape. Joint parking use is encouraged within the village core.

Street Configuration

Objective: Configure internal village streets to give pedestrian traffic a priority.

Implementation:



Village streets are designed for pedestrian comfort with sidewalks, landscaping and furnishings. Streets are narrow to slow traffic and parking is subordinated.

Particulate Emissions

Objective: Minimize particulate emissions, which are the result of the construction process.

Implementation:

This objective will be met through construction practices that control fugitive dust, minimize simultaneous operation of construction vehicles and equipment, and use low-polluting equipment.

Energy Conservation

Objective: Minimize fossil fuel emission by conserving energy.

Implementation:

The Energy Conservation Plan fulfills the GDP requirement to prepare a Non-renewable Energy Conservation Plan and promotes energy efficiency and use of solar power by requiring pre-plumbing for future solar installation. The SPA Plan circulation plan is designed to provide alternate modes of travel and reduce vehicle trips to reduce fossil fuel emissions.

G. II.2.8.7 NOISE

Goal: Promote a quiet community where residents live without noise which is detrimental to health and enjoyment of property.

Goal: Ensure residents are not adversely affected by noise.

Objective: Otay Ranch shall have a noise abatement program to enforce regulations to control noise.

Implementation:

The SPA Land Use Plan separates higher noise generating land uses from more sensitive residential land uses. Sound abating features, such as masonry walls and dual-glazed windows, will be provided as needed. City standards for noise regulation and abatement shall be enforced. The *University Villages Noise Impact Report*, prepared by Dudek and Associates, identifies potential noise impacts and provides mitigation measures to reduce or eliminate potential conflicts.

H. II.2.8.8 SAFETY

Goal: Promote public safety and provide public protection from fire, flooding, seismic disturbances, geologic phenomena and manmade hazards in order to:

- Preserve Life, Health and Property;
- Continue Government Functions and Public Order;



- Maintain Municipal Services; and
- Rapidly Resolve Emergencies and Return the Community Normalcy and Public Tranquility.

General Public Safety

Objective: Provide for the continuity of government and public order.

Objective : Maintain public services and ensure the rapid resolution of emergencies.

Objective: Minimize social and economic dislocations resulting from injuries, loss of life and property damage.

Implementation:

The SPA Land Use Plan has utilized the recommendations of technical studies, City codes and ordinances, and other policies and regulations to plan for development that will promote the protection of life and property. Crime Prevention Through Environmental Design (CPTED) Principles have been incorporated into the Village 8 East Design Plan

Seismic Disturbances

Objective: Provide public protection from earthquakes, rockslides, and liquefaction in order to minimize loss of life, injury, property damage and disruption of community social and economic activity.

Implementation:

Site grading and construction shall be in accordance with the Uniform Building Code and the Association of Structural Engineers of California to reduce the effects of seismic shaking to the extent possible.

Floods

Objective: Prevent property damage and loss of life due to seiches, dam failure and heavy rains.

Objective: Preservation of the floodplain environment from adverse impacts due to development.

Implementation:

The SPA Plan Area is not located within a floodplain. Storm water flows shall be controlled and conveyed in accordance with the Master Drainage Plan for the village.

Geologic Phenomena

Objective: Prevent property damage and loss of life due to landslides, rock falls, and erosion.



Implementation:

The SPA Plan Area development shall utilize grading practices that are consistent with this objective.

Fire, Crime, Health Emergency, and Hazardous Substances

Objective: Prevent property damage and loss of life due to fire, crime or hazardous substances.

Implementation:

The SPA Plan Area is planned to reduce potential effects of fire through adequate water supply, street design that facilitates emergency vehicle access, and fuel-modification landscape techniques as outlined in the FPP. Crime prevention is addressed through optimization of community interaction and street activity and a minimization of secluded areas that could foster crime. City codes and policies will be implemented and enforced to minimize potential effects of hazardous substances.

I. II.2.8.9 GROWTH MANAGEMENT

Goal: Develop Otay Ranch villages to balance regional and local public needs, respond to market forces, and assure the efficient and timely provision of public services and facilities concurrent with need.

Objective: Coordinate the timing of the development of Otay Ranch villages to provide for the timely provision of public facilities, assure the efficient use of public fiscal resources and promote the viability of the existing and planned villages.

Implementation:

The SPA Plan will be developed in phases that balance market forces with the provision of the facilities, as identified by the Public Facilities Finance Plan.

J. II.2.8.10 RESOURCE PROTECTION, CONSERVATION & MANAGEMENT

Goal: Establishment of an open space system that will become a permanent preserve dedicated to the protection and enhancement of the biological, paleontological, cultural resources (archaeological and historical resources), flood plain, and scenic resources of Otay Ranch, the maintenance of long-term biological diversity, and the assurance of the survival and recovery of native species and habitats within the preserve, and to serve as the functional equivalent of the County of San Diego Resource Protection Ordinance (RPO).

Objective: Identify sensitive and significant biological, cultural, paleontological, agricultural, and scenic resources within Otay Ranch that require protection and/or management.



Objective: Preserve sensitive and significant biological, cultural, paleontological, flood plain, visual, and agricultural resources.

Implementation:

These goals and objectives will be met through compliance with the Otay Ranch RMP and Phase 2 RMP, by conveyance of property within the preserve to the Preserve Owner Manager at a ratio of 1.188 acres of preserve land for every acre of non-common development land and participation in the established CFD 97-2 to fund perpetual maintenance, management and monitoring of Preserve areas.

Enhance and Restore Sensitive Resources

Objective: Enhance, restore, and re-establish sensitive biological resources (species and habitats) in disturbed areas where the resources either formerly occurred or have a high potential for establishment.

Implementation:

Disturbed areas within the Otay Ranch Preserve may be enhanced and restored as determined by the Otay Ranch Preserve Owner/Manager (POM).

Wildlife Corridors

Objective: Establish functional connections for onsite resources and integrate the Preserve into a larger regional system.

Implementation:

The SPA Plan maintains functional connections for onsite resources within the Otay River Valley and integrates the Preserve into the larger regional system through the conveyance of approximately 256.6 acres of land into the Preserve.

Preserve Management and Maintenance

Objective: Effectively manage the Preserve to protect, maintain, and enhance resources in perpetuity.

Implementation:

The SPA Plan will participate in CFD 97-2 to fund the perpetual maintenance, management and monitoring of Preserve areas.

Resource Preserve Land Uses

Objective: Identify permitted land uses within the Preserve.

Implementation:

The Otay Ranch RMP, as incorporated into the City of Chula Vista MSCP Subarea Plan, identifies permitted land uses within the preserve. The MSCP includes a list of Planned Facilities authorized for Take pursuant to the Subarea Plan. In the SPA Plan Area, Planned Facilities include sewer facilities ancillary to the Salt Creek Interceptor, including connections and



maintenance access roads and trails designated in the OVRP Concept Plan. In addition, the MSCP includes a list of Future Facilities subject to MSCP Facilities Siting Criteria (Section 6.3.3.4). Future Facilities within the SPA Plan Area include a fire access road, storm drain facilities and trail/access leading to the Community Park.

Resource Preserve - Adjacent Land Uses

Objective: Identify allowable uses within appropriate land use designations for areas adjacent to the Preserve.

Implementation:

Residential uses will be separated from the Preserve by a 100-foot wide preserve edge. As required by the Resource Management Plan, a Village 8 East Preserve Edge Plan has been prepared. The Edge Plan provides compliance measures related to drainage, storm drain, toxic substances, lighting, noise and invasive plant materials.

Regulatory Framework for Future Uses

Objective: Provide a regulatory framework for future permitting by resource agencies and amendments to the RMP.

Implementation:

The SPA Plan will adhere to the regulatory framework established in the RMP and MSCP Subarea Plan.

Mineral Resources

Goal: Encourage the completion of the extraction of mineral resources before conflicts with planned development could occur.

Objective: Extract mineral resources so as not to impair other conservation efforts.

Implementation:

Mineral extraction does not occur in the SPA Plan Area.

Soils

Goal: Minimize soil loss due to development.

Objective: Identify development activities which present a large potential to create excessive runoff or erosion.

Implementation:

Landform grading, slope stabilization, vegetation protection, revegetation and other techniques will be employed to meet these goals and objectives.

Steep Slopes

Goal: Reduce impacts to environmentally sensitive and potential geologically hazardous areas associated with steep slopes.



Objective: Research existing slope conditions prior to land development activities.

Implementation:

The SPA grading plan is based on a geotechnical study. The site grading creates terraces for development that follow the natural grade elevation change. Manufactured slope heights and forms are in conformance with City ordinances and policies.

Floodways

Goal: Preserve floodways and undisturbed flood plain fringe areas.

Objective: Restore and enhance highly disturbed floodways and flood plains to regain former wildlife habitats and retain/restore the ability to pass 100-year flood flows.

Objective: Preserve floodways and undisturbed flood plain fringe areas in their natural state where downstream development will not be adversely affected.

Implementation:

The Otay River floodplain and floodways will be preserved and enhanced if needed.

Visual Resources

Goal: Prevent degradation of the visual resources.

Objective: Blend development harmoniously with significant natural features of the land.

Implementation:

The manufactured slopes will be contoured and vegetated to minimize visual impacts. The landscape plan for the SPA Plan Area provides a transition between the natural landscape and the development area.

Energy Conservation

Goal: Establish Otay Ranch as a “showcase” for the efficient utilization of energy resources and the use of renewable energy resources.

Objective: Reduce the use of non-renewable energy resources within Otay Ranch below per capita non-renewable energy consumption in San Diego County.



Implementation:

The design of the SPA Plan Area encourages walking, bicycling, and public transit use to lower energy consumption. Air Quality and Water Conservation Plans for the SPA Plan Area contribute to efficient use of resources.

Land Use

Objective: Provide land use patterns and project features which result in the conservation of non-renewable energy resources.

Implementation:

The land use pattern and relationship to surrounding land uses promotes walking and cycling as alternatives to more energy consumptive automobile use. The Water Conservation Plan and landscape design promote efficient water use.

Water Conservation

Goal: Conserve water during and after construction of Otay Ranch.

Objective: Reduce CWA water use within Otay Ranch to a level that is 75% of County-wide, 1989 per capita levels.

Objective: Create a comprehensive framework for the design implementation and maintenance of water conserving measures, both indoor and outdoor.

Objective: Develop an extensive water restoration and recycling system throughout the developed areas of Otay Ranch.

Objective: Investigate traditional and non-traditional uses for reclaimed water and identify potential restraints for reclaimed water use.

Objective: Comply with the water conservation standards and policies of all applicable jurisdictions.

Implementation:

The project will adhere to the provisions of the Water Conservation Plan prepared for the project.

Astronomical Dark Skies

Goal: Preserve dark-night skies to allow for continued astronomical research and exploration to be carried out at the County's two observatories, Palomar Mountain and Mount Laguna.

Objective: Provide lighting in heavily urbanized areas of the Otay Valley Parcel which ensures a high degree of public safety.

Objective: Provide lighting in less urbanized areas, which helps to preserve county-wide dark-night skies, and is consistent with more rural lighting standards prevalent in non-urbanized areas of San Diego County.



Implementation:

Lighting within the SPA Plan Area will adhere to City and County ordinances and standards.

Agriculture

Goal: Recognize the presence of important agricultural soils both in areas subject to development and within the preserve.

Objective: Encourage effective utilization of agricultural soils located within the Preserve.

Implementation:

Agricultural practices have ceased in the SPA Plan Area. Erosion control measures will be implemented to prevent soil erosion.



Otay Ranch Village 8 East
Planned Community District Regulations

Adopted December 2, 2014

By Resolution No. 2014-235

By Ordinance No. 3331

December 2, 2014

TABLE OF CONTENTS

I. General Provisions..... 1

 A. Purpose & Scope..... 3

 B. Private Agreements..... 3

 C. Conflicting Ordinances..... 3

 D. Establishment of Zoning District..... 4

 E. Definition of Terms..... 5

II. Zoning District Map..... 7

 A. District Boundaries..... 9

III. Residential Districts..... 11

 A. Purpose..... 13

 B. Residential District Categories/Intent..... 13

 C. Permitted and Conditional Uses..... 14

 D. Residential Property Development Standards..... 15

 1. Design Goals, Principals, and Guidelines..... 15

 2. General Standards..... 16

 3. Specific Standards..... 17

 4. Pedestrian Oriented Features..... 19

 5. Maximum – Floor Area Ratio..... 24

 6. Open Space..... 25

 7. Site Plan Review for Residential Districts..... 27

 8. Model Home Complexes..... 27

 9. Building Elevations..... 28

 10. Architectural Projections..... 28

 11. Energy Conservation Features..... 28

 E. Accessory Buildings, Structures and Uses..... 28

 1. Design Requirements..... 30

 2. Operational Requirements..... 30

F.	Walls & Fences.....	31
G.	Residential Sign Regulations.....	32
H.	Performance Standards.....	32
1.	Equipment.....	32
2.	Landscaping.....	32
3.	Utilities.....	33
4.	Exterior Noise.....	33
5.	Interior Noise.....	34
6.	Energy Conservation.....	34
7.	Parked Vehicles.....	34
8.	Special Standards – RM Districts.....	35
IV.	Mixed Use/Village Core Districts.....	37
A.	Purpose.....	39
B.	Permitted and Conditional Uses.....	39
C.	Accessory Uses and Buildings.....	42
D.	Sign Regulations.....	42
E.	Property Development Standards.....	43
F.	Street Parking & Loading Facilities.....	43
G.	Outdoor Storage.....	43
H.	Trash Storage.....	43
I.	Wall Requirements.....	44
J.	Landscape.....	44
K.	Performance Standards.....	44
V.	Open Space & Parks District.....	49
A.	Purpose.....	51
B.	Permitted & Conditional Uses.....	51
C.	Property Development Standards.....	52
1.	Site Planning.....	52
2.	Landscaping.....	52

3.	Accessory Uses & Building.....	53
D.	Performance Standards.....	53
VI.	Community Purpose Facility Sites.....	55
A.	Purpose.....	57
B.	Permitted & Conditional Uses.....	57
C.	Property Development Standards.....	58
D.	Performance Standards.....	58
VII.	Parking Regulations.....	61
A.	Purpose.....	63
B.	General Provisions.....	63
C.	Schedule of Off-Street Parking Requirements.....	66
D.	Property Development Standards.....	70
E.	Performance Standards.....	71
1.	Parking Screening Requirements.....	71
2.	Parking Area Landscaping.....	71
3.	Parking Area Lighting.....	72
4.	Parking Area Front Setback.....	72
VIII.	Comprehensive Sign Regulations.....	73
A.	Purpose.....	75
B.	Permit Requirements and Review Procedures.....	76
1.	Sign Permit Exception.....	76
2.	Prohibited Signs and Lighting.....	78
3.	Signs Relating to Inoperative Activities.....	79
4.	Enforcement, Legal Procedures and Penalties.....	80
5.	Construction and Maintenance.....	80
C.	Sign Regulations.....	80
1.	Signs Permitted in Any Land Use District.....	81
2.	Commercial Community Purpose and Multi-Family Signs.....	83
D.	Mixed Use/Commercial.....	84

1.	Types and Numbers of Permitted Signs.....	84
2.	General Size and Locations of Signs.....	84
E.	Community Purpose Facility.....	85
1.	Types and Numbers of Permitted Signs.....	85
2.	General Size and Locations of Signs.....	85
F.	Multi-Family Residential.....	85
1.	Types, Numbers, Size and Location of Permitted Signs.....	85
G.	Trail, Preserve and Open Space Signage.....	85
H.	Sign Design Standards.....	86
1.	Relationship to Buildings.....	86
2.	Landscaping.....	86
3.	Illumination and Motion.....	87
4.	Sign Copy.....	87
5.	Relationship to Streets.....	87
IX.	Special Uses & Conditions.....	89
A.	Purpose.....	91
B.	Temporary Uses & Special Events.....	91
1.	Purpose.....	91
2.	Temporary Uses Listed.....	91
3.	Permits and Bonds.....	93
4.	Extension or Modifications of Limits.....	94
5.	Condition of Site Following Temporary Use.....	94
6.	Fee.....	94
C.	Home Occupations.....	94
1.	General Provisions.....	94
D.	Private Recreational Facilities.....	95
X.	Implementation & Administration.....	97
A.	Purpose.....	99
1.	Adoption of Planned Community District Regulations.....	99

2.	Amendments	99
3.	Effects of Regulations.....	100
4.	Multiple Applications.....	100
B.	SPA Interpretation.....	100
1.	Substantial Conformance.....	100
2.	Clarification of Ambiguity.....	101
C.	Review Process.....	101
1.	Preliminary Review.....	101
2.	Level and Scope of Reviews.....	102
3.	Submittal Requirements.....	108
XI.	Exceptions & Modifications.....	123
A.	Height Limitation Exceptions.....	125
XII.	Enforcement.....	127
A.	Enforcement by City Officials.....	129
B.	Actions Deemed Nuisance.....	129
C.	Remedies.....	129
D.	Penalties.....	129

EXHIBITS

1	Village 8 East Zoning Districts Map	10
2	Typical SF-4/RM-1 Lot Design at Corner Lots	21
3	Typical Alley Lot at Corner (RM-1)	22
4	Design Review Compliance Checklist	110

TABLES

1	Villages 8 East SPA Zoning Districts Definitions	4
2	Permitted Use Matrix – Residential Districts	14
3	Property Development Standards – Residential Districts	18
4	Required Porch Sizes	20
5	Exterior Noise Limits	34
6	Interior Noise Limits	34
7	Permitted Use Matrix - Mixed-Use	40
8	Permitted Use Matrix – Open Space / Parks Districts	52
9	Permitted Use Matrix – Community Purpose Facility District	57
10	Off-Street Parking Requirements	66
11	Discretionary Approval Matrix	107

I. General Provisions



A. PURPOSE & SCOPE

The Village 8 East Planned Community District Regulations are intended to:

1. Protect and promote the public health, safety and welfare of the people of the City of Chula Vista.
2. Safeguard and enhance the appearance and quality of development in the Village 8 East Sectional Planning Area (SPA) of the Otay Ranch General Development Plan (GDP) area.
3. Provide the social, physical and economic advantages resulting from comprehensive and orderly planned use of land resources.
4. Ensure the SPA Plan is prepared and implemented in accordance with the Otay Ranch GDP.
5. Implement the Chula Vista General Plan for the East Area Plan.
6. Promote the orderly planning and long term phased development of the Village 8 East portion of the Otay Ranch GDP area.
7. Establish conditions which will enable the Village 8 East SPA to exist in harmony within the larger Otay Ranch community.

B. PRIVATE AGREEMENTS

The provisions of this ordinance are not intended to abrogate any easements, covenants, or other existing agreements which are more restrictive than the provisions contained within this ordinance.

C. CONFLICTING ORDINANCES

Whenever the provisions of this ordinance impose more, or less, restrictive regulations upon construction or use of buildings and structures, or the use of lands/premises than are imposed or required by other ordinances previously adopted, the provisions of this ordinance or regulations promulgated hereunder shall apply.



D. ESTABLISHMENT OF ZONING DISTRICTS

In order to classify, regulate, restrict and separate the use of land, buildings and structures, and to regulate and limit the type, height and bulk of buildings and structures in the various districts, and to establish the areas of yards and other open space areas abutting and between buildings and structures, and to regulate the density of population, the Village 8 East SPA is hereby divided into the following Zoning Districts:

Table 1 - Village 8 East SPA Zoning Districts Definitions

SYMBOL	GENERAL DESCRIPTION
SF-4	Single Family Four: District which permits single family detached housing at densities < 11 units/acre.
RM-1	Residential Multi-Family One: District which permits housing ranging from 11 to 18 units/acre including small lot single family detached, alley, duplex, townhouse, row house, courtyard/cluster and stacked flats product types.
RM-2	Residential Multi-Family Two: District which permits attached housing at densities 18 + units/acre.
CPF	Community Purpose Facility: District which permits uses established pursuant to the Community Purpose Facilities requirements of the P-C Planned Community Zone.
MU	Mixed Use/Village Core: District which permits commercial uses such as, but not limited to, retail shops, professional offices and service commercial within a village core. Transfer of residential uses into this district may be permitted above or connected to the commercial uses. High density Multi-Family attached units are also permitted within C/MU parcels within the Village Core.
P	Parks: District which permits allowable open space and park uses including community parks, neighborhood parks, pedestrian parks, town squares, and private parks.
OS-1	Open Space One: District which permits developed or usable open space and park uses, active recreation, and may include naturalized open space.
OS-2	Open Space Two: District which permits natural, undisturbed and/or restored open space which is part of the Otay Ranch Preserve.



Adoption of Zoning Districts Maps

Land Use Districts and boundaries are established and adopted as shown, delineated and designated on the Exhibit 1, Village 8 East Zoning District Map. This map, together with all notations, references, data, district boundaries and other information thereon, are made a part of the Village 8 East SPA Plan and adopted concurrently herewith. The boundaries are intended to align with physical and legal features such as property boundaries, top or toe of slopes and streets. Refinements to these boundaries are expected during the detail planning and design phases and will not require an amendment providing the refinement does not alter the intent.

E. DEFINITIONS OF TERMS

For the purposes of this ordinance, certain words, phrases and terms used herein shall have the meaning, assigned to them by Title 19 – Zoning & Specific Plans of the City of Chula Vista Municipal Code. The following additional definitions are provided specifically for the Village 8 East SPA:

Accessory Second Unit: An independent residential living area, also commonly referred to as a "Granny Flat," is an accessory use to a primary single family residential use, with cooking facilities and bath, that occupies the same single family detached lot as the main residence, and is intended to provide affordable rental housing in single family detached neighborhoods.

California Room: The California room provides a transition from indoor to outdoor environments and may include options such as a built-in fireplace, pre-wired lighting or fan fixtures for optimum comfort and entertaining. The California room is typically accessed through sliding doors at the rear or side of the home, and the space acts as a transition to the backyard and the entertaining opportunities there. The area is notched into the main dwelling with a solid roof integral to the home. This area may be used to satisfy all or a portion of the Private Useable Open Space requirement, subject to Development Services Director review/approval.

Hollywood Drive: A driveway which leads to a garage located behind the front elevation of the main residence, often narrow and



sometimes consisting of two paved driving strips with enhanced hardscape or turf between.

Porch: A structure attached to the front and/or side of the main dwelling, has a minimum of two open sides, is covered by a roof and oriented toward the street.

Semi-private Courtyard: An outdoor seating area that may project into the front yard setback, oriented to the house entry; and surrounded on three sides by either the building or low walls/fences.

Veranda: A roofed open structure attached to the exterior of a residence creating a wrap-around style porch, typically orienting to both the front and side streets of a corner lot. Said porch/veranda element will encroach into the sight distance triangle.

Neighborhood: A Neighborhood is a land use area identified on the Site Utilization Plan in the Specific Planning Area Plan (SPA) as a Parcel. References to Parcel or Neighborhood are interchangeable within the Village 8 East SPA Plan and its component documents.

When consistent with the context, words used in the present tense include the future; words in the singular number include the plural; and those in the plural number include the singular. The word "shall" is mandatory; the word "may" is permissive.

Any aspect of zoning regulation within Village 8 East SPA not covered by these district regulations or subsequent plan approvals shall be regulated by the applicable section of the Chula Vista Municipal Code (CVMC).

II. Zoning District Map



This chapter consists of the Zoning District Map for Village 8 East included as Exhibit 1. The original, official Zoning Districts Map shall be kept on file with the City Clerk and shall constitute the original record. Copies of said map shall also be filed with the City Planning Department.

A. DISTRICT BOUNDARIES

The Zoning District boundaries shown on the map coincide with proposed streets, alleys or lot lines. Minor amendments to these boundaries resulting from the relocation of a boundary street, alley or lot line by the approval of a tentative or final subdivision map shall be incorporated in the Zoning Districts Map as an administrative matter.



LEGEND

RESIDENTIAL

- SF-4 SINGLE FAMILY 4
- RM-1 MULTI FAMILY 1
- RM-2 MULTI FAMILY 2

OTHER

- MU MIXED USE
- CPF COMMUNITY PURPOSE FACILITY
- OS1 OPEN SPACE
- OS2 OPEN SPACE/PRESERVE
- P PARK

* This area may be developed as either multi-family or single family, subject to the Alternative Land Use permitted in the Village 8 East SPA Plan.

** THE CPF SITE MAY BE LOCATED ON ANY PORTION OF THE MU PARCEL. THE EXACT LOCATION SHALL BE DETERMINED DURING THE DESIGN REVIEW PROCESS OR FINAL MAP PROCESS, WHICHEVER OCCURS FIRST.

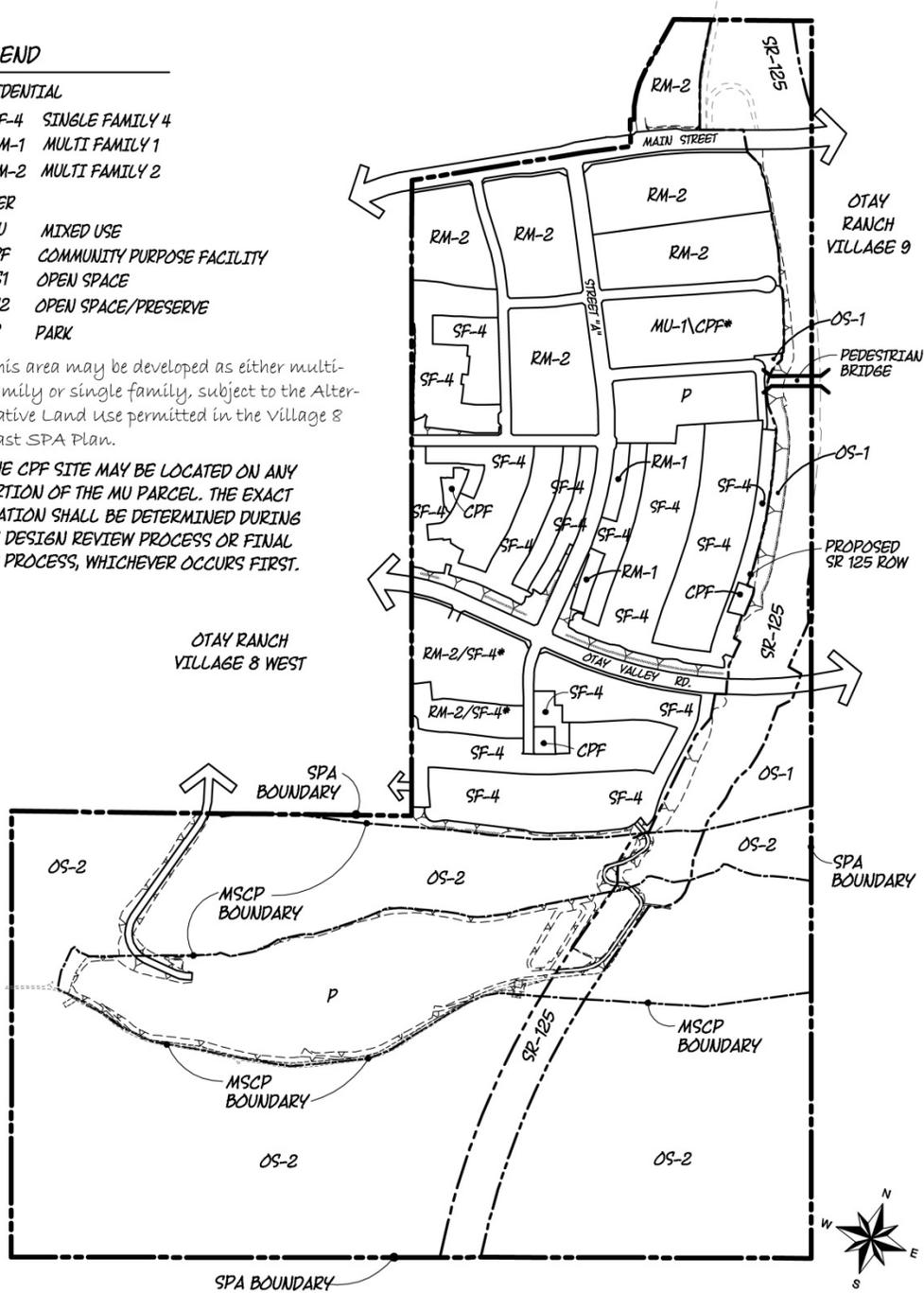


Exhibit 1
Village 8 East Zoning District Map

III. Residential Districts



A. PURPOSE

The purpose of the Village 8 East Residential Districts is to achieve the following:

- Implement the residential policies of the Otay Ranch General Development Plan.
- To reserve appropriately located areas for family living at a range of dwelling unit densities consistent with the Otay Ranch General Development Plan and with sound standards of public health, safety and welfare.
- Ensure adequate light, air, privacy and open space for each dwelling unit.
- Minimize the effects of traffic congestion and avoid the overloading of public services and utilities by phasing construction of buildings in relation to the land area around them and available infrastructure.
- Protect residential properties from noise, illumination, unsightliness, odors, smoke and other objectionable influences.
- Facilitate the provision of utility service and other public facilities commensurate with anticipated population, dwelling unit densities and service requirements.

B. RESIDENTIAL DISTRICT CATEGORIES/INTENT

Two basic residential unit types are anticipated in the Village 8 East: small lot single family detached homes and attached/multi-family units. One single family land use district, SF-4, is utilized to distinguish single family detached neighborhoods from multi-family attached neighborhoods. Two attached/ detached multi-family districts are also established, RM-1 and RM-2. The RM-1 district is intended to accommodate small lot single family detached and attached and multi-family units ranging from duplexes to townhouses, as well as innovative detached housing products, falling in the range of 11 to 18 dwelling units per acre (du/ac). The typical housing product in the RM-2 district is expected to have stacked units and group parking which would be expected at densities greater than 18 dus/ac. The Otay Ranch General Development Plan authorizes small lot single family detached in multi-family designations.



C. PERMITTED AND CONDITIONAL USES

The matrix of land uses on the following pages indicates the relative permissive status using the following symbols:

- "P" = Permitted.
- "C" = Permitted subject to Conditional Use Permit.
- "A" = Permitted subject to Administrative Approval.
- "N" = Use Not Permitted.

Table 2 – Permitted Use Matrix – Residential Districts

Residential Uses:	SF-4	RM-1	RM-2
Single-family dwelling, detached	P	P	A
Single-family dwelling, attached	A	P	P
Mobile home which is certified under the National Mobile Home Construction and Safety Standards Act of 1974 on individual lots	P	P	P
Group residence or residential dwelling, operated by an organization, association or individual with a paid professional staff, uses may include, but are not limited to, boarding or rooming homes, dormitories and retirement homes	N	C	C
Multiple dwellings (3 units and above)	N	P	P
Townhouse dwellings	N	P	P
Accessory Second Unit (see Accessory Use Section)	P	P	N
All types of horticulture	P	P	P
Agricultural crops	A	A	A
Community garden	A	A	A
Daycare center and nursery schools	N	N	C
Essential public services, including but not limited to: library, museum, park, public works facility and other civic uses.	A	A	A
Family daycare home, large (subject to Section 19.58.147 CVMC – Uses: Family Daycare Homes, Large)	A	A	A
Public safety facility such as police or fire station	A	A	A
Public utility and public service sub-stations, reservoirs, pumping plants and similar installations	P	P	P



Residential Uses:	SF-4	RM-1	RM-2
Private educational facilities, including but not limited to: elementary schools, secondary and high schools and adult schools.	C	C	C
Recreation facility less than 2 acres in size	A	A	A
Recreation facility over 2 acres in size	C	C	C
Private Open Space Recreation Facility	P	P	P
Home occupations (subject to "Home Occupations" Section)	A	A	A
Model homes (subject to Temporary Uses Section)	A	A	A
Accessory uses and accessory buildings customarily appurtenant to a permitted use (subject to Section 19.58.20 CVMC – Uses: Accessory Building)	P	P	P
Other temporary uses as prescribed in Temporary Uses Section	A	A	A
Temporary tract offices and tract signs (subject to Temporary Uses Section)	A	A	A
Unclassified uses (subject to Chapter 19.54 CVMC – Unclassified Uses)	C	C	C

D. RESIDENTIAL PROPERTY DEVELOPMENT STANDARDS

1. Design Goals, Principals, and Guidelines

The residential property development standards are intended to implement specific design goals and principles established in the Otay Ranch GDP. The intent of the GDP village concept land use goals are to “produce a cohesive pedestrian friendly community that encourages non-vehicular trips and fosters interaction amongst residents.” To implement this goal, the land use policies encourage a pedestrian scale and a pedestrian friendly village environment.

Pedestrian-oriented development in residential neighborhoods has several basic components. In single-family neighborhoods, homes may be located closer to the sidewalk and have pedestrian-oriented features such as porches, courtyards and other seating areas to promote interaction between neighbors and provide focus on the street. “Veranda” style porches on corner lots, balconies and semi-private courtyards further promote this interaction.



The appearance of garage doors fronting on the street should be minimized through a variety of design solutions. For example, living space in residences can be located forward of the garage on a lot so that the view from the street is the architectural design of the building, not the garage door. The pedestrian street experience is enhanced by limiting curb cut widths, thereby reducing driveway paving and increasing landscaping across the front of the residential lots. “Hollywood” driveways are another recommended design solution. Hollywood driveways are often narrow (sometimes consisting of two pavement strips separated by turf or decorative landscape) and lead to garages that are deeply recessed behind the front elevation of the residence.

Entries to the residences should be visible from the street and must have strong architectural features facing the street which enhance the pedestrian experience. Walkways providing direct access from the front door to the sidewalk instead of the driveway emphasize the pedestrian orientation of the house to the street. Side street entry garages separate the pedestrian-oriented front of the house from the auto entrance. In some neighborhoods, access to garages is provided from 20’ wide alleys, improving the streetscape by eliminating garages along front elevations.

Multi-family neighborhoods surrounding the Village Core must be designed to enhance the Core as a focal point, discourage use of automobiles and create a “walkable,” inviting environment, both within and outside the boundaries of the development. Pedestrian-oriented features include orienting the front doors toward the streets, plotting the buildings so garages are not visible from the public or commonly used streets; integrating strong, well designed pedestrian connections to the public or commonly used streets and adjacent trail systems; providing well designed, inviting common usable open space areas and unique, yet compatible, architecture.

These design features are intended to apply to both single-family and multi-family developments. The intent of PC District Regulations is to fully implement these types of design features for every neighborhood within the Village. For further understanding of these goals, refer to the Village Design Plan and the Master Precise Plan(s).

2. General Standards

The general standards found in this section are based on the Otay Ranch General Development Plan. Where the Specific Standards listed below are silent on an issue, the Zoning Administrator is



authorized to define a standard based on the Otay Ranch General Development Plan, the Chula Vista General Plan, Zoning Ordinance, Design Manual and/or Landscape Manual, as may be appropriate.

3. Specific Standards

The following Property Development Standards shall apply to all land and buildings, other than accessory buildings, permitted in their respective residential land use district. The use of the symbol "DR" indicates that the standard is established through Zoning Administrator (ZA) approval or the Design Review process.

Dimensions and standards are minimums, and minor variations may be permitted subject to Administrative Design Review or tract map approval. Lot widths and depths are typical minimums but may vary slightly with irregularly shaped lots and site-specific conditions. Refer to Section 9 Administrative Procedures, for further information regarding processing requirements.

The GDP/SPA Plan identifies the school as having an alternative land use of Residential.



Table 3 – Property Development Standards – Residential Districts

	Land Use Districts			Notes
	SF-4	RM-1	RM-2	
Lot Criteria				
Minimum Lot Area (Square Feet)	2,400	DR	DR	Lot sizes within SF-4, RM-1 & RM-2 may be reduced with Design Review approval.
Maximum floor area to lot area ratio (FAR)	DR	DR	DR	
Minimum Lot Depth (Feet)	60	DR	DR	
Minimum Lot Width (Feet)				
Measured at setback line	40	DR	DR	Lot width may be reduced for alley and z-lot plans.
Flag lot street frontage	20	DR	DR	
Knuckle or cul-de-sac street frontage	20	DR	DR	
Building Heights				
Maximum Building Height (feet)	35	45 3-story max	60 5-story max	
Yards & Setbacks				
Minimum Front Yard Setback (Feet)				
To side entry (swing in) garage with or without residential above	10	DR	DR	
To main residence	7 (min)	DR	DR	
To Garage	Either 7 or 17 (min)			
To porch, patio, entry feature, or veranda	4	DR	DR	Minimum 66%, depending on number of models, shall have at least one pedestrian oriented feature (see Page 27).
To semi-private courtyard	3	DR	DR	
Minimum Side Yard Setback (Feet)				
To adjacent residential lot	3.25	DR	DR	May be reduced for Zero Lot Line concepts.
Distance between detached residences	6.5	DR	DR	May be reduced to zero for certain building types. Refer to Village Design Plan.
To porch, patio or veranda on corner lot	3	DR	DR	Measured from back of sidewalk.



	Land Use Districts			Notes
	SF-4	RM-1	RM-2	
Minimum Rear Yard Setback (Feet)				
To main residence	5	DR	DR	Second story (and above) may project 3 feet into rear yard setback where Rear Yard setback is a minimum of 10'.
To garage off an alley	4	DR	DR	Second story (and above) may project 2 feet into rear yard setback.
Parking Spaces per Unit – see Parking Regulations Section below				

4. Pedestrian Oriented Features

Sixty six percent (66%) of all homes within single family detached neighborhoods (SPA Neighborhoods) shall have at least one of the following pedestrian oriented features: porch, veranda, porch/veranda combination, and/or semi-private courtyard or any alternative pedestrian oriented feature of a similar character approved by the Zoning Administrator. Additional models shall include at least one pedestrian oriented feature, such as; a balcony, gateway, trellis, porte-cochere, featured window, or any alternative pedestrian oriented feature of a similar character that is approved as a part of Design Review.

Each of the minimum porch/veranda sizes in the table outlined below shall be defined as Sitting Area and shall be free and clear of any structural supports or other building forms. Porch setbacks shall be measured to the clear area rather than the structural supports.

a. Porches

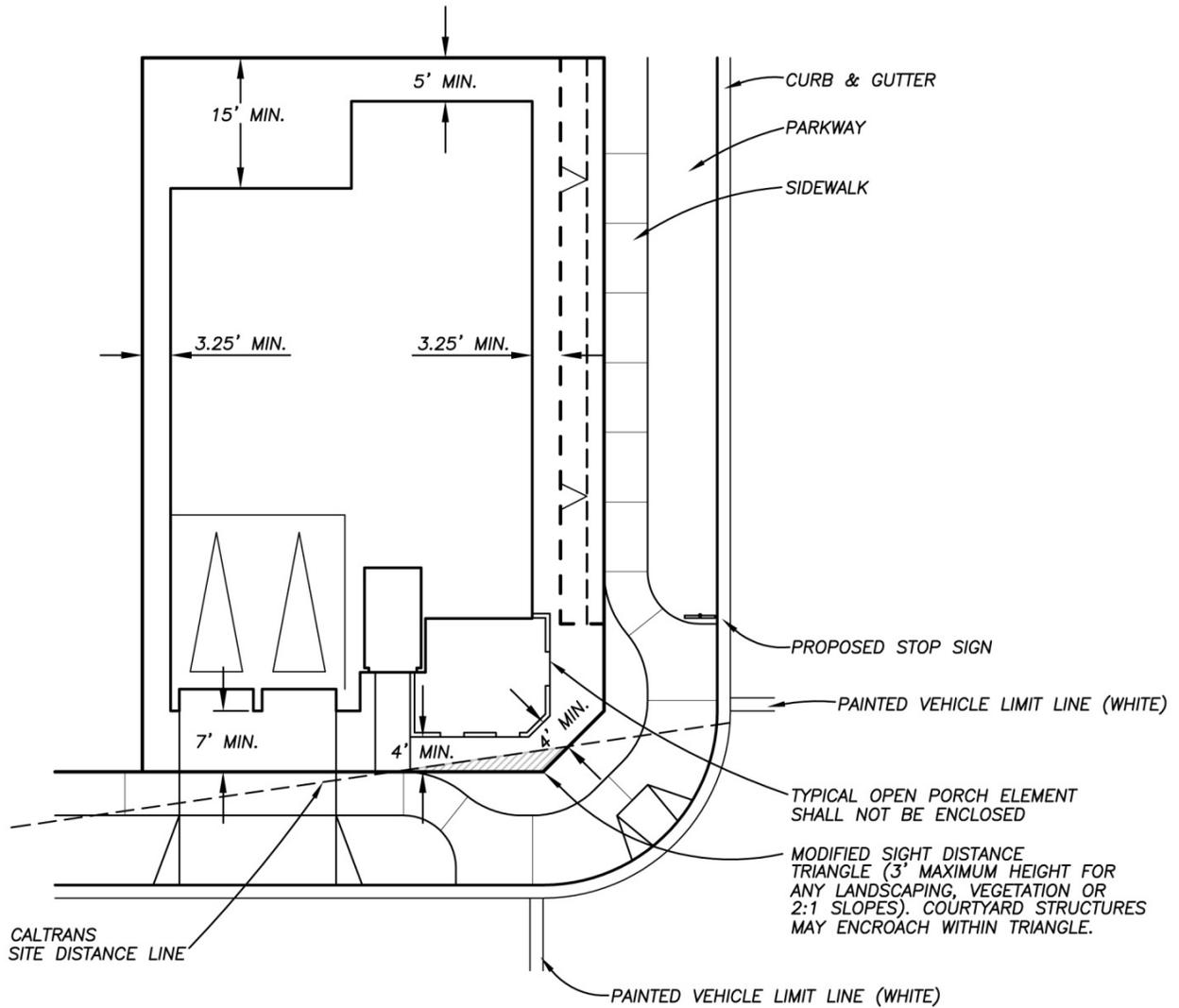
All porches shall be oriented towards the street. Porches shall not be enclosed. Porches shall be provided at the following schedule according to lot width measured at the front setback:



Table 4 -Required Porch Size

<i>Minimum Neighborhood Lot Width (Pad Width)</i>	<i>Minimum Porch Size¹</i>
Less than 40 feet ¹	60 square feet (6 foot clear minimum dimension)
40 – 60 feet ²	60-70 square feet (6 foot clear minimum dimension)

¹ 5' clear dimension on porch or veranda side elevation.



NOT TO SCALE

Exhibit 2
Typical SF-4/RM-1 Lot Design at Corner Lots

NOTE: Porch must be open with walls no higher than three feet. Sight distance based on CALTRANS standard. Not to Scale

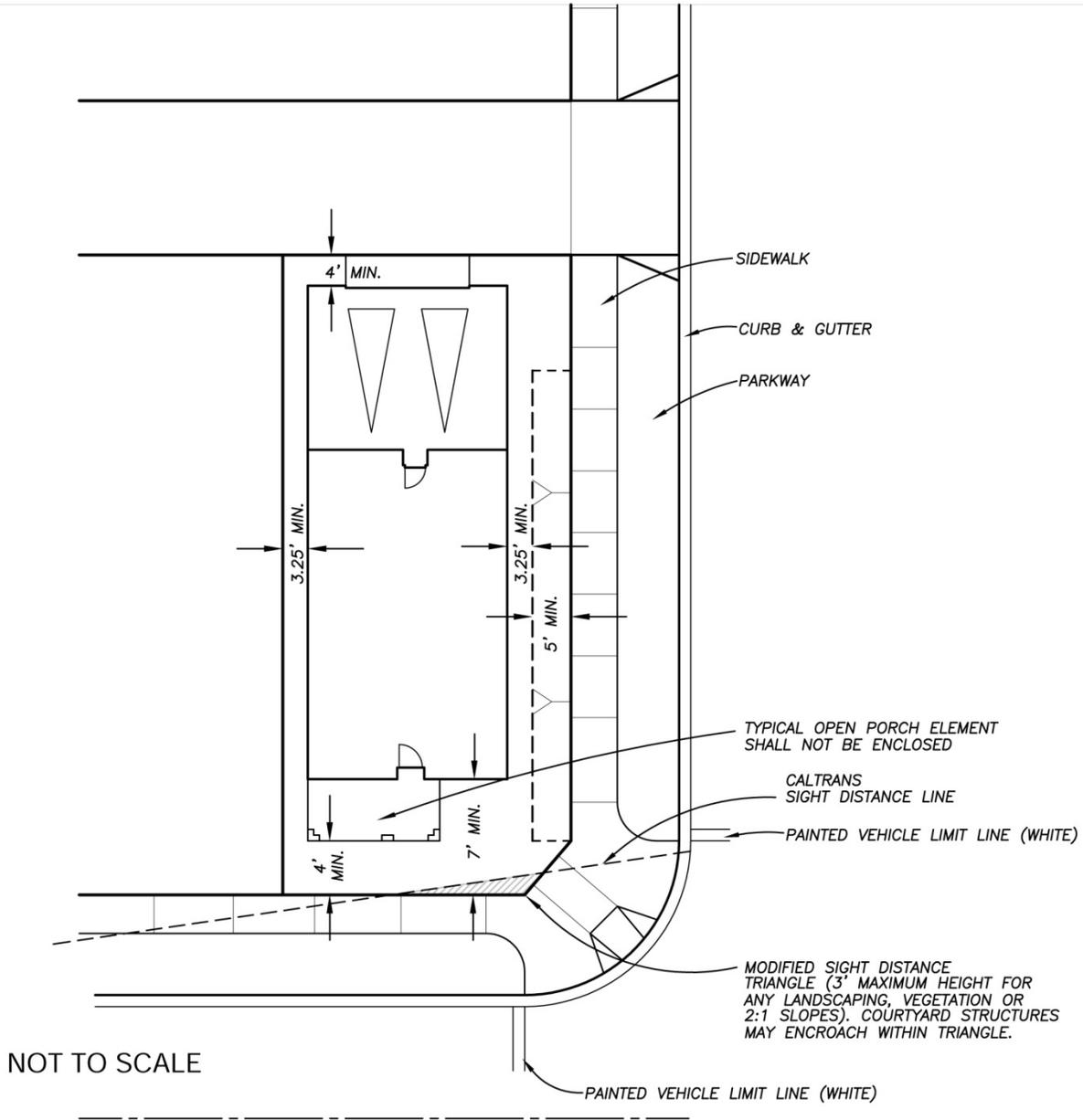


Exhibit 3

Typical Alley Lot at Corner (RM-1)

NOTE: Porch must be open with walls no higher than three feet. Sight distance based on CALTRANS standard. . Not to Scale



b. Verandas

On at least sixty six percent (66%) of corner lots in the SF-4 Land Use District, Veranda wrap-around style porches are required where the elevation of the house pad is less than 3 feet from the adjacent pedestrian walk. Verandas shall have the same minimum dimensions as found in the above table for porches.

Exhibits 2, 3 and 4 depict the sight distance condition and requirements for homes plotted on corner lots.

c. Balconies

Balconies shall be oriented to view and be viewed from the pedestrian circulation system whenever possible. If balconies are intended to satisfy the requirement to provide private useable open space, they shall have a minimum dimension of six (6) by ten (10) feet clear and shall be parallel to the front property line, unless located on a flag or cul-de-sac lot. Balconies may be located over the first floor or may project into the front yard setback up to three (3) feet or into the side yard no more than 50% of the setback dimension. Smaller balconies are encouraged in single family homes as architectural features.

d. Semi-Private Courtyards

A semi-private courtyard is an outdoor area in a single family detached home with usable seating area similar to a porch with no dimension less than six feet clear; oriented to the house entry; and surrounded on three sides by either the building, elevation change, or low walls/fences. Semi-private courtyards shall be designed such that they are an architecturally significant element of the front elevation of the house. It shall open on the street side and incorporate strong architectural styling that emphasizes the pedestrian entry over the garage and driveway. Courtyard walls may be up to 42" in height. Exhibit 2 depicts courtyard design at corner lots.

e. California Room

The California room provides a transition from indoor to outdoor environments and may include options such as a built-in fireplace, pre-wired lighting or fan fixtures for optimum comfort and entertaining. The California room is typically accessed through sliding doors at the rear or side of the home, and the space acts as a transition to the backyard and the entertaining opportunities there. The area is notched into the main dwelling with a solid roof



integral to the home. California Rooms must be 50% open or have moveable transparent walls/windows that open to the rear and/or side yard. Any proposal to vary from this openness requirement is subject to review/approval of the Development Services Director. The California Room may be used to satisfy all or a portion of the Private Useable Open Space requirement, subject to Development Services Director review/approval.

f. **Featured Windows**

Large picture windows, bay windows and glass-paneled doors oriented towards the street provide a sense of openness and a visual connection between the interior living space and the street. This visual connection enhances neighborhood security and provides an indoor seating option to porches, verandas, and courtyards. The window/doors should be proportional in scale to the wall plane and no less than four feet in width.

g. **Gateways, Trellises and Porte-cocheres**

Gateways, trellises, porte-cocheres and similar architectural elements may be used to designate residential entries. Such features should be visually distinctive and may be free standing or attached to the residence.

5. Maximum - Floor Area Ratio

The maximum floor area for single-family detached and attached products shall be permitted by percentage of floor area to lot area (Floor Area Ratio - FAR). The maximum building area for each lot shall be as permitted in Table 3. Homeowner additions shall be permitted only where consistent with these standards on an individual lot basis. The following are excluded from FAR calculations:

- The first 300 square feet of a covered rear yard patio (open on two sides). A patio of up to 300 square feet shall be permitted on each residential lot within setbacks described in Table 3. Any square footage above 300 square feet shall count toward the FAR. Any portion of a covered patio over 300 square feet that exceeds the FAR shall not be permitted;
- The first 400 square feet of the garage shall not count toward the FAR;



- Architectural features on single family homes which constitute non-usable floor space such as fire places, media niches or book shelf areas on exterior walls, eaves, awnings, chimneys, balconies, stairways, bay windows, wing walls, etc., shall not be included in building area calculations;
- Porches, verandas, balconies, patios, California Rooms architectural projections and semi-private courtyards shall not count toward the FAR;
- To encourage diversity in design, the FAR shall be flexible. To achieve this, the FAR for each neighborhood shall be determined through the Design Review process.

6. Open Space

a. Private Useable Open Space Definition

Adequate usable outdoor areas intended for daily family activities such as children's play areas and areas for outdoor gathering, dining, landscaping and gardening. Private Useable Open Space (PUOS) must meet the following requirements:

- Porches and balconies with minimum dimension of 6 feet and minimum area of 60 square feet.
- Private fenced yards with no dimension less than 10 feet (side yard, rear yard or front courtyard locations permitted)
- Generally level (< 5% grade)
- Landscaped front yards
- Yard areas with minimum dimensions less than 6 feet, driveways and pedestrian paths do not qualify
- California Rooms, as defined on Page 22

b. Common Useable Open Space

Open space areas (including Private Open Space) that are amenities to the surrounding community in addition to required public parkland. Common useable open space shall meet following criteria:



- Within ¼ mile of the residences to be served
- Consist of large, meaningful areas that are not fragmented by unrelated uses or improvements
- Developed with recreational uses, including both passive (landscaping) and active amenities (tot lots, picnic areas, etc.)
- No dimension less than 10 feet
- Generally level (< 5% grade)

c. Single Family Detached

For single family lots in the SF-4 and RM-1 zones larger than 3,000 square feet, a minimum of 750 square feet of private usable open space (with a private fenced area no less than 15% of the lot area) shall be provided.

For single family lots in the SF-4 and RM-1 zones less than 3,000 square feet, a minimum of 750 sq. ft. of combined common and private usable open space for each unit shall be provided, as follows:

- A minimum 350 square feet of private usable open space shall be provided per lot
- The remaining 400 square feet of required open space may be provided as either common or private usable open space. However, in all cases, each development shall provide an adequate amount of common usable open space in one area or in multiple areas to the satisfaction of the Director of Development Services during the site plan approval process.
- A proposal for meeting the open space requirement for single family lots shall be submitted to the City in conjunction with the Minor Design Review process and shall be subject to the review/approval of the Development Services Director. Open space requirements shall be calculated on a per-lot basis. If open space requirements are not met on individual lots, a consolidated CUOS site shall be provided within ¼ mile of the neighborhood/neighborhoods to meet the



neighborhood's/neighborhoods' open space obligation which may impact residential lots designated on the Village 8 East tentative map.

d. Multi Family Attached

For multi-family attached units in the RM-1 and RM-2 zones, Private Useable Open Space shall be provided as follows:

- 60 square feet for each 1 bedroom unit
- 80 square feet for each 2 bedroom unit
- 120 square feet for each 3 bedroom unit
- 20 additional square feet for each additional bedroom over 3

Common Useable Open Space(CUOS) shall be provided as follows:

- For multi-family attached units in the RM-1 zone (11-18 DUs/AC) a minimum of 300 square feet per unit shall be provided
- For multi-family attached units in the RM-2 zone (18+ DUs/AC) a minimum of 200 square feet per unit – combined PUOS and CUOS shall be provided.

7. Site Plan Review for Residential Districts

Notwithstanding the property development standards listed herein, development within any land use district may be approved with specific site standards through the Site Plan and Design Review process. See Section XI Administrative Procedures.

8. Model Home Complexes

Model homes, their garages, parking lots and private recreation facilities are temporary uses and may be used as offices for the first sale of homes within a recorded tract and subsequent similar tracts utilizing the same architectural designs, subject to the regulations of the City of Chula Vista governing said uses and activities. Unless otherwise determined by the Zoning Administrator, an administrative Conditional Use Permit and administrative Design Review shall be required for model home sites. Refer to Special Uses and Conditions,



Section IX for specific requirements for subdivision sales offices. At the discretion of the Zoning Administrator, the Conditional Use Permit may be referred to the Planning Commission or the Design Review application to the Design Review Committee, respectively, for a decision. Otherwise, administrative procedures shall be used.

9. Building Elevations

A minimum of three front elevations shall be provided for each floor plan on all single-family detached residential housing. Elevations for any accessory second units (granny flats) shall be submitted at the same time as elevations for the main structure for administrative Design Review.

10. Architectural Projections

Architectural features on single family homes which constitute non-usable floor space such as fire places, media niches or book shelf areas on exterior walls, eaves, awnings, chimneys, balconies, stairways, bay windows, wing walls, etc., shall not be included in building area calculations and shall not extend more than 50% into any required setback in accordance with Section III, herein.

On houses with a trellis over a “Hollywood drive”, the trellis may be as close as 10’ behind the sidewalk and may encroach no more than 50% into a side yard.

11. Energy Conservation Features

The City of Chula Vista requires all SPA Plans to include an Air Quality Improvement Plan. As detailed in the “Village 8 East Sectional Planning Area Plan Non-Renewable Energy Conservation Plan,” homes within the SPA area must exceed California 2008 Title 24 Energy Efficiency Standards by 15%.

E. ACCESSORY BUILDINGS, STRUCTURES AND USES

Accessory uses and accessory buildings customarily appurtenant to a permitted use are allowed subject to the requirements of Section 19.58.020 CVMC (Uses: Accessory Buildings).

Accessory buildings and structures, except accessory second units, attached or detached, used either wholly or in part for living purposes, shall meet all of the requirements for location of the main structure as



constructed or required by the district, whichever is less restrictive, except as herein provided:

- a. Enclosed accessory buildings or open structures attached to the main building are subject to approval by the Zoning Administrator. Such accessory buildings shall not be allowed to encroach into required setbacks; except as otherwise permitted herein.
- b. Detached accessory structures are subject to the approval of the Zoning Administrator and shall meet the setback requirements of the main building, for the front and street side yard areas.
- c. Detached accessory structures may be located within an interior side yard or rear yard, provided that such a structure is located no closer than five feet to an interior side or rear lot line and is at least six feet from the main structure, and does not exceed one story in height.
- d. Open structures may be allowed to encroach into the rear yard setback subject to the approval of the Development Services Director. The design and type of open structure will be determined by the Development Services Director.
- e. Attached and detached accessory buildings and open structures are permitted pursuant to the site plan and architectural review requirement specified in Section XI. Administrative Procedures, Conditional Uses & Variances.
- f. A covered rear yard patio of up to 300 square feet shall be permitted on each residential lot. Any square footage above 300 square feet shall be added to the total building area and count toward the FAR. Any portion of a covered rear yard patio over 300 square feet that exceeds the FAR shall not be permitted.
- g. Architectural features which constitute non-useable floor space such as fire places, media niches or book shelf areas on exterior walls, eaves, awnings, chimneys, balconies, stairways, wing walls, etc. up to twelve (12) feet in length may project not more than fifty percent (50%) into any required side yard setback not more than four (4) feet into



any required front or rear yard setback, if non-combustable, per Fire/Building Code.

Accessory Second Units as defined in Section I herein are permitted subject to the following requirements:

1. Design Requirements

- a. Size: 400 sq. ft. minimum to 650 sq. ft. maximum (studio to one bedroom maximum).
- b. Setbacks: Same as for a garage.
- c. Kitchen and Bath Facilities: Must have independent kitchen and bath facilities.
- d. Entry: Must have a separate entry from that of main residence.
- e. Common Walls: Living area of the Accessory Second Unit may not abut the living area of the main residence without air space separation and sound proofing. A closet, garage, or similar separation may be used as adequate separating space and sound proofing between the living areas of an Accessory Second Unit and the Main Residence. An Accessory Second Unit abutting the main residence on more than two sides is prohibited.
- f. Yard or Balcony: A balcony (30 sq. ft. minimum) or an assigned fenced or unfenced yard area (no less than 40 sq. ft.) shall be provided.
- g. FAR: Area of an Accessory Second Unit shall not be included in the FAR calculations.

2. Operational Requirements

- a. Mail & Address: May assign separate address, utility metering and mailbox.
- b. Contract: An Accessory Second Unit may not be sold independent of the main residence, nor have any rental term, including pre-specified options for renewal, in excess of three years.



F. WALLS & FENCES

In any required front yard adjacent to a street, the wall, fence, or hedge shall not exceed forty-two inches in height, except as provided herein:

1. Walls, fences, or hedges a maximum of six feet in height (measured from the top of the slope) may be maintained along the interior side or rear lot lines, provided that such wall, fence, or hedge does not extend into a required front yard or side yard setbacks adjacent to a street, except as required by a site specific noise study or as shown on the Wall and Fencing Plan in the Village Design Plan. Corner cut-off shall be provided whenever necessary for line-of-sight visibility and safety and may be adjusted to accommodate "veranda" porches required on corner lots, as depicted in Exhibit 3.
2. Walls, fences or hedges adjacent to a driveway or street providing vehicular access to an abutting lot or street shall not exceed forty-two inches in height within the front yard setback area of the lot. Walls in the front yard setback shall be no closer than three feet to the back of front sidewalk. Corner cut-offs may be required to maintain a reduced height in special circumstances for safety and visibility as determined by the City Engineer.
3. Fiberglass, bamboo sheeting, chain link, chicken wire or similar temporary material shall not be permitted as a fencing material. Plexiglass is permitted for view purposes subject to approval of the Zoning Administrator.
4. Walls adjacent to corner lot side yards shall be constructed of masonry or stucco in accordance with community fencing standards. Where view fencing is appropriate, fencing consisting of wrought iron or a combination of masonry and wrought iron may be utilized. Wood fences are prohibited in this location.
5. Noise barriers in excess of eight feet in height shall consist of a wall and berm combination. The wall height in this combination barrier shall not exceed eight and one-half (8.5) feet with the remaining portion of the overall height constructed through berming.
6. A minimum three (3) foot wide clear, level area shall be maintained between a wall and top of slope where abutting publicly maintained open space.



7. A two and one-half (2.5) foot retaining wall may be combined with a six (6) foot free-standing wall for a total maximum height of eight and one-half (8.5) feet. Where combined retaining and freestanding walls would exceed the maximum allowable height, a minimum of two (2) foot horizontal separation shall be provided between wall elements.
8. No rear yard retaining wall shall be greater than six (6.0) feet in height. If a second retaining wall is utilized, the minimum horizontal separation between the two walls shall be four and one half (4.5) feet.

G. RESIDENTIAL SIGN REGULATIONS

No sign or outdoor advertising structure shall be permitted in any residential district except as provided in the Sign Regulations, Special Uses and Conditions section and the Comprehensive Sign Regulations section of this document.

All signage will also comply with the Village 8 East Planned Sign Program that shall be prepared subsequent to SPA Plan approval.

H. PERFORMANCE STANDARDS

The following performance standards shall be met in all Residential Districts:

1. Equipment

Air conditioners, antennas, satellite dishes, ham radio antennas, solar panels, heating, cooling, ventilating, equipment and all other mechanical lighting, or electrical devices shall be operated and located to not disturb the peace, quiet and comfort of neighboring residents. The location of such equipment shall require the prior approval of the Zoning Administrator. This equipment shall be screened, shielded and/or sound buffered from surrounding properties and streets. All equipment shall be installed and operated in accordance with all other applicable ordinances. Heights of said equipment shall not exceed the maximum height of the zone in which they are located.

2. Landscaping

Front and exterior side yards requiring landscaping shall consist predominantly of trees, plant materials, ground cover and decorative



rocks, except for necessary walks, drives and fences. Drought tolerant landscaping is encouraged. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris. Landscaping requirements shall be met by either builder or developer installation, or for single-family development, by requiring through CC&Rs or other restrictions that individual homeowners install their front yard landscaping within one year of occupancy.

3. Utilities

All utility connections shall be coordinated with the site's architectural elements so as not to be exposed, except where required by utility provider. Pad-mounted transformers and/or meter box locations shall be included in the site plan with any appropriate screening treatment as approved by each utility provider. Power lines and cables, except for temporary use, shall be installed underground. The Landscape Master Plan shall include a utility plan, prepared by a professional utility consultant, outlining the exact type and location of above-ground utility boxes, cabinets, etc.

4. Exterior Noise

The acceptable outdoor noise exposure level, measured at the receiving property line, for each residential district is given below. (See Section 19.68.030 CVMC – Performance Standards and Noise Control: Exterior Noise Limits for definitions and additional details.) It should also be noted that as a matter of practice, the City of Chula Vista also implements the noise compatibility guidelines and CNEL thresholds of the City of San Diego.



Table 5 Exterior Noise Limits

<i>Receiving Land Use District</i>	<i>7 a.m. to 10 p.m.</i>	<i>10 p.m. to 7 a.m.</i>
SF-4	55 dBA	45 dBA
RM-1, RM-2	60 dBA	50 dBA

Note: environmental noise value is L_{eq} in any hour and nuisance noise value is not to be exceeded at any time.

5. Interior Noise

No person shall operate or cause to operate, any source of sound, or allow the creation of any noise which causes the noise level, when measured inside a neighboring receiving dwelling unit to exceed the limits as follows:

Table 6 Interior Noise Limits

<i>Time Interval</i>	<i>1 Min. in 1 Hour</i>	<i>5 Min. in 1 Hour</i>
7 a.m. to 10 p.m.	50 dBA	45 dBA
10 p.m. to 7 a.m.	40 dBA	35 BA

6. Energy Conservation

Buildings shall be located on the site to provide adjacent buildings adequate sunlight for solar access, when practical. Buildings should be designed to minimize energy consumption requirements, including, but not necessarily limited to, conservation considerations such as window placement, eave coverage, dual glazing and insulation. More information is provided in the Village 8 East Air Quality Improvement Plan.

7. Parked Vehicles

In any residential zone, the parking of motorized and non-motorized vehicles shall be subject to the following requirements:

No motorized or non-motorized vehicle shall be parked, stored or kept in the front yard, except in the driveway or on a paved area adjacent to the driveway.

If motorized or non-motorized vehicles are parked, stored or kept on the lot, other than as permitted above, they must be for the resident's or a guests personal use. No storage or display of vehicles for sale by a



motor vehicle dealer is permitted in a residential driveway or on a residential street.

8. Special Standards - RM Districts

All attached multi-family projects in the RM districts are subject to the Design Review Process.

In the RM Districts, including the conversion of apartments to condominiums where permitted, the following performance standards shall be met:

- a. Masonry walls or fences six feet in height, from the highest finished grade, shall be required where needed for noise attenuation as shown on the Wall and Fencing Plan in the Village Design Plan or as required by a site specific noise study.
- b. When SF residential districts are adjacent to the RM-2 district, a minimum of fifteen feet of landscaped area shall be provided between such uses. Parking or common trash receptacles may be permitted within this area, subject to Design Review.
- c. Conveniently located common laundry facilities shall be provided for units which do not have individual hook-ups.
- d. Conveniently located and well-screened enclosures for trash and recyclables shall be provided for all dwelling units, unless provided for each unit. Projects shall conform to the City's solid waste and recycling guidelines.
- e. Recreational vehicle (including campers, boats and trailers) parking areas fully screened from view of the development shall be provided in all multi-family developments or these developments shall prohibit all parking of recreational vehicles.
- f. Lockable, enclosed storage shall be provided in the carport area; storage substitutions may be approved by the Zoning Administrator.

Mailbox kiosks shall be conveniently located and distributed throughout the complex.

THIS PAGE INTENTIONALLY LEFT BLANK

IV. Mixed Use/Village Core District



A. PURPOSE

Commercial uses in the SPA Plan area are concentrated in the Village Core area which is intended to function as the social, commercial and activity center for the village as mandated in the Otay Ranch GDP. In order to serve this function, mixed commercial/residential, public and quasi-public and Community Purpose Facility uses, as well as purely commercial uses are permitted in the Village Core Districts.

The Mixed Use/Village Core District is included in the Planned Community District Regulations to achieve the following:

1. Provide areas for office, retail and service establishments offering commodities and services required by residents of the village.
2. Protect village core properties from noise, odor, smoke, unsightliness, and other objectionable influences incidental to commercial uses.
3. Provide an opportunity for mixed use and quasi-public community support facilities.
4. Encourage mixed use and residential uses concentrated for the convenience of the public and for a more mutually beneficial relationship to each other.
5. Provide adequate space to meet the needs of modern commercial activity, including off-street parking and loading areas.
6. Promote high standards of site planning, architectural and landscape design for office and commercial developments within the City of Chula Vista.

B. PERMITTED AND CONDITIONAL USES

The matrix of land uses on the following pages indicates the relative permissive status using the following symbols:

“P”= Permitted

“C” = Permitted subject to Conditional Use Permit

“A” = Permitted subject to Administrative approval.

“N” = Use Not Permitted.



A use not listed shall be subject to a use determination by the Zoning Administrator to determine substantial conformance with the purpose, intent and goals of this SPA Plan.

Table 7 – Permitted Use Matrix – Mixed Use

Description	<i>LAND USE DISTRICT - MU</i>
Administrative and Professional Services:	
Business & professional office	P
Financial institution or office	P
Medical, dental & health services	A
Real estate sales office	P
General Commercial Uses:	
Antique shop (no outdoor storage)	P
Apparel store	P
Appliance store, including repair (no outdoor storage)	P
Art, music and photographic studio and supply store	P
Arcade and electronic games (subject to Section 19.58.40 CVMC – Uses: Amusement and Entertainment Facilities)	C
Athletic and health club	P
Automobile and/or truck services, sales, rental agencies, car wash (subject to Property Development Standards)	C
Bakery - retail	P
Barber and beauty shop	P
Bicycle shop, non-motorized	P
Blueprint and photocopy services	P
Books, gifts and stationery store	P
Candy store and confectioner	P
Carwash (subject to Section 19.58.060 CVMC – Uses: Automobile Car Wash Facilities)	C
Catering establishment	P
Cleaners	P
Cocktail lounge, bar or tavern, including, related entertainment	C
Commercial recreation facilities not otherwise listed	C
Electronics store, including sales and repair	P
Equipment rental (enclosed in building)	P
Fast food restaurants with drive-in or drive-through (subject to Section 19.58.120 CVMC – Uses: Drive-in Establishments)	C
Feed and tack store (no outside storage); (subject to Section 19.58.175 CVMC – Uses: Hay and Feed Stores)	P
Florist shop	P
Food store, market, drug store	P
Furniture store	P
Gasoline service station (subject to Section 19.58.280 CVMC – Uses: Service Station)	C



Description	LAND USE DISTRICT - MU
Hardware store	P
Hobby shop	P
Hotel or motel (subject to Section 19.58.210 CVMC – Uses: Motels and Hotels)	P
Janitorial services/supplies	P
Jewelry store	P
Junior department or department store, discount or membership department store	C
Kiosk, including photo sales, located in parking lot	A
Laundry (coin-operated)	P
Liquor store	C
Mortuary	N
Motorcycle sales and services, including motorized bicycles (subject to Property Development Standards)	A
Newspaper and magazine store	P
Nursery or garden supply store in enclosed area	P
Office suites, general	P
Office supplies/stationery store	P
Parking facilities (commercial) (subject to Section 19.58.230 CVMC – Uses: Parking Lots and Public Garages)	C
Pharmacy	P
Printing shop	P
Recycling drop-off bins	A
Residential	P
Restaurant with entertainment and serving alcoholic beverages	C
Restaurant with incidental serving of beer/wine but without cocktail lounge, bar, entertainment or dancing	A
Restaurant, coffee shop, delicatessen	P
Retail store or shop	P
Sign painting shop (enclosed building)	P
Snack bar or refreshment stand contained within a building	P
Stamp and/or coin shop	P
Swimming pool supply store	P
Television, stereo, radio store, including sales and repair	P
Temporary uses as prescribed in Temporary Use Section	P
Theater, movie or live shows	C
Tire sales and service	C
Travel agency	P
Veterinary office and/or animal hospital	C
Video rental stores	A
Residential Use:	



Description	LAND USE DISTRICT - MU
Mixed-use residential units over commercial or attached to storefront use	P
Multi-Family attached units within the Village Core ¹	P
Public and Semi-public Uses:	
Day nursery, daycare school or nursery school (for-profit or non-profit)	C
Educational institution	C
Essential public services, including but not limited to: library, museum, park, public works facility, post office and other civic use as determined by the Zoning Administrator	C
Group care facility and/or residential retirement hotel	C
Hospital, medical care facilities	C
Libraries	P
Public safety facility such as police or fire station	A
Public utility and/or public service sub-station, reservoir, pumping plant and similar installation	C
Public or private recreational facilities, including but not limited to: tennis and swim clubs, basketball, racquetball and handball courts. Sites 2 acres or less in size are subject to Administrative review only	C/A
Other Community Purpose Facility uses per CVMC Chapter 19.48. (P-C – Planned Community Zone)	C/A
Home Occupations:	
Home occupations subject to the provisions of Home Occupations Section of these regulations	P
Other Uses:	
Unclassified uses (subject to Section 19.54 CVMC)	C
Accessory Uses	P

C. ACCESSORY USES AND BUILDINGS

Accessory uses and accessory buildings customarily appurtenant to a permitted use are allowed subject to the requirements of Section 19.58.020 CVMC – Uses: Accessory Buildings.

D. SIGN REGULATIONS

Sign regulations are provided in Section IX, Comprehensive Sign Regulations. All signage will also comply with the

¹ Residential parking may be located within adjacent mixed-use parcels, subject to Design Review Approval.



Village 8 East Planned Sign Program that shall be prepared subsequent to SPA Plan approval.

E. PROPERTY DEVELOPMENT STANDARDS

The property development standards that shall apply to all land and buildings permitted in the Village Core Districts shall be those indicated on an approved Design Review application pursuant to Section 19.14.420 *et. seq.* CVMC (Site Plan and Architectural Approval Purpose – Prerequisite for Certain Uses).

An approved Master Precise Plan, the contents of which are to be determined by the Zoning Administrator, will be required for all areas in the Village Core. The Master Precise Plan shall be prepared for the entire village core area and updated with each significant new project. This Master Precise Plan will establish specific design districts within the village core and may further limit the location of certain uses (*e.g.*, fast food, auto repair, *etc.*). This Master Precise Plan shall be prepared in accordance with the Village 8 East SPA Plan, Village Design Plan and City standards.

F. STREET PARKING & LOADING FACILITIES

The requirements for off-street parking and loading are provided in Section VII.

G. OUTDOOR STORAGE

Except where otherwise approved on a site plan, outdoor storage and/or sales areas shall be entirely enclosed by solid walls not less than six feet in height to adequately screen outdoor storage areas. Stored materials shall not be visible above the required walls.

H. TRASH STORAGE

1. All projects shall conform to the City's "Recycling and Solid Waste Planning Manual (Section 19.58.340 CVMC – Uses: Recycling and Solid Waste Storage).
2. Trash areas shall be kept neat and clean.
3. The precise location of any trash area(s) shall be approved on the site plan.



4. The trash enclosure shall be permanently maintained.

I. WALL REQUIREMENTS

A six-foot high minimum solid masonry wall subject to the provisions of Section 19.58.150 CVMC (Uses: Fences, Walls and Hedges) may be erected along the property line to separate any village core district from adjacent residential districts unless it is determined that such a wall is not necessary or another design is more appropriate on an approved site plan.

Noise barriers in excess of eight and one half feet (8.5') in height shall consist of a wall and berm combination. The wall height in this combination barrier shall not exceed eight and one half feet with the remaining portion of the overall height constructed through berming.

J. LANDSCAPE

Required front and street side yards shall be landscaped. Said landscaping shall consist predominantly of plant materials except for necessary walks and drives. All planting and irrigation shall be in accordance with the City Landscape Manual and Landscape Water Conservation Ordinance. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris.

K. PERFORMANCE STANDARDS

1. Commercial within Village Core zoning districts shall comply with the provisions of Chapter 19.66 Performance Standards and Chapter 19.68 Performance Standards and Noise Control, CVMC.
2. All ground mounted mechanical equipment, including heating and air conditioning units, shall be completely screened from public view and surrounding properties by use of a wall or fence, or shall be enclosed within a building. No material or equipment so screened shall have a height greater than that of the enclosing wall, fence or building. Structural and design plans for any screening required under the provisions of this section shall be approved by the Zoning Administrator.



3. All roof appurtenances including, but not limited to, air conditioning units, and mechanical equipment shall be shielded and architecturally screened from view from on-site parking areas, adjacent public streets and residential uses within the Village Core.
4. Reciprocal ingress and egress, circulation and parking arrangements shall be required to facilitate the ease of vehicular movement between adjoining properties.
5. All light sources shall be shielded in such a manner that the light is directed away from streets or adjoining properties. Illuminators should be integrated within the architecture of the building. The intensity of light at the boundary of any Village Core District shall not exceed seventy-five foot-lamberts from a source of reflected light.
6. All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed to public view except where required by utility provider. Pad mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment such as berms, walls and/or landscaping.
7. There shall be no emission on any site, for more than one minute in any hour, of air contaminants which, at the emission point or within a reasonable distance of the emission point, are as dark or darker in shade as that designated as No. 1 on the Ringelman Chart as published by the United States Bureau of Mines Information Circular #7718.
8. No use shall be permitted which creates odor in such quantities as to be readily detectable beyond the boundaries of the site.
9. Buildings should be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to



minimize energy consumption, including but not necessarily limited to the following conservation measures:

- Co-generation
 - South facing windows
 - Eave coverage for windows
 - Earth berming against exterior walls
 - Deciduous shade trees on southerly or westerly orientations
 - Refer to the Village Design Plan for additional design guidelines and criteria
10. All development shall be reviewed and required to conform to the Development and Redevelopment Projects Storm Water Management Standards/ Requirements of the City of Chula Vista.
11. Pursuant to the California Green Building Standards Code Section A5.106.4.3, the project is to provide changing/shower facilities per the following requirements. For buildings with over 10 tenant-occupants, provide changing/shower facilities for tenant-occupants only in accordance with Table A5.106.4.3 (below) or document arrangements with nearby changing/shower facilities.



Number of Tenant Occupants	Shower/Changing Facilities Required	2 Tier (12" x 15" x 72") Personal Effects Lockers Required^{1 & 2}
0–10	0	0
11–50	1 unisex shower	2
51–100	1 unisex shower	3
101–200	1 shower stall per gender	4
Over 200	1 shower stall per gender for each 200 additional tenant-occupants	One 2-tier locker for each 50 additional tenant-occupants
<p>^{1.} One 2-tier locker serves two people. Lockers shall be lockable with either padlock or combination lock.</p>		
<p>^{2.} Tenant spaces housing more than 10 tenant occupants within buildings sharing common toilet facilities need not comply; however, such common shower facilities shall accommodate the total number of tenant occupants served by the toilets and include a minimum of one unisex shower and two 2-tier lockers.</p>		

Reference: CALGreen Table A5.106.4.3

THIS PAGE INTENTIONALLY LEFT BLANK

V. Open Space & Parks District



A. PURPOSE

This district is intended for open space, landscaping, recreation and public uses within the development area (outside of the Otay Ranch Preserve). Only those additional uses which are complementary to, and can exist in harmony with open space, park and recreation uses are permitted. There is no lot size limitation and it is intended that this district may be applied to a portion of a lot, provided that the remainder of the lot meets the requirements of the district for which it is designated.

The Open Space/Park District is included in the Planned Community District Regulations to achieve the following purposes:

1. Provide focal points for community and neighborhood activities.
2. Provide for public/quasi-public and recreational uses.
3. Promote natural community linkages among Otay Ranch villages and the University.
4. Preserve, enhance and manage natural resources.
5. Preserve vistas and conserve viewpoint areas for the enjoyment of future generations.
6. Establish edges to help define communities.
7. Promote public health and safety.
8. Provide recreation and public use opportunities, such as trails and pathways.

B. PERMITTED & CONDITIONAL USES

The matrix of land uses below indicates the relative permissive status using the following symbols:

“P”= Permitted.

“C” = Permitted subject to Conditional Use Permit

“A” = Permitted subject to Administrative approval.

“N” = Use Not Permitted.



Table 8 Permitted Use Matrix - Open Space/Park Districts

	LAND USE DISTRICT		
	P	OS-1	OS-2
Agricultural Uses:			
All types of horticulture	A	A	N
Arboreta - horticultural garden	A	A	N
Agricultural corps	A	A	N
Bicycle and Pedestrian Trails and Associated Signage	P	P	A
Community gardens	A	A	N
Public and Semi-public Uses:			
Essential public services, including but not limited to: schools, libraries, museums, public libraries, public works facilities, cultural arts, interpretive centers and other civic uses	A	N	P*
Facilities per Parks, Recreation, Open Space and Trails Master Plan	P	P	P
Commercial recreation	C	N	N
Unclassified uses	N	N	N
Temporary uses as prescribed in Section IX	P	N	N
Incidental concessions	A	N	N

* Essential public facilities permitted per requirements of Chula Vista MSCP Subarea Plan, including planned and future facilities. Schools, Libraries, public works facilities, cultural arts and other civic uses are considered non-utility uses and are not permitted.

C. PROPERTY DEVELOPMENT STANDARDS

1. Site Planning

All development proposals in the Open Space/Park District shall be reviewed on a case-by-case basis to determine appropriate buffering and setbacks. All permanent signs, including any required signs (such as monument and dedication signage, *etc.*), shall be included in the review and specifically approved. Neighborhood and community-level signs included in the Village 8 East SPA Plan shall be permitted in areas designated in the SPA Plan. Trail signage shall meet the requirements of the Greenbelt Master Plan.

2. Landscaping

All landscaping shall meet the requirements of the City of Chula Vista Landscape Manual and the Chula Vista Landscape Water Ordinance.



3. Accessory Uses & Buildings

Accessory uses and accessory buildings customarily appurtenant to a permitted use are allowed subject to the requirements of Chapter 19.58 CVMC (Uses).

D. PERFORMANCE STANDARDS

All uses in the Open Space/Parks district shall conform to the performance standards provided in Chapter 19.66 (Uses: Performance Standards) and 19.68 (Uses: Performance Standards and Noise Control) CVMC and other pertinent City ordinances and policies.

- Hiking and biking trails and related facilities, including signage, are permitted within the P and OS-1 land use districts and are permitted, subject to Administrative Approval, in the OS-2 land use district.
- All uses within the “P” land use district shall be subject to compliance with the following:
 - Village 8 East SPA Plan, Chapter V, Parks, Recreation, Open Space and Trails Master Plan
 - City of Chula Vista Park Master Plan
 - Village 8 East Preserve Edge Plan for parks located adjacent to the MSCP
- Signage shall be provided in areas adjacent to the MSCP to the satisfaction of the Development Services Director and/or Preserve Owner Manager.

THIS PAGE INTENTIONALLY LEFT BLANK

VI. Community Purpose Facility Sites



A. PURPOSE

The City of Chula Vista Municipal Code Section 19.04.055 (Definitions: Community Purpose Facility) defines “Community Purpose Facility” as “...a structure or site for certain non-profit assembly, or recreation purposes, as well as ancillary uses such as a parking lot within a planned community.”

CPF sites shall be developed pursuant to the provisions in CVMC Section 19.48.025. Any proposal to satisfy the CPF requirements in any manner other than the provision of land designated for CPF uses on the Zoning Districts Map (Exhibit 1), shall comply with the Alternative Compliance provisions of CVMC Section 19.48.025. Any proposal to reduce the amount of CPF required shall be subject to the Extraordinary Public Benefit provisions of CVMC Section 19.48.025.

B. PERMITTED & CONDITIONAL USES

The matrix of land uses below indicates the relative permissive status using the following symbols:

- “P”= Permitted.
- “C” = Permitted subject to Conditional Use Permit
- “A” = Permitted subject to Administrative approval.
- “a” = Permitted accessory use to a permitted or conditional use.
- “N” = Use Not Permitted.

Table 9 – Permitted Use Matrix Community Purpose Facility District

Use	Land Use District - CPF
Public and Semi-Public Uses:	
Recreation facilities (i.e. private swim clubs and parks) owned and maintained by non-profit organizations serving the local community (i.e. Little League ballfields)	P
Community Meeting Facilities	C
Day nursery, daycare school or nursery school (for-profit)	C
Day nursery, daycare school or nursery school (non-profit)	C
Educational Institution	C
Essential public services, including but not limited to, library, museum, public works facility, post office and other civic uses as determined by the Zoning Administrator	A
Group facility and/or residential retirement hotel	C
Public safety facility such as a police or fire station	A
Public utility and/or public service sub-station, reservoir, pumping plant and similar installation, except those regulated by the State of California	A



Use	Land Use District - CPF
Worship, spiritual growth and development	C
Schools ancillary to uses below:	
Senior care and recreation	P
Social and human services	C
Services for the homeless	C
Services for the military	C
Worship, spiritual growth and development	P
Youth organizations	C
General Commercial Uses:	
Recycling drop-off center	a
Snack bar or refreshment stand contained within a building	a
Temporary uses as described in "Temporary Use Section:	P
Theater, movie or live show	A

C. PROPERTY DEVELOPMENT STANDARDS

Property Development Standards for Community Purpose Facility sites shall be determined through the design review process.

D. PERFORMANCE STANDARDS

1. Front and street side yards shall be landscaped. Said landscaping shall consist predominately of plant materials except for necessary walks and drives. All planting and irrigation shall be in accordance with the City's Landscape Manual and the Landscape Water Conservation Ordinance. All landscaping shall be maintained in a healthy thriving condition, free from weeds, trash and debris.

2. All ground mounted mechanical equipment, including heating and air conditions units and trash receptacle areas, shall be completely screened from surrounding properties by a wall or fence, or shall be enclosed within a building. No material or equipment so screened shall have a height greater than the enclosing wall, fence or building. Structural and design plans for any screening required under the provisions of this section shall be approved by the Development Services Director.

3. All roof appurtenances including, but not limited to, air conditioning units, and mechanical equipment shall be shielded and architecturally screened from



view from on-site parking areas, adjacent public streets and residential uses within the Village Core.

4. Reciprocal ingress and egress, circulation and parking arrangements shall be required to facilitate the ease of vehicular movement between adjoining properties.
5. All light sources shall be shielded in such a manner that the light is directed away from streets or adjoining properties. Illuminators should be integrated within the architecture of the building, wherever possible.
6. All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility providers. Pad mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment.
7. Except where otherwise approved on a site plan, outdoor storage areas shall be entirely enclosed by solid walls not less than six (6) feet in height to adequately screen outdoor uses. Stored materials shall not be visible above the required walls.
8. No use shall be permitted which creates odor in such quantities as to be readily detectable beyond the boundaries of the site.
9. Buildings shall be located to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption through the placement of windows, eave coverage, dual glazing and insulation.
10. Criteria and standards for design and hours of operation shall be addressed during review of the Conditional Use Permit, when required, and/or the Site Plan.
11. Parking spaces for electric carts and bicycle rack spaces may be required and will be determined during Design Review.



Alternative Compliance is subject to the discretion of the Development Services Director and recommendation from the Planning Commission. An alternative compliance mechanism (e.g. providing square footage within a building that will accommodate CPF uses or constructing a facility for CPF uses) may be approved, provided such alternative mechanism meets all the requirements of CVMC Section 19.48.025.

VII. Parking Regulations



A. PURPOSE

All regulations set forth in this section are for the purpose of providing convenient parking spaces for vehicles. The parking requirements of this Section are to be considered as the minimum necessary for such uses permitted by the respective zone.

The intent of these regulations is to provide adequately designed parking areas with sufficient capacity and adequate circulation to minimize traffic congestion and promote public safety. It shall be the responsibility of the developer, owner, or operator of the specific use to provide and maintain adequate parking.

B. GENERAL PROVISIONS

1. On-street parking shall comply with the requirements of the Chula Vista Municipal Code. Should the City standards not adequately address on-street parking, particularly in terms of maintaining access for public safety on private streets and drives, special requirements shall be determined through site plan review and approved by the City Engineer.
2. Off-street parking facilities, for both motor vehicles and bicycles, shall be provided for any new building constructed, for any new use established, for any addition or enlargement of an existing building or use, and for any change in the occupancy of an existing building.
3. For additions or enlargement of any existing building or use, or any change of occupancy or manner of operation that would increase the number of parking spaces required, the additional parking spaces shall be required only for such addition, enlargement, or change and not for the entire building or use, unless required as a condition of approval of a Conditional Use Permit.
4. When possible, the required parking facilities needed for any development shall be located on the same site. If an irrevocable access and/or parking easement is obtained, the parking may be on an adjacent site (i.e. residential parking may be located within an adjacent mixed-use parcel as shared parking). Property within the ultimate right-of-way of a street or highway may be used to provide required parking loading or unloading facilities, subject to Design Review



5. The requirements of this ordinance shall apply to temporary as well as permanent uses.
6. All required off-street parking spaces shall be designed, located, constructed and maintained as fully usable during workday periods or as needed by the use of the premises.
7. The parking requirement for uses not specifically listed in the matrix shall be determined by reference to CVMC Chapter 19.62 (Off-Street Parking and Loading), or if not included therein, the approving authority may determine the parking requirement for the proposed use on the basis of requirements for similar uses, and on any traffic engineering and planning data that is appropriate to the establishment of a minimum requirement.
8. In situations where a combination of uses is developed on a site, parking shall be provided for each of the uses on the site according to the schedule given in this section.
9. A maximum of 25 percent of the parking spaces required on any site may be provided as “compact” spaces for non-residential uses, subject to the approval of the Planning Commission (Major Design Review) or the Zoning Administrator (Minor Design Review).
10. The design of parking spaces and lots shall comply with the City of Chula Vista’s adopted parking table (PL-30) which establishes stall sizes relative to parking angle and aisle width.
11. Where the application of these schedules results in a fractional parking space, the fraction shall be rounded to the higher whole number.
12. All parking facilities required by this section shall be maintained in good operating condition for the duration of the use requiring such facilities. Such facilities shall be used exclusively for the parking of vehicles. Parking facilities shall not be used for the storage of merchandise, or, for the storage or repair of vehicles or equipment. Parking facilities shall not be used for the sale of merchandise, except on a temporary basis, pursuant to the Temporary Uses and Special Events section of these regulations.



13. For short term bicycle parking, permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5 percent of visitor motorized vehicle parking capacity, with a minimum of one two-bike capacity rack will be provided, (CalGreen Section 5.106.4.1)

14. For long term bicycle parking for buildings with over 10 tenant-occupants, five percent of tenant-occupant motorized vehicle parking capacity shall be provided as secure bicycle parking, with a minimum of one space. (CalGreen Section 5.106.4.2) Acceptable parking facilities shall be convenient from the street and may include, but not be limited to:
 - Covered, lockable enclosures with permanently anchored racks for bicycles;

 - Lockable bicycle rooms with permanently anchored racks; and

 - Lockable, permanently anchored bicycle lockers



C. SCHEDULE OF OFF-STREET PARKING REQUIREMENTS

The off-street parking requirements are shown in the following table:

Table 10 - Off-Street Parking Requirements

Land Use	Minimum Off-Street Parking Required¹
Administrative and Professional Services	1 space/300 square feet of gross floor area; minimum of 4 spaces. 5 bicycle spaces for over 20,000 square feet of gross floor area
Commercial – General and Shopping Center Uses except as noted below:	1 space/200 square feet of gross floor area. 1 bicycle space/33 automobile spaces required
Eating and drinking establishments	1 space/each 2.5 seats or 1 space/50 square feet of seating area where there are no fixed seats. 2 bicycle spaces.
Fast food restaurants with drive-in or drive through	1space/each 7 seats plus 1 space per employee, minimum 15 spaces and an on-site queue line for at least eight (8) vehicles when drive through is included. 5 bicycle spaces.
Gasoline dispensing and/or automotive service stations	2 spaces plus four (4) for each service bay.
Appliance and/or furniture stores	1 space/600 square feet of gross floor area.
Hotels and motels	1 space per unit plus 1 space for every 25 rooms or portion thereof provided on the same lot.
Auto and/or truck sales	1/10 the car storage capacity of the facility.
Medical and dental offices or clinics, veterinary offices or clinics	1 space/200 square feet of gross floor area; minimum of 5 spaces. 2 bicycle spaces.
Mixed Use Commercial	To be determined during Design Review and approval based on specific uses, per Zoning Ordinance standard parking requirements.
Commercial recreation facilities:	Automobile spaces as listed below. 1 bicycle space/33 automobile spaces.
Bowling alleys, billiard halls	5 spaces/alley plus 2 for each billiard table plus required parking for other uses on the site.
Commercial stables	1 space/5 horses boarded on-site.
Driving range (golf)	1 space/tee plus required parking for any other uses on the site.
Miniature golf	3 spaces/hole plus required parking for any other uses on the site.

¹ Parking requirements may be reduced if joint parking arrangements are approved for “stacked land uses” and/or on street parking is granted via recorded agreements.



Land Use	Minimum Off-Street Parking Required¹
Skating rinks	1 space/100 square feet of gross floor area.
Tennis, handball and racquetball facilities	3 spaces/court plus required parking for any other uses on the site.
Theaters: Motion picture	1 space/3.5 seats
Playhouse	1 space/3.5 seats

Educational Institutions, Public or Private:

Elementary and middle school	1 space per employee, plus 5 spaces
Senior high school	1 space per 4 students
Colleges and vocational schools	0.5 spaces/faculty member and employee plus 1 space/3 students
Places of public assembly including places of worship.	1 space/3.5 seats within the main auditorium or 1 space/45 square feet of gross floor area within the main auditorium where there are no fixed seats

Manufacturing Uses:

Manufacturing	1 space per 1.5 employees or 1 space/800 square feet of gross floor area devoted to manufacturing plus the required parking for square footage devoted to other uses, whichever is greater. Ten (10) percent of the spaces provided must be designed for use by carpools.
Research and Development	1 space/300 square feet of gross floor area. Ten (10) percent of the spaces provided must be designed for use by carpools.
Storage	1 space/1,000 square feet of gross area for the first 20,000 square feet devoted to storage plus the required parking for square footage devoted to other use. 1 space/2,000 square feet for the second 20,000 square feet. 1 space/4,000 square feet for area in excess of 40,000 square feet.

Parks:

Parks (public or private)	To be evaluated based on proposed facilities and determined by the Development Services Director and Public Works Director and Recreation Director
Recreational courts (tennis, handball, racquetball and others)	To be evaluated based on proposed facilities and determined by the of Development Services Director and Director of Recreation



Land Use	Minimum Off-Street Parking Required¹
-----------------	--

Public and Semi-Public Uses:

Day nurseries, daycare schools, nursery schools	1 space/staff member plus 1 space/5 children or 1 space/10 children if adequate drop off facilities are provided and designed to accommodate a continuous flow of passenger vehicles to safely load and unload children. The adequacy of proposed drop off facilities shall be determined by the Development Services Director and Director of Recreation
Public Utilities	To be determined by the Development Services Director

Residential:^{2,3}

SF-4	2 garage spaces/unit
RM-1 - Multi-Family Residential (detached)	2 garage spaces/unit + 1 on-street guest space/unit.
RM-1 - Multi-Family Residential (attached)	To be determined by Parking Study performed at Design Review Recommend 2 assigned spaces/unit (1 covered) and minimum 0.33 guest spaces/unit. Tandem garage spaces are permitted.
RM-2	1.0 spaces per studio 1.5 spaces per 1 bedroom unit 2.0 spaces per 2 bedroom unit 2.25 spaces per 3 bedroom unit or larger or as determined by Design Review Tandem spaces are permitted. Above requirements include 0.33 guest spaces/unit.
Senior, Congregate Care, or Affordable Housing	To be determined by Design Review. Tandem spaces are permitted. Parking requirements may be reduced for developments restricted to Affordable and Senior Citizens at the discretion of Planning Commission through a Conditional Use Permit procedure.

² See Property Development Standards (page 73) for parking space sizes.

³ Residential parking may be located within adjacent mixed-use parcels, subject to Design Review Approval.



Land Use Minimum Off-Street Parking Required¹

Handicapped Parking Requirements

Handicapped parking for residential uses shall be provided at the rate of one space for each dwelling unit that is designed for occupancy by handicapped persons.

Handicapped parking spaces shall be provided for all uses other than residential at the following rate:

Number of Parking Spaces Provided	Number of Handicapped Spaces Required
1 – 25	1
26 – 50	2
51 – 75	3
76 – 100	4
101 – 150	5
151- 200	6
201 – 300	7
301 – 400	8
401 – 500	9
501 – 1000	2% of total
1,001 and over	20 plus 1/100 spaces provided over 1,000

Handicapped parking spaces required by this section shall count toward fulfilling automobile parking requirements.

Bicycle Parking Requirements

The following matrix contains the minimum bicycle parking requirements. Only those uses identified in the matrix are required to install bicycle parking. Bicycle parking facilities shall be stationary storage racks or devices designed to secure the frame and wheel of the bicycle. If not specified by use, the number and location to be determined during Design Review.

Mixed Use, Community Purpose Facility and Multi-family Residential	Must be consistent with CALGreen Bicycle Parking requirements. Exact number and location to be determined through Design Review
--	---

Motorcycle Off-Street Parking Requirements

Motorcycle parking shall be provided for all uses except residential at the following rate:

Uses with 25 to 100 automobile parking spaces	1 motorcycle space
Uses with more than 100 automobile parking spaces	1 motorcycle space for every 100 automobile spaces
Motorized Cart Spaces	To be determined during Design Review and approval based on specific uses.



D. PROPERTY DEVELOPMENT STANDARDS

The following property development standards shall apply to all parking areas:

The following are minimums unless otherwise stated:

Residential

a. Standard

- Covered in a garage or carport – 10' x 20' each space
- Uncovered – 9' x 19' each space

b. Compact parking space 8' x 18'

Motorcycle parking space 4' x 8'

Bicycle parking space 2' x 6'

Automobile, handicapped, motorcycle, and bicycle: All parking stalls and maneuvering areas shall be paved and permanently maintained with asphalt, concrete or any other all-weather surfacing approved by the Zoning Administrator and subject to current City standards.

Motorized cart parking space dimensions shall be determined during Design Review.

Striping and Identification

- a. Automobile: All parking stalls shall be clearly outlined with double lines on the surface of the parking facility.
- b. Handicapped: All handicapped spaces shall be striped and marked according to the applicable State standards.
- c. Motorcycle: All motorcycle spaces shall have bollards installed and appropriately spaced to prevent automobile usage of the motorcycle area. Motorcycle spaces shall be marked so that they can be clearly identified for motorcycle usage.
- d. Bicycle: All bicycle spaces shall be clearly identified.



- e. Motorized carts: All motorized cart spaces shall be clearly identified and striped.

E. PERFORMANCE STANDARDS

1. Parking Screening Requirements

Off-street parking areas for more than five vehicles shall be effectively screened by a ten-foot wide landscaped strip and a masonry wall or fence of acceptable design. Such wall or fence shall be not less than three and one-half feet or more than six feet in height and shall be maintained in good condition without any advertising thereon. The requirements specified herein may be eliminated in whole or in part where, in the opinion of the Zoning Administrator, such requirements are not necessary for the proper protection of abutting property because of substantial grade differentials, the existence of adequate walls or other equally valid reasons.

2. Parking Area Landscaping

- a. Parking areas shall be landscaped in accordance with the City's landscape manual, the Village 8 East Design Plan and Master Landscape Plan.
- b. Any unused space resulting from the design of the parking area shall be used for landscaping purposes, if determined to be of appropriate size and location. Refer to the Village 8 East Design Plan for additional guidelines relating to parking lot landscaping.
- c. All landscaped parking lot islands shall have a minimum inside dimension of three feet and shall contain a twelve inch wide walk adjacent to the parking stall and be separated from vehicular areas by a six inch high by six inch wide concrete curb.
- d. All landscaped areas shall be irrigated automatically and kept in a healthy and thriving condition free from weeds, debris and trash.
- e. A minimum of one tree shall be provided for every 10 parking spaces within the parking lot landscaping (exclusive of required setback area landscaping). Said parking lot trees shall be evenly distributed throughout the



parking lot and in no case shall the trees be further than 100' apart. Parking lot design shall conform to the City's Shade Tree Policy.

3. Parking Area Lighting

- a. Lighting of all developed areas adjacent to the Preserve should be directed away from the Preserve, wherever feasible while meeting public safety requirements. Where necessary, development should provide adequate shielding with noninvasive plant materials (preferably native), berming, and/or other methods to protect the Preserve and sensitive species from night lighting. Consideration should be given to the use of low-pressure sodium lighting.
- b. All parking facilities shall have lighting in accordance with City of Chula Vista standards. The lighting shall be designed and installed to confine direct rays to the site. Parking lot lights shall be a maximum height of eighteen feet from the finished grade of the parking surface and directed away from the property lines.

4. Parking Area Front Setback

No part of any front yard or exterior side yard (*i.e.*, street side of a corner lot) shall be used for off-street parking or access, except driveways, unless authorized by the Zoning Administrator, pursuant to an approved site plan.

VIII. Comprehensive Sign Regulations



A. PURPOSE

The provisions of this Section shall establish the Comprehensive Sign Regulations. It is the purpose of these provisions to establish a comprehensive system for the regulation of on-site and off-site signs. These sign regulations are intended to achieve the following:

1. Protect the general public health, safety and welfare of the community by reducing possible safety and traffic hazards through good signage.
2. Direct people to various activities and uses in order to provide for maximum public convenience.
3. Provide a reasonable system of regulations that ensure the development of a high quality visual environment.
4. Encourage signs which are well designed and pleasing in appearance.
5. Encourage a desirable visual character which has a minimum of clutter and is compatible with the desired character of the community.
6. Enhance the economic value of the community and each development area through the regulation of such elements as size, number, location, design and illumination of signs.
7. Encourage signs which are well located and compatible with the function and use of adjacent areas.
8. Encourage a sign program with a consistent theme, which visually complements and blends with the landscape program.
9. Discourage proliferation of non-conforming signs which can be a visual blight to neighborhoods.

These Comprehensive Sign Regulations are intended to supplement the provisions of Chapter 19.60 of the Chula Vista Municipal Code (Signs). Signs which are permitted under the CVMC which are not expressly prohibited by this Section II.3.9 shall be permitted. Similarly, signs which are prohibited under the CVMC, unless expressly permitted herein shall be prohibited.



B. PERMIT REQUIREMENTS AND REVIEW PROCEDURES

No person, except a public officer or employee in performance of a public duty, shall post, paint, erect, place or otherwise fasten any sign, pennant or notice of any kind, visible from a public street except as provided herein. To ensure compliance with this section, a sign permit shall be required for any sign, pursuant to Sections 19.60.020 (Signs: Balancing) and 19.60.030 (Signs: Intent) of the Chula Vista Municipal Code, except as provided in these PC Regulations.

Any sign, monument, tablet, plaque or markers which are over 42 inches high and located within a public street right-of-way, or within a front yard or exterior side yard setback area as defined in the PC District Regulations, must have approval of the Zoning Administrator and City Engineer to ensure that architectural, pedestrian and vehicle access and safety issues are addressed.

A building permit is required for every sign, including those exempt from obtaining a sign permit. Building permits for signs must comply with all SPA signage regulations.

A Planned Signage Program shall be provided for the business park, commercial, mixed use, community purpose facility and multi-family land uses in accordance with these PC District Regulations.

1. Sign Permit Exception

The following signs shall be exempt from the sign permit requirements, however, an electrical and/or building permit may be required pursuant to the CVMC:

- a. Real estate signs for residential sales: No more than one sign for interior lots and two for corner lots (one sign per street frontage) not exceeding four (4) square feet in area and four and one-half (4-1/2) feet in height, provided it is unlit and is removed within fifteen (15) days after the close of escrow. Signs placed on the rear street frontage are prohibited. No more than five (5) off-site "Open House" signs not exceeding four (4) square feet in area and five (5) feet in height are permitted for directing prospective buyers to property offered for sale and must be removed on the same day as placed. Signs shall be located a minimum of three (3) feet from the sidewalk or 10 feet from the curb or edge of pavement, where no sidewalk exists.



- b. Temporary construction sign sites: Two (2) directory signs shall be permitted on the construction listing all contractors (may include financial institutions, real estate agents, subcontractors, etc.) not exceeding thirty-two (32) square feet each, unless legally required by government contracts to be larger. No sign shall exceed eight (8) feet in overall height and shall be located no closer than ten (10) feet to any property line. Such sign shall be removed upon the granting of occupancy by the City.
- c. Permanent window signage: may not exceed 20% of the window area of a commercial business frontage and is limited to the name of the business, service, or use, hours of operation, address and emergency information, except exposed neon tubing signs advertising products for sale on the premises, are permitted as permanent signs.
- d. Temporary advertising signage: Signs painted on the window or constructed of paper, cloth, or similar expendable material affixed on the window, wall or building surface, provided that all of the following conditions are met:
 - The total area of such signs shall not exceed twenty-five (25) percent of the window area; however, in all cases, twelve (12) square feet per business frontage is permitted.
 - Such signs shall be affixed to the surface for no more than thirty (30) continuous calendar days but for not more than sixty (60) days each calendar year, to promote a particular event or sale of product or merchandise.
 - Future tenant identification sign: Future tenant identification signs may be placed on vacant or developing property to advertise the future use of an approved project on the property and where information may be obtained. Such signs shall be limited to one (1) per fronting street and to a maximum of ninety-six (96) square feet in area and twelve (12) feet in overall height each. Further, such signs shall be placed no closer than ten (10)



feet to any property line. Any such sign shall be removed upon finalization of building permits. Where a project has in excess of 600 lineal feet of frontage, one additional sign for each 600 lineal feet is allowed.

2. Prohibited Signs and Lighting

All signs not expressly permitted are prohibited in all zones, including but not limited to the following:

- a. Roof signs.
- b. Flashing lights or signs.
- c. Animated signs or lights that convey the illusion of motion.
- d. Revolving or rotating signs.
- e. Vehicle signs (when parked or stored on property to identify a business or advertise a product).
- f. Portable signs (except where permitted in this section).
- g. Off-site signs (except temporary subdivision or real estate signs and political signs).
- h. Signs within the public right-of-way (except those required by a governmental agency). No sign shall be placed, erected or constructed on a utility pole, traffic device, traffic sign, warning sign, or so as to impede access to any public improvement, or to obstruct the vision of any such signs.
- i. Signs located on public property except as may be permitted in these regulations or required by a governmental agency.
- j. Signs within the public right-of-way prohibited by the Streets and Highway Code (Sec. 101 et. seq. and Sec. 1460 et. seq), the Vehicle Code (Sec. 21400 et. seq.) and the Public Utilities Code (Sec. 7538 et. seq.).
- k. Signs blocking doors or fire escapes.



- l. External light bulb strings and exposed neon tubing outside of building (except for temporary uses such as Christmas tree lots, carnivals and other similar events with prior approval of the City).
- m. Inflatable advertising devices of a temporary nature, including hot air balloons (except for special events as provided for in these regulations).
- n. Advertising structures including billboards (except as otherwise permitted in these regulations).
- o. Statuary (statues and sculptures) advertising products or logos of the business located outside of the structure that houses the business.
- p. Flags, pennants and banners as defined in Section 19.60.060 CVMC – Signs: Definitions (except those approved as temporary special event or promotional signs).
- q. Freestanding signs mounted on poles exceeding 10 feet in total height.
- r. The use of decals, stick-on or transfer letters, or tape on the walls of parapets of buildings, fences, walls or other structures.
- s. Reader board/changeable copy signs, either electronic or non-electric except as permitted in this Section.
- t. Signs displayed as an imitation or to resemble official traffic warning devices or signs, that by color, location or lighting may confuse or disorient vehicular or pedestrian traffic. This does not include traffic or directional signs installed on private property to control on-site traffic.

3. Signs Relating to Inoperative Activities

Signs pertaining to activities or businesses which are no longer in operation, except for temporary closures for repairs, alteration or similar situations, shall be removed from the premises or the sign copy shall be removed within thirty (30) days after the premises have been vacated. Any such sign not removed within the



specified time shall constitute a nuisance and shall be subject to removal under the provisions of these regulations and local ordinance.

4. Enforcement, Legal Procedures and Penalties

Enforcement, legal procedures and penalties shall be in accordance with the enforcement procedures established by Chapter 19.06 (General Plan) of the Chula Vista Municipal Code. Unauthorized illegal signs may be abated by the City in accordance with local ordinance. If said sign is stored by the City, the owner may recover said sign from the City upon payment to the City of any storage and/or removal charge incurred by the City. The minimum charge shall be no less than three dollars (\$3.00) per sign. All signs removed by the City may be destroyed thirty (30) calendar days following removal. If any sign, in the opinion of the Development Services Director/Zoning Administrator, is an immediate threat to public health and safety, said sign shall be immediately and summarily removed with the cost of said removal charged to the property owner in accordance with local ordinances.

5. Construction and Maintenance

Every sign and all parts, portions and materials shall be manufactured, assembled and erected in compliance with all applicable State, Federal and City regulations and the Uniform Building Code.

Every sign and all parts, portions and materials shall be maintained and kept in proper repair and safe structural condition at all times. The display surface of all signs shall be kept clean, neatly painted and free from rust and corrosion. Any cracked or broken surfaces and malfunctioning or damaged portions of a sign shall be repaired or replaced within thirty (30) calendar days following notification of the business by the City. Noncompliance with such a request will constitute a nuisance and will be abated. Any maintenance, except a change of copy, which does not involve structural change, is permitted.

C. SIGN REGULATION

Sign permits may be issued for signs included under this Section, provided the signs are in compliance with all other applicable laws and ordinances.



1. Signs Permitted in Any Land Use District

The following signs may be permitted in any land use district and are subject to the provisions listed below:

- a. **Convenience Signs:** On-site signs no greater than four (4) square feet necessary for public convenience or safety may be approved by the Development Services Director or his designee. Signs containing information such as “entrance,” “exit,” or directional arrows shall be designed to be viewed from on-site or from an area adjacent to the site by pedestrians or motorists. Signs that convey advertising or products shall not be considered a convenience sign.
- b. **Public and Quasi-Public Signs:** Places of worship, schools, community centers and any other public or institutional building, on any mixed use, community purpose facility, school, park or residential district, shall be allowed signs as provided by Section 19.60.595 (Signs: Other Zones) of the Chula Vista Municipal Code.
- c. **Special Event Signs:** Special Event signs may be approved for a limited period of time as a means of publicizing special events such as grand openings, new management, inventory sales, Christmas tree lots, parades, rodeos, and fairs that are to take place within the community. No more than four off-site signs up to thirty-two square feet in size and eight feet in height are allowed. Such signs shall be consistent with the provisions for temporary signs as described by the Chula Vista Municipal Code Section 19.60.500 (Signs: Sign Rules - All Commercial Zones).
- d. **Temporary On-Site Subdivision Signs:**
- e. One (1) temporary, on-site subdivision sign not to exceed 64 square feet in total area for two (2) sides or 32 square feet for one (1) side and a total overall height of twelve (12) feet may be permitted on each Circulation Element street frontage of each neighborhood, not to exceed two (2) such signs per street at any one time.



- Such sign shall be for the identification of a subdivision, price information and the developer's name, address and telephone number.
 - Such signs shall be removed after thirty-six months. Twelve month extension requests may be submitted by the developer for consideration by the Zoning Administrator prior to the expiration date.
 - Such signs shall be removed within ten (10) calendar days from the date of the final sale of the land and/or residences.
 - Signs shall be maintained in good repair at all times by the applicant developer or property owner.
- f. Off-Site Subdivision Directional Sign: Directional signage to subdivision development projects located off-site shall comply with the City of Chula Vista Kiosk Sign Program, pursuant to CVMC Section 19.60.450 (Signs: P-C Zone). The provisions of this program address the location, size and design of kiosk structures and panels, administration, maintenance and removal of such signage. It is intended to provide a uniform, coordinated method for directional signage to residential projects in the City of Chula Vista east of Interstate 805.
- g. Each sign may contain the name of the subdivision and directional arrow.
- Any sign approved for a particular subdivision within the Villages shall not be changed to another subdivision without prior approval of the Development Services Director/Zoning Administrator.
 - No other directional signage may be used, including posters, portable signs, vehicle signs, trailer signs or temporary subdivision signs.



- Said signage shall be allowed until the units within the subdivision are sold out, or a period of twenty-four months, whichever comes first. Extensions of twelve (12) months may be approved by the Development Services Director/Zoning Administrator.
- The placement of each sign structure and its copy shall be reviewed and approved by the Development Services Director or his/her designee.

2. Commercial, Community Purpose and Multi-Family Signs:

A Planned Signage Program is required to be approved concurrently with or as a condition of approval of the Site Plan and Design Review for commercial, mixed use, community purpose facility and multi-family residential land uses. The purpose of the program is to integrate signs with the proposed architectural and landscaping design guidelines. This shall be achieved by requiring signs that:

- Use the same background color.
- Utilize no more than three different colors per sign for lettering.
- Utilize consistent structural support and materials for signs.
- Utilize a landscape setting, logos, color scheme or other methods consistent with the SPA Plan and approved by the Zoning Administrator to convey a unique theme.
- Use the same form of illumination for all signs, or by using varied forms of illumination determined to be compatible by the Zoning Administrator.
- Vary from the above standards if the signage can be determined by the Zoning Administrator to be compatible with the surrounding community character.



The planned signing program must comply with the above criteria. Some reference is made to the Chula Vista Municipal Code. Where there is a conflict, these regulations shall take precedence.

D. MIXED USE/COMMERCIAL

1. Types and Numbers of Permitted Signs:

Two ground or monument signs identifying the name of the mixed use center and no more than two anchor tenants. Monument signs for individual businesses are not permitted.

One wall or marquee sign per street frontage, identifying the mixed use center and each individual tenant, consistent with Section 19.60.530 CVMC (Signs: Neighborhood Commercial). Marquee signs are limited to use in conjunction with an entry to a suite of tenants.

One hanging sign per tenant per street frontage. Hanging signs, utilizing a decorative sign suspended from a structure above a walkway or sidewalk on a decorative horizontal pole or awning. These signs are attractive as an alternative or supplement to wall signs in pedestrian walkways. Where they are used, wall and other types of signage should be reduced an equivalent amount to reduce sign clutter.

2. General Size and Locations of Signs:

Sign sizes and locations are regulated pursuant to Section 19.60.530 CVMC (Signs: CN – Neighborhood Commercial Zone).

Ground or monument center identification sign maximum size is 50 square feet per side, and six feet in height. Sign locations are limited to one per street frontage.

Hanging sign maximum size is 12 square feet per side, but should not interfere with or obstruct pedestrians, vehicle site distance or required landscaping. Hanging signs are to be located near the public entrance.

The Master Precise Plan to be prepared for the Village Core will incorporate more detailed design criteria for the Mixed Use District.



E. COMMUNITY PURPOSE FACILITY

1. Types and Numbers of Permitted Signs:

- a. One ground or monument and one wall or marquee sign per street frontage, consistent with Section 19.60.595 CVMC (Signs: Other Zones).
- b. One non-illuminated, freestanding symbol.

2. General Size and Location of Signs:

- a. Size of signs or symbols not to exceed 6 feet in height or 32 square feet. Each sign face may not exceed 32 square feet.
- b. Locations pursuant to Section 19.34.040 CVMC (Signs: Other Zones) and limit of one sign per street frontage.

F. MULTI-FAMILY RESIDENTIAL

1. Types, Numbers, Size, and Locations of Permitted Signs:

- a. Ground or monument signs, wall signs, managers sign and vacancy signs pursuant to Section 19.60.410 CVMC (Signs: R-3 Zone) are permitted with the following exceptions:
- b. One ground or monument and one wall sign per street frontage is permitted.
- c. Ground/monument signs shall be a maximum of 24 square feet of sign face per side and a maximum of 4 feet in height.
- d. Separate vacancy signs are not permitted, but must be combined with monument or wall signs.
- e. Freestanding signs are not permitted.

G. TRAIL, PRESERVE AND OPEN SPACE SIGNAGE

- Signage for the Greenbelt Trail/OVRP Trail shall be consistent with the Greenbelt MasterPlan and OVRP Trail Master Plan.



- Signage within the 100' Preserve Edge and any area adjacent to the Preserve shall be consistent with the Otay Ranch Preserve Owner/Manager "Sensitive habitat/no trespassing" sign requirements.
- Other trail signage shall be consistent with the project specific sign program.

H. SIGN DESIGN STANDARDS

Each sign shall be designed with the intent and purpose of complementing the architectural style of the main building or buildings, or the type of business, institution or residential use on the site, and to the extent possible, compatibility with adjacent land uses.

1. Relationship to Buildings

Signs located upon a lot with only one main building housing the use which the sign identifies, shall be designed to be compatible with the predominate visual elements of the building, such as construction materials, color, or other design details. Each sign located upon a lot with more than one main building, such as a mixed use center, community purpose facility, school or multi-family residential developed in accordance with a common plan, shall be designed to be compatible with predominant visual design elements common or similar to all such buildings or the buildings occupied by the "main tenants" or principal uses.

The Development Services Director may condition approval of any sign to require incorporation of such visual elements into the design of the sign where such an element(s) is necessary to achieve a significant visual relationship between the sign and building or buildings.

2. Landscaping

Each freestanding sign shall be located in a planted landscaped area which is of a shape, design and size (equal to at least the maximum allowable sign area) that will provide a compatible setting and ground definition to the sign. The planted landscaped area shall be maintained in a neat, healthy and thriving condition.



3. Illumination and Motion

Signs shall be non-moving stationary structures (in all components) and illumination, if any, shall be maintained by artificial light which is stationary and constant in intensity and color at all times (non-flashing).

4. Sign Copy

The name of the business, use, service and/or identifying logo shall be the dominant message on the sign. The use of advertising information such as lists of products (more than one product), is prohibited.

5. Relationship to Streets

Signs shall be designed so as not to obstruct any pedestrian, bicyclist or driver's view of the street right-of-way.

THIS PAGE INTENTIONALLY LEFT BLANK

IX. Special Uses & Conditions



A. PURPOSE

This section provides additional regulation for special uses and conditions which require special review standards beyond those of the basic land use districts. Temporary uses, home occupations and private recreation/amusement facilities are addressed in this section. Where this section prescribes regulations which are more restrictive than that of the Land Use District, the provisions of this section shall apply.

B. TEMPORARY USES & SPECIAL EVENTS

1. Purpose

The provisions of this section shall apply to uses allowed for a limited amount of time, as specified herein. Temporary uses are subject to administrative approval by the Zoning Administrator, except as noted.

2. Temporary Uses Listed

- a. Circuses, rodeos, parades or similar outdoor entertainment or enterprises, subject to not more than five days of operation in any calendar year. Requests exceeding these time limitations will require the submittal and approval of a Conditional Use Permit.
- b. Christmas tree sales, Halloween pumpkin sales and other holiday sales subject to not more than forty days of site occupation and operation in any calendar year.
- c. Subdivision sales offices, sales information centers, sales pavilions, and model home complexes and signage located within the subdivision, subject to the following minimum requirements:
- d. Offices shall be no closer than one vacant lot to an existing dwelling unit not part of the subdivision. Trailers may be used for no more than 120 calendar days or until such time as the subdivision sales offices have been completed, whichever is less.



- e. Trailers used as sales offices for lot sales without model homes may be used for a period greater than 120 days, subject to site plan and architectural review approval and the maximum use period listed herein.
- f. An asphaltic or concrete paved parking lot shall provide sufficient parking spaces to accommodate said use.
- g. Faithful performance bonding, in an amount appropriate to guarantee removal and/or conversion of the sales office and attendant facilities shall be required.
- h. Other conditions that the Zoning Administrator deems necessary to ensure that the sales office will not constitute or be objectionable to the residential uses in the neighborhood.
- i. Outdoor art and craft shows and exhibits, subject to not more than three calendar days of operation or exhibition in any sixty calendar day period.
- j. Contractors' offices and storage yards on the site of an active construction project.
- k. Mobile home residences for security purposes on the site of an active construction project.
- l. Seasonal retail sales of agricultural products (fruit and vegetable stands) of periods for less than ninety days, if said products are raised on the premises.
- m. Temporary use of properly-designated mobile trailer units for classrooms, offices, banks, etc., for periods not to exceed ninety days subject to Administrative Review. Requests for such uses of more than ninety days in duration shall require the approval of a Conditional Use permit by the Planning Commission. Such units shall meet all necessary requirements of building, fire and health codes.



- n. For any agricultural and animal husbandry activity or project (4H, FFA or similar) conducted for educational purposes or school districts, a permit may be granted in any district when the Zoning Administrator determines that such use will not cause a public nuisance relative to sanitation and health conditions.
- o. Charitable or school sponsored drop-off bins for recycling of cans, newspapers, or similar items, or for drop-off of clothes and small items. Bins shall be located in the parking lots of businesses or other public or semi-public property on a temporary basis when written permission is granted by the property owner or business owner. Said bins shall be kept in a neat and orderly manner.
- p. Community gardens as developed and operated in accordance with the guidelines in the Village 8 East Park Parks, Recreation Open Space and Trails Master Plan.
- q. Temporary tract signs for marketing purposes.
- r. Additional uses determined to be similar to the foregoing in the manner prescribed by these regulations.

3. Permits and Bonds

All temporary uses shall be subject to the issuance of a Temporary Use Permit by the Zoning Administrator and other necessary permits and licenses, including but not limited to, building permits, sign permits and solicitors or vending licenses. In the issuance of such a permit, the Zoning Administrator shall indicate the permitted hours of operation and any other conditions, such as walls, fences or lighting, which are deemed necessary to reduce possible detrimental effects to surrounding developments and to protect the public health, safety and welfare. Prior to the issuance of a permit for a temporary use, a cash deposit may be required to be deposited with the City. This cash deposit shall be used to defray the costs of property cleanup by the City in the event the permittee fails to do same.



4. Extension or Modification of Limits

Upon written application, the Zoning Administrator may extend the time within which temporary uses may be operated, or may modify the limitations under which such uses may be conducted if the Zoning Administrator determines that such extension or modification is in accord with the purposes of the zoning regulations.

5. Condition of Site Following Temporary Use

Each site occupied by a temporary use shall be left free of debris, litter or any other evidence of the temporary use upon completion or removal of the use, and shall thereafter be used only in accord with the provisions of the zoning regulations.

6. Fee

The application shall be accompanied by a fee established by the Master Fee Schedule to cover the cost of processing the application prescribed in this section.

C. HOME OCCUPATIONS

1. General Provisions

Home occupations may be permitted only when in compliance with the conditions listed herein. A permit must be issued by the Zoning Administrator prior to operation of such use. The fee shall be in accordance with the Master Fee Schedule.

- a. There shall be no stock in trade or exterior storage of materials in the conduct of home occupation.
- b. A home occupation shall be conducted entirely within a dwelling; if in an attached or a detached garage, it shall not impede the use of said garage for vehicle storage.
- c. Electrical or mechanical equipment which creates visible or audible interference in radio or television receivers, or causes fluctuations in line voltage outside the dwelling unit, shall be prohibited.
- d. No one other than the residents of the dwelling unit may be engaged in the conduct of the home occupation.



- e. There shall be no sale of goods on the premises.
- f. The establishment and conduct of a home occupation shall not change the principal character or use of the dwelling unit involved.
- g. There shall be no signs other than those permitted by these regulations.
- h. The required residential off-street parking shall be maintained.
- i. A home occupation shall not create vehicular or pedestrian traffic in excess of that which is normal for the land use district in which it is located.
- j. No vehicles or trailers (including pick-up trucks and vans) or construction and other equipment, except those normally incidental to residential use, shall be kept on the site.

D. PRIVATE RECREATIONAL FACILITIES

Construction of recreation courts, including necessary fencing and lighting, may be permitted subject to administrative review and a finding that adjacent properties will not be unduly affected (public parks are exempt from these requirements).

Recreation courts shall meet the following minimum standards:

1. A maximum 20-foot high fence (measured from the finished grade of the court) shall be allowed. Fences shall include a screening material which screens the court activity from off-site view and which improves the appearance of the fence.
2. Maximum of eight lights permitted, mounted at a height not to exceed twenty-two feet and may be used between 7 a.m. and 10 p.m. All lights and light fixtures shall be certified by a qualified lighting engineer to:
 - a. Be designed, constructed, mounted and maintained such that, the light source is cut off when viewed from



any point five feet above the ground measured at the lot line.

- b. Be designed, constructed, mounted and maintained such that the maximum illumination intensity measured at the wall of any residential building on abutting property shall not exceed 2 foot candle above ambient levels.
3. The surface area of any recreational court shall be designed, painted, colored and/or textured to reduce the reflection from any light incident thereon.
4. Landscaping shall be installed as required between the fence and the property line.
5. The hours of operation of private recreation facilities shall be governed by the appropriate Homeowners Association or property owner, but shall generally be between 7 a.m. and 9 p.m.

X. Implementation & Administration



A. PURPOSE

The purpose of this section is to define certain implementation and administrative procedures to provide clear instructions and notice to property owners and developers within The Village 8 East SPA Plan regarding permit and plan approvals. The general intent of these regulations is to use the standard procedures provided in Chapter 19.14 CVMC (Administrative Procedures, Conditional Uses and Variances) except where special procedures are required or defined herein.

1. Adoption of Planned Community District Regulations

These Planned Community (PC) District Regulations are adopted pursuant to Title 19, Zoning, of the Chula Vista Municipal Code and are intended to implement and integrate the Chula Vista General Plan, the Otay Ranch General Development Plan (GDP), and the Village 8 East Sectional Planning Area (SPA) Plan. The Village 8 East Specific Planning Area is zoned P-C Planned Community pursuant to the adoption of the Otay Ranch GDP and Chapter 19.48 CVMC (P-C-Planned Community Zone). These regulations provide for the implementation of the GDP and P-C zone by setting forth the development and use standards for all property within the Village East Planned Community District by establishing:

- Setbacks;
- Building heights;
- Parking requirements;
- Landscape requirements;
- Use restrictions;
- Animal regulations;
- Density of development limitations;
- Lot size, width and depth standards;
- Fencing requirements; and,
- Signing regulations.

2. Amendments

Changes to the boundaries of the zoning districts shall be made by ordinance and shall be reflected on the official Village 8 East Zoning District Map as provided in Exhibit 1. Minor changes resulting from the approval of a tentative or final map shall be made to the Zoning District Map as an administrative matter. Approval of a zone change



requires affirmative action following a public hearing by both the Planning Commission and City Council in accordance with the provisions of CVMC Chapter 19.12 (Legislative Zoning Procedure).

3. Effects of Regulations

The provisions of Chapter III, Residential Districts, Chapter IV, Open Space & Parks District and Chapter V, Community Purpose Facility, governing the use of land, buildings, structures, building setbacks, building height, performance standards and other provisions are hereby declared to be in effect upon all land included within the boundaries of each and every zoning district established by these Planned Community District Regulations.

4. Multiple Applications

When an applicant applies for more than one permit or other approval for a single development, the applications shall be consolidated for processing and shall be reviewed by a single decision maker or decision-making body pursuant to the requirements of CVMC Section 19.14.050.

B. SPA INTERPRETATION

1. Substantial Conformance

The Zoning Administrator may determine an application is in substantial conformance with the adopted SPA document, subject to the following findings:

- a. The proposed project or use is substantially consistent with the Chula Vista General Plan and adopted City policies.
- b. The proposed project or use is substantially consistent with the Village 8 East SPA Plan and its purpose and intent. Land use and circulation patterns are generally consistent. Statistical variations such as site area calculations shall be less than 10%.
- c. The proposed project or use meets the provisions of Chapters III, IV, and V governing the use of land, buildings, structures, building setbacks, building height, performance standards and other provisions. Any deviation from these standards shall require a variance.
- d. The proposed project or use substantially complies with the Village 8 East Landscape Master Plan and Master Precise Plan, as applicable. Some deviation from standards and guidelines are permitted as long as the overall project meets the overall design



intent and vision specified in the Village 8 East Design Plan, as applicable.

- e. The proposed project or use will not, under circumstances of the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity.
- f. The proposed project or use is substantially consistent with the principles and overall quality of design established for the Otay Ranch Planned Community.

The Zoning Administrator shall set a reasonable time for the consideration of each application to the applicant and to other interested persons as defined in CVMC 19.14 – Administrative Procedures – Permits – Applicants – Hearings – Appeals. In the event objections or protests are received, the Zoning Administrator shall set the matter for public hearing as provided therein.

2. Clarification of Ambiguity

If ambiguity arises concerning the proper classification of a particular parcel within the meaning and intent of Chapters III, IV and V, Development Regulations, or the Village Design Plan, or if ambiguity exists with respect to height, setbacks, lot area requirement or zoning district boundaries as set forth herein, the Zoning Administrator shall make a determination clarifying said ambiguity based upon the pertinent facts and the intent of the SPA. A decision rendered by the Zoning Administrator concerning said ambiguity may be appealed in accordance with the appeal procedure set forth in CVMC Section 19.14.100. For ambiguities that arise from applications requiring a public hearing by a decision making body other than the Zoning Administrator, the determination of the Zoning Administrator shall be forwarded to the appropriate decision making body as a recommendation.

C. REVIEW PROCESS

This section includes the distinct administrative procedures for reviewing the design and development of new buildings and uses within the Village 8 East SPA Plan area. Additional permits may be required and shall be subject to and processed in accordance with the CVMC.

1. Preliminary Review

The Master Developer shall participate in a preliminary design review process prior to application submittal to the City until final build out



has been achieved. The preliminary review by the Master Developer is for recommendation only. Each application to the City shall be accompanied by this Master Developer to City staff for approval, modification or denial of the proposed project. This process is intended to add an extra level of review and compliance with previously adopted plans.

In addition, it is strongly encouraged that project applicants request a pre-application meeting with planning staff to review the scope of the proposed project and the required applications and submittal materials. The pre-applicant meeting will be subject to the City of Chula Vista fee schedule.

2. Level and Scope of Reviews

a. Design Review

Design review is intended to provide sufficient details in site planning, architectural design and landscape architectural design to enable a specific development project design to be reviewed with respect to compliance with the Village 8 East SPA Plan, P.C. District Regulations, Village Design Plan, Landscape Master Plan and Master Precise Plan, as applicable. Typically, Design Review will be performed on a parcel, but may also include a group of buildings so long as a conceptual design of the entire parcel is provided. Because of the importance of design context and continuity of streetscapes, Design Review submittals shall be required to address the entire Planning Area as shown on the Site Utilization Plan on which the proposed project is located at a conceptual level. This conceptual planning provides assurance that options for the logical build-out can occur, but is not specifically adopted as a constraint on other alternatives that may be considered in the future, so long as they are in substantial conformance with the Design Review Approval. Any projects found not to be in substantial conformance by the Zoning Administrator may apply for an amendment to the previous Design Review approval with the Planning Commission.

Another alternative is the consideration of phased intensification. A building complex may intensify over time as a planned intensification. This phasing may be approved with the initial Design Review application at the option of the applicant if the Design Review application is for partial build-out of a planning area in compliance with the Village 8 East SPA and Design Plan, as applicable.

The scope of the Design Review shall be limited to compliance with the provisions of these PC District Regulations and related



SPA documents as specifically provided for in CVMC Section 19.14.582. Village 8 East is intended to be a vibrant community with a variety of uses, activities and design features that promote a pedestrian friendly environment with proximity to parks, schools, CPF uses and adjacent shopping, entertainment and transit. These PC District Regulations provide the basis for future development. Adherence to any specific architectural style or any set of preconceived design solutions beyond what is specified in the Village 8 East Design Plan, as applicable, is neither required nor desired. The Design Review process requires a determination that a project is in compliance with the defined standards and guidelines of the Village 8 East SPA and Design Plans.

Because of the wide range of appropriate design options within Village 8 East, any Design Review submittal that meets the prescriptive standards of the Village 8 East SPA and Design Plans, as applicable, shall be deemed to be in conformance with the SPA unless evidence is presented to refute the conclusion. Any and all design revisions or conditions applied to a proposed project by the Planning Commission, Zoning Administrator or other reviewing and approving body will only be made in order to meet the Village 8 East design objectives. Any determination made by the appropriate decision making body that the proposed decision is in conflict with the Village 8 East SPA Plan shall clearly identify the specific objective, policy or design guideline that is found in conflict with said Village 8 East design. The fact that a proposed design is not illustrated in the Village 8 East SPA Plan, Village Design Plan, Landscape Master Plan or Master Precise Plan is not evidence of a conflict. The Village 8 East Design Plan provides examples of both single family and multi-family site layout. Substantial evidence of a conflict requires that the design proposal be inconsistent with the design character conveyed by the multiple examples.

Major Design Review is required for all proposed projects within the RM-1 and RM-2 Residential Zones and single family lots less than 2,700 square feet (average) are subject to Major Design Review. Major Design Review requires Planning Commission approval.

Minor Design Review is required for all proposed projects within the SF-4 Residential Zone and lots served by alleys in the RM-1 Residential Zone and single family lots exceeding 2,700 square feet (average). Minor Design Review requires Zoning Administrator approval.



b. Intensity Transfer

- i. Intensity Transfer is an administrative process, conducted by the Zoning Administrator to ensure that implementation of the Village 8 East SPA Plan does not exceed the maximum number of units authorized.

- ii. The Village 8 East Site Utilization Plan is intended to provide the general design intent of the Village 8 East SPA Plan; however, this SPA recognizes the need for flexibility in planning to accommodate future development constraints and market demands. Notwithstanding the foregoing, unless a proposed project is exactly consistent with the target intensity shown for that planning area on the Site Utilization Plan Table, an intensity transfer is required. Any transfer of intensity between planning areas within the same land use is permitted provided said transfer is consistent with the SPA Plan, the circulation system and the technical studies of the project EIR as it relates to infrastructure and the overall target intensity of 3,560 residential units. Any other type of transfer shall require a SPA Amendment. The Zoning Administrator shall approve or deny the proposed intensity transfer subject to the following findings and conditions:
 - The resulting density of both the granting and receiving planning areas shall be consistent with the density ranges specified for each area.

 - The overall SPA intensity shall not be exceeded.

 - The Builder/Applicant has received a letter of recommendation for approval, modification or denial of the intensity transfer from the Master Developer and/or any impacted property owner.

 - The planned identity of Village 8 East is preserved including the creation of a pedestrian friendly community.

 - Public facilities and infrastructure including schools and parks shall be provided based on the final number of units and the Builder/Applicant shall agree to pay any additional fees resulting from said transfer. Preserve conveyance obligation shall be based upon the development area reflected on the final map.

 - The overall target intensity of 3,560 residential units is maintained within Village 8 East.



- iii. If a shift of Community Purpose Facility (CPF) sites or square footage/acreage between planning areas occurs, a SPA Amendment shall be required. The total square footage/acreage for CPF sites shall meet the Village 8 East CPF obligation pursuant to the Land Offer Agreement between the City of Chula Vista and SSBT LCRE V, LLC, dated July 8, 2014.
- iv. Transfers of intensity to unused school sites if the site is not accepted by the school district shall be as follows:
 - Parcel S-1 shall revert to the RM-2 Residential Zone as depicted on the Village 8 East Zoning District Map;

Villages 3 North and a Portion of Village 4 (Village 3 North), 8 East and 10 (“University Villages Project”) are concurrently being planned and processed as separate SPA Plans. Pursuant to the Land Offer Agreement (LOA) between the City of Chula Vista and SSBT LCRE V, LLC (Applicant) dated July 8, 2014, 6,897 units are allocated amongst the three SPA Plan Areas. Because these villages will be built out over approximately 15 years, it is difficult to anticipate market demand in each village throughout build-out. Therefore, to accommodate future fluctuations in market demand, the LOA permits density transfers between villages of up to 15% of the total units authorized for each village. The criteria below must be met in order for the density transfer to be approved administratively. The Zoning Administrator will determine, based upon the scope of the proposed density transfer, whether additional information (i.e. traffic, air quality, global climate change, utilities, etc.) is necessary for Administrative Approval of the density transfer;

Pursuant to the LOA, the Applicant may transfer, at its discretion, up to fifteen percent (15%) of the units allocated to a village within the University Villages Project to another village within the Project. The Zoning Administrator may approve, in his or her discretion, any transfer of units more than fifteen percent (15%) or any transfer of units to another village within Otay Ranch but not within the University Villages Project, if all of the following requirements are satisfied;

- The transfer of units between villages is consistent with the village design policies and the Entitlements for the village into which the units are being transferred;
- The total number of units authorized (6,897) within the University Villages Project is not exceeded;



- Public facilities and infrastructure including schools and parks are provided based on the final number of units within each village or Planning area and the Builder/Applicant shall agree to pay any additional fees resulting from said transfer;
- The planned identity of the villages are preserved including the creation of pedestrian friendly and transit-oriented development;
- Preserve conveyance obligations shall be based on the final map development area; and
- The Builder/Applicant has provided supporting technical studies, if necessary, to the satisfaction of the Zoning Administrator that substantiate adequate infrastructure exists to support the intensity transfer.
- The Builder/Applicant shall provide the City a letter of recommendation for approval, modification or denial of the intensity transfer from the Master Developer and/or property owners impacted by the proposed transfer.
- The resulting density of both the granting and receiving planning areas shall be consistent with the density ranges specified for each area and the overall SPA densities shall not be exceeded.

c. Site Plan and Architectural Review

Site Plan and Architectural Review shall be completed pursuant to the requirements and procedures set forth in CVMC Section 19.14.420-480.

d. Summary of Discretionary Review

Table 11, discretionary Permit Matrix for the Village 8 East SPA Plan area summarizes the review authority for each step of approval.



Table 11 - Discretionary Approval Matrix

Approving Authority: A
 Recommendation Authority: R

Action	City Council	Planning Commission	Zoning Administrator	Administrative Staff
GDP Adoption / Amendment	A	R		R
SPA Adoption / Amendment	A	R		R
Environmental Documents	A ¹	R/A ¹		R/A ¹
Tentative Subdivision Map	A	R		R
Parcel Map (4 lots/units or less) ²				A
Final Map ²	A			R
Conditional Use Permit (CUP)		A	R	
Administrative CUP (A)			R	
Major Design Review ³		A		
Minor Design Review ⁴			A	
Intensity Transfers			A	
Sign Program			A	R
Temporary Use Permit				A
Site Plan & Architectural Review				A
Appeals ⁵	A			

¹ Environmental documents must be approved by the approving body which has jurisdiction over the project.

² Information item only. No public hearing required, requires City Engineer Approval

³ Major Design Review is required for all proposed projects within the RM-1 and RM-2 Residential Zones and single family lots less than 2,700 square feet (average) are subject to Major Design Review. Buildings within the "I" zone 20,000 sf or less are exempt from Major Design Review pursuant to CVMC19.14.582

⁴ Minor Design Review is required for all proposed projects within the SF-4 Residential Zone and lots served by alleys in the RM-1 Residential Zone and single family lots exceeding 2,700 square feet (average).

⁵ Appeals shall be reviewed in accordance with CVMC Section 19.14.583.



3. Submittal Requirements

a. Design Review

Design Review shall comply with the procedures and requirements set forth in CVMC Section 19.14.581 through 19.14.600, except that the Zoning Administrator shall have the authority for review and approval of any application for proposed residential uses within the SF-4 Residential Zone, lots served by alleys in the RM-1 Residential Zone and single family lots exceeding 2,700 square feet (average). The Zoning Administrator shall have, at his sole discretion, the right to refer such Design Review applications to the Planning Commission for their action. Submittal items shall include the following:

- i. Completed City of Chula Vista Development Services Department Application Checklist and all required submittal items listed therein.
- ii. Completed Village 8 East Design Review Compliance Checklist (see Exhibit 11), which shall be used to evaluate the proposed project's conformance with the adopted Village 8 East SPA Plan/Design Plan, Village 8 East Landscape Master Plan and Village 8 East Master Precise Plan as applicable.
- iii. Other required Documents, Exhibits and Plans include:
 - Lighting Plan including location, type and shielding devices (if any) to shield adjoining properties from light spillage.
 - Color and Materials Board.
 - Site Photographs.
 - Written statement and/or exhibits, as applicable, indicating compliance with applicable required EIR mitigation measures and SPA/TM Conditions of Approval.
- iv. Additional items required with application to be updated upon project approval include the following:



- v. Planning area building-out concept plans if project does not include an entire planning area.
- vi. Technical studies or information, as required, to demonstrate the project is in compliance with CEQA and/or City Regulations.



Exhibit 4 - Village 8 East Design Review Compliance Checklist

- Has the project complied with all Design Review submittal requirements (Chapter X)?
- Building Height: Is the building height consistent with the Development Regulations (Chapter III)?
- Building Setbacks: Is the building(s) setback consistent with the Development Regulations (Chapter III)?
- Building Use: Are the proposed uses within the building consistent with the Permitted land uses for the zoning district (Chapters I and II)?
- Intensity: Is the proposed intensity consistent with the Village 8 East Site Utilization Plan and Table (SPA)?
- Intensity Transfer: Will an Intensity Transfer be required to implement the project? If so, has the Zoning Administrator approved the transfer? (Documentation Attached)
- Parking: Does the project provide adequate parking spaces for the intended uses, based on (circle one)
 - A shared or management parking program previously approved;
 - An adequate shared or managed parking program submitted with the application;
 - Conventional City parking standards; or
 - Parking Regulations (Chapter VI)
- Parking circulation design: Is the design of parking circulation, gates, backup spacing, running radii and stacking distances adequate for the intended use(s)?
- Parking Space Sizes: Are the parking space sizes adequate for the use(s) intended?
- On Street Parking: If on street parking is being used to satisfy part of the parking requirement, have these spaces been used for a previously approved project?
- Parking Structure: If a parking structure is proposed that fronts on the street, has the street level been designed to enhance the pedestrian experience by (circle all that apply):
 - Appearance softened with landscaping;
 - Street level residential units or uses other than parking structure;



- Architecturally treated to provide an attractive finished aesthetic or artistic feature; or
 - Other acceptable design technique\
- Loading Areas: If loading areas are proposed, are these areas designed to minimize disruption to pedestrian and vehicular traffic?
- Trash: Are trash receptacles appropriately located out of public view or adequately screened?
- Encroachments: If encroachments into the public right-of-way are proposed, do these encroachments create any unacceptable public risks that are not addressed in the application? Has an encroachment permit been submitted? If so, attached documentation.
- Parks: Is the project consistent with park requirements?
- Affordable Housing: Is the project consistent with the Village 8 East Affordable Housing Plan?
- Subdivision: Does the project comply with the Conditions of Approval for the subdivision?
- Landscaping: Does the project comply with City landscape requirements and the Village 8 East Landscape Master Plan and the Village 8 East Master Precise Plan, as applicable?
- Lighting: Does the Lighting Plan describe the location, type and shields required to minimize light impacts on adjoining properties?
- Architecture: Is the architectural design consistent with the Village 8 East Design Plan and Master Precise Plan?
- Pedestrian Network: Does the project integrate with the Village 8 East pedestrian network?
- Property Ownership: Does the project require approval from any other property owners? If so, has this documentation been submitted to the City?
- Recommendation: Has the Applicant obtained Master Developer approval, modification, denial of the proposed project? Is the documentation attached?
- Design Review: Does the project require Design Review by the Planning Commission or Zoning Administrator?



- Water Quality: Do the plans demonstrate consistent with any applicable approved on-site Best Management Practices (BMPs) and Low Impact Development (LID) design strategies in conformance with the City's Storm Water Manual?

- CEQA Compliance. Is the Project consistent with prior CEQA approvals?



b. Intensity Transfers

Application for Intensity Transfer shall be made to the Zoning Administrator by written request together with supporting documentation, a fee or deposit in accordance with the City Fee Schedule for Design Review, along with an agreement to pay any additional costs that may be required to review/process the application.

- i. The Builder/Applicant shall be required to submit the following items (as required for Design Review):
 - Written project description with statistics indicating the scope of the intensity transfer, including the transfer and receiving planning areas;
 - Updated Village 8 East Site Utilization Plan Table;
 - Written evidence of approval from all property owners affected by the proposed intensity transfer;
 - Written statement(s) or updated reports from qualified professionals indicating that the transfer will not exceed the capacity of planned infrastructure;
 - Written statement and/or applicable exhibits demonstrating compliance with applicable required EIR mitigation measures and SPA/Subdivision conditions of approval.
- ii. After the intensity transfer is approved, the Builder/Applicant shall provide the updated SPA documents (text, tables and exhibits) in the quantity determined by the Development Services Director.
- iii. The Zoning Administrator shall take one of the actions listed below:
 - Approve the application as submitted;
 - Approve the application with certain conditions; or
 - Deny the application.

The action of the Zoning Administrator on an intensity transfer may be appealed in the same manner as provided for an appeal of a Design Review action. The Zoning Administrator shall approve the transfer by dating and signing the updated Site Utilization Plan/Table



submitted by the Builder/Applicant and attaching any applicable conditions of approval. Copies of approved amended Site Utilization Tables shall be maintained within the Village 8 East SPA documents. Approval of Intensity Transfers is not subject to review by the Planning Commission and shall occur prior to approval of a Design Review application.

c. Site Plan and Architectural Review

Site Plan and Architectural Review shall comply with the provisions set forth in the CVMC Section 19.14.420.

i. Permits, Variances and Zoning Applications

The following permits, variances and zoning applications shall be subject to the applicable administrative procedures described in CVMC Section 19.14:

- Conditional Use Permits;
- Zoning Permits;
- Variances;
- Home Occupations

ii. Subdivision Standards and Procedures

Tentative maps, parcel maps and final maps shall be consistent with the development standards set forth in the Village 8 East SPA, Village Design Plan and these Planned Community District Regulations and shall be processed in accordance with the procedures and submittal requirements set forth in Title 18 of the CVMC.

iii. Village 8 East Landscape Master Plan

The Master Developer shall submit a Village 8 East Landscape Master Plan. The purpose of the Landscape Master Plan is to provide an overall basis for reviewing specific landscape design at the site planning and public improvements stages. Except for the provisions set forth herein, the requirements for the application, review and approval process shall comply with CVMC Section 19.14.485.

iv. Village 8 East Master Precise Plan

The Master Developer shall submit a Village 8 East Master Precise Plan prior to or concurrent with submittal of the first site-specific



Design Review application within the Village Core. The purpose of the Master Precise Plan is to coordinate the spatial relationships between buildings, structures, landscaping and public spaces as well as to ensure a unified design theme for signage, lighting and street furnishings within the Village Core in order to implement the vision of creating a pedestrian friendly Village 8 East Core. The Master Precise Plan provides an overall basis for reviewing specific site plan applications and proposed public improvements within the Village Core. Except for the provisions set forth herein, the requirements for the applicant, review and approval process of the Master Precise Plan shall comply with CVMC Section 19.56.042 through 19.56.48. No other Master Precise Plans shall be required within the Village 8 East SPA Plan area.

- o Implementation & Administration

The City shall enforce the Planned Community District Regulations contained herein in accordance with the Implementation & Administration authority provided by the City's Charter and the Chula Vista Municipal Code.

- o Monitoring And Updates

As provided in the Village 8 East SPA Plan, a range of residential intensities are planned within the Village 8 East SPA. As provided in Section C.2.b. of these PC District Regulations, transfers between planning areas may occur during development. These changes must be monitored to ensure compliance with the overall approvals of the project and the provision of certain population-based public facilities. Changes that include an increase in the number of residential units may require a corresponding increase in such facilities and a decrease in residential units may require a corresponding decrease in facility requirements.

In order to ensure continuing compliance with required standards, the Development Services Director shall maintain an administrative record beginning with the initial SPA Plan approval. The administrative record documents the assignment of intensity to the various Village 8 East planning areas and the intended compliance strategy for population based public facilities. This record shall be updated with each Design Review approval and/or Intensity Transfer as an administrative action following such approval. The amended Village 8 East Site Utilization Plan tables are provided within the Village 8 East SPA documents, along with the required Record of Design Review or Intensity Transfer Approvals.

The current administrative monitoring record and the associated changes, if any, shall be provided to the decision making body at the time of each Design Review Approval and/or density/intensity



transfer. No proposal that would jeopardize compliance with population based public facility standards shall be approved. The Builder/Applicant for any Design Review application must submit the proposed revised Site Utilization Plan Table. After approval, the Development Services Director shall maintain these documents as official monitoring records and in digital form, accessible to other City Departments and the Village 8 East Master Developer and Builders.

- Planning Commission

The Planning Commission shall review plans for the establishment, location expansion or alteration of uses or structures in all attached multi-family, Mixed-Use and Public Quasi-Public land use designations and shall approve, conditionally approve or deny such plans. Single-family detached units within the RM-1 zone may be subject to Planning Commission review at the discretion of the ZA.

The Planning Commission shall make its findings and action upon the provisions of the Otay Ranch General Development Plan, Village 8 East SPA Plan, Planned Community District Regulations, Village Design Plan and other associated regulatory documents.

- Planning Commission – Appeals Procedure

Decisions of the Planning Commission may be appealed to the City Council within 10 working days after the decision is filed with the City Clerk. The appeal shall be in writing and filed with the Development Services Department on forms prescribed for the appeal, and shall specify therein the argument against the decision of the Planning Commission. If an appeal is filed within the time limit specified and is determined to be valid, it automatically stays proceedings in the matter until the City Council makes a determination.

Upon the hearing of such appeal, the City Council may, by resolution, affirm, reverse or modify, in whole or in part, any determination of the Planning Commission. The resolution must contain a Finding of Facts showing wherein the project meets or fails to meet the requirements of this Chapter and the provisions of the Otay Ranch General Development Plan, Sectional Planning Area Plan, Planned Community District Regulations, Village Design Plan and other associated regulatory documents.

The Zoning Administrator shall determine from data submitted whether the proposed use will meet the development standards and design guidelines established in the Village 8 East Planned Community District Regulations and Village Design Plan, and shall approve the application upon making a positive finding. The



application may be disapproved, may be approved as submitted or may be approved subject to conditions, specific changes or additions. The approval of the Zoning Administrator shall be noted by endorsement upon two copies of all sketches.

In carrying out the purpose of this division, the Zoning Administrator shall consider in each specific case any or all of the following principles as may be appropriate:

It is not a purpose of this section to control design character so rigidly that individual initiative is stifled in the layout of any particular building or site and substantial additional expense incurred; rather, it is the intent of this division that any control exercised be the minimum necessary to achieve the over-all objective of the Village 8 East SPA plan and associated regulatory documents.

The siting of any structure on the property, as compared to the siting of other structures in the immediate neighborhood, shall be considered.

- The size, location, design, color, number, lighting and materials of all signs and outdoor advertising structures shall be reviewed. No sign shall be approved in excess of the maximum limits set herein.
- Landscaping is provided in accordance with the Village 8 East SPA Plan and associated regulatory documents shall be required on the site and shall be in keeping with the character or design of the site and existing trees shall be preserved whenever possible.
- Ingress, egress and internal traffic circulation shall be so designed as to promote convenience and safety.

○ Site Plan & Architectural – Appeals

Appeals from determinations by the Zoning Administrator shall be to the Planning Commission, upon written request for a hearing before the Commission. In the absence of such request being filed within seven days after determination by the Administrator, the determination shall be final.

The appeal shall be filed with the Planning & Building Department on the form required by the City, and accompanied by the non-refundable Required Fee. The appeal shall include a statement of the reasons supporting the appeal, including a demonstration that any issues being raised were raised before the Zoning Administrator. Upon the proper filing of the appeal, the Director of Planning & Building shall cause the matter to be set for public hearing, giving



the same notice as required in Sections 19.12.070 and 19.12.080 of the CVMC (19.12 Legislative Zoning Procedures: .070 = Hearings - Notices Required - Methods And Additional Contents Of Notice and .080 = Hearings - Notice Required – Contents).

Upon the hearing of an appeal, the Planning Commission may by resolution, affirm, reverse or modify, in whole or in any part, any determination of the Zoning Administrator. The resolution shall contain Findings of Facts showing wherein the project meets or fails to meet any applicable site plan and architectural principles or development standards and design guidelines established in the Village 8 East SPA Plan and Village Design Plan. A copy of the decision resolution of the Planning Commission shall be filed with the City Clerk and mailed to the applicant. The decision of the Planning Commission shall be final on the eleventh day after its filing, except where further appeal is taken as provided herein.

The applicant or other interested person may appeal the decision of the Planning Commission granting or denying site plan and architectural approval to the City Council within 10 days after said decision is filed with the City Clerk. Said appeal shall be filed with the City Clerk in writing upon forms provided by the City and be accompanied by the non-refundable Required Fee therefore. The appeal shall include a statement of the reasons supporting the appeal, including a demonstration that any issues being raised were raised during the public hearing. If a proper appeal is filed within the time limits specified, it automatically stays proceedings in the matter until a determination is made by the City Council on the appeal.

After hearing the appeal, the City Council may, by resolution, affirm reverse or modify, in whole or in any part, any determination of the Zoning Administrator or the Planning Commission. The Council resolution by which the appeal is decided shall contain Findings of Facts showing wherein the project meets or fails to meet the applicable site plan and architectural principles in Section 19.14.470 of the CVMC (Administrative Procedures, Conditional Uses and Variances - Site Plan and Architectural Approval – Principles to be Observed), the provisions of the Design Manual, any design standards required for the project, or other non-conformity with the requirements of this Chapter. A copy of the decision resolution of the City Council shall be filed with the City Clerk and mailed to the applicant.

o Conditional Use Permit

The granting of a Conditional Use Permit is an administrative act to authorize permitted uses subject to specific conditions because of the unusual characteristic or need to give special consideration to the proper location of said uses in relation to adjacent uses, the



development of the community and to the various elements of the general plan. The purpose of this section is to set forth the findings necessary for such administrative action and to establish a procedure for granting Conditional Use Permits.

After the public hearing, the Planning Commission or the Zoning Administrator may, by resolution, grant a Conditional Use Permit if the Planning Commission or the Zoning Administrator finds from the evidence presented at said hearing that all of the following facts exist:

1. That the proposed use at the particular location is necessary or desirable to provide a service or facility which will contribute to the general well being of the neighborhood or the community.
2. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity.
3. That the proposed use will comply with the regulations and conditions specified in this code for such use.
4. That the granting of this conditional use will not adversely affect the General Plan of the City or the adopted plan of any governmental agency.

The Planning Commission or the Zoning Administrator shall make a written finding which shall specify facts relied upon in rendering said decision and attaching such conditions and safeguards as deemed necessary and desirable not more than 10 days following the decision of the Commission or the Zoning Administrator, and shall fully set forth wherein the facts and circumstances fulfill or fail to fulfill the requirements. A copy of this written Finding of Facts shall be filed with the City Clerk, with the Director of Planning & Building and mailed to the applicant. The decision of the Planning Commission or Zoning Administrator shall be final on the eleventh day following its filing in the office of the City Clerk, except where appeal is taken as provided herein.

o Conditional Use Permit – Appeals

The applicant or other interested party may appeal the decision of the Zoning Administrator to the Planning Commission within 10 days after said decision is filed with the City Clerk. Said appeal shall be in writing and filed in triplicate with the Planning & Building Department on forms provided by said department, and shall specify wherein there was an error in the decision of the Zoning



Administrator. If an appeal is filed within the time limit specified, it stays proceedings in the matter until the Planning Commission makes a determination.

Where the Planning Commission denies an application by less than four votes, the applicant shall have the right to either a rehearing at the next Planning Commission meeting or an appeal to the City Council without payment of additional fees. The choice of alternatives shall be discretionary with the applicant. All other proceedings pertaining to appeals shall continue to apply.

o Variance

The granting of a Variance is an administrative act to allow a variation from the strict application of the adopted Village 8 East development regulations of the particular zone, and to provide a reasonable use for a Neighborhood of property having unique characteristics by virtue of its size, location, design or topographical features, and its relationship to adjacent or surrounding properties and developments. The purpose of the Variance is to bring a particular Neighborhood up to parity with other property in the same zone and vicinity insofar as a reasonable use is concerned, and it is not to grant any special privilege or concession not enjoyed by other properties in the same zone and vicinity. The Variance may not be used to correct improper zoning. It is the purpose of this section to set forth the findings necessary for such administrative action and to establish a procedure for granting variances. In no case shall a Variance be granted to permit a use other than a use permitted in the district in which the subject property is situated.

The Zoning Administrator shall grant a Variance only when the following facts are found:

That a hardship peculiar to the property and not created by any act of the owner exists. Said hardship may include practical difficulties in developing the property for the needs of the owner consistent with the regulations of the zone; but in this context, personal, family or financial difficulties, loss of prospective profits, and neighboring violations are not hardships justifying a Variance. Further, a previous Variance can never have set a precedent, for each case must be considered only on its individual merits.

1. That such Variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same zoning district and in the same vicinity, and that a Variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his neighbor.



2. That the authorizing of such Variance will not be of substantial detriment to adjacent property, and will not materially impair the purposes of these regulations or the public interest.
 3. That the authorizing of such Variance will not adversely affect the general plan of the City or the adopted plan of any governmental agency.
- o Variance – Appeals

The applicant or other interested persons may appeal the decision of the Zoning Administrator to the Planning Commission within 10 days after the decision is filed with the City Clerk and the hearing on said appeal shall be processed by the Planning Commission in the same manner as a Conditional Use Permit within the original jurisdiction of the Planning Commission. The applicant or other interested persons shall have the same right of appeal from any determination of the Planning Commission in such instances as set forth in Sections 19.14.110 through 19.14.130 of the Chula Vista Municipal Code (*Administrative Procedures, Conditional Uses and Variances: .110 = Conditional Use Permit – Appeals Form – Contents – Effects of Filing, .120 = Conditional Use Permit – Appeals – City Clerk Duties and .130 = Conditional Use Permit – Appeals City Council Action – Resolution*) of the Chula Vista Municipal Code.

Upon the hearing of such appeal, the City Council may, by resolution, affirm, reverse or modify in whole or in part any determination of the Planning Commission, subject to the same limitations. The resolution must contain a Finding of Facts showing wherein the conditional use meets or fails to meet the requirements of CVMC Sections 19.14.080 through 19.14.100 of the CVMC (*Administrative Procedures, Conditional Uses and Variances: .080 = conditional use permit - prerequisites for granting, .090 = Conditional Use Permit – Public Hearing Procedure – Finding of Facts and .100 = Conditional Use Permit – Appeals Procedure Generally*). Not later than 10 days following the adoption of said resolution, the City Clerk shall transmit a copy of the resolution and finding to the Director of Planning & Building and shall mail a copy to the applicant.

Any Conditional Use Permit or Zone Variance granted by the City as herein provided shall be utilized within one year after the effective date thereof. A Variance or Conditional Use Permit shall be deemed to be utilized if the property owner has substantially changed his/her position in reliance upon the grant thereof. Evidence of change of position would include completion of construction or any



expenditures of money by the property owner preparatory to construction and shall also include the use of the property as granted. If there has been a lapse of work for the three months after commencement, the Conditional Use Permit or Zone Variance shall be void. The Commission may, by resolution, grant an extension of time contained in a currently valid Zone Variance or Conditional Use Permit without a public hearing upon appeal of the property owner, provided that there has been no material change or circumstances since the granting of the Variance or Conditional Use Permit which would be injurious to the neighborhood or otherwise detrimental to the public welfare.

XI. Exceptions & Modifications



A. HEIGHT LIMITATION EXCEPTIONS

Height limitations stipulated in these regulations shall not apply to:

1. Church spires, belfries, cupolas and domes, monuments, electric generating stations and liquefied natural gas tanks, water towers, fire and hose towers, observation towers, distribution and transmission towers, lines and poles, windmills, chimneys, smokestacks, flagpoles, radio towers, masts and aerials, or to parapet walls extending not more than four feet above the limiting height of the building;
2. Places of public assembly in churches, schools and other permitted public and semi-public buildings, provided that these uses are located on the ground floor of such buildings;
3. Bulkheads, elevator and stair penthouses, water tanks, barns, silos, monitors and scenery lofts, provided no lineal dimension of any such structure exceeds fifty percent of the corresponding street lot line frontage; or towers and monuments, fire towers, hose towers, cooling towers, gas holders or other structures where the manufacturing process requires a greater height; provided however, that no such structures above the heights otherwise permitted in the district occupy more than twenty-five percent of the area of the lot and are no less than twenty-five feet from any lot line which is not a street lot line.

THIS PAGE INTENTIONALLY LEFT BLANK

XII. Enforcement



A. ENFORCEMENT BY CITY OFFICIALS

The City Council, City Attorney, City Manager, City Engineer, Public Works Director, Fire Chief, Chief of Police, Development Services, Recreation Director, City Clerk and all officials charged with the issuance of licenses or permits shall enforce the provisions of this ordinance. Any permit, certificate or license issued in conflict with the provisions of this ordinance shall be void.

B. ACTIONS DEEMED NUISANCE

Any building or structure erected hereafter, or any use of property contrary to the provisions of a duly-approved Design Review, Site Plan, Variance, Conditional Use Permit, or Administrative Review and/or this ordinance shall be declared to be unlawful and a public nuisance *per se* and subject to abatement in accordance with local ordinance.

C. REMEDIES

All remedies concerning this ordinance shall be cumulative and non-exclusive. The conviction and punishment of any person hereunder shall not relieve such persons from the responsibility of correcting prohibited conditions or removing prohibited buildings, structures, signs or improvements, and shall not prevent the enforced correction or removal thereof.

D. PENALTIES

Any person, partnership, organization, firm or corporation, whether as principal, agent, employee or otherwise, violating any provisions of this ordinance or violating or failing to comply any order or regulation made hereunder, shall be guilty of an infraction and, upon conviction thereof, shall be punishable as provided by local ordinance.

THIS PAGE INTENTIONALLY LEFT BLANK

Village Design Plan

Village 8 East



ADOPTED DECEMBER 2, 2014
Resolution 2014-235

December 2, 2014

Village Design Plan

Village 8 East

Applicant:

SSBT LCRE V, LLC
C/O Meadow Lane
1392 E. Palomar Street, Suite 202
Chula Vista, CA 91913

Prepared by:

Hunsaker & Associates
Planning, Engineering, Surveying
9707 Waples Street
San Diego, CA 92121
(858) 558-4500

Tributary LA, Inc.
2725 Jefferson Street #14
Carlsbad, CA 92008
(760) 438-3304

Table of Contents

I. Introduction.....	1
A. Design Plan Document.....	1
1. Village Design Plan.....	1
2. Companion Documents.....	1
B. Design Review Process.....	2
1. Process.....	2
2. Master Developer Review.....	2
3. City of Chula Vista Minor Design Review.....	3
4. City of Chula Vista Major Design Review.....	3
5. Appeals.....	3
II. Village Structure.....	5
A. Village Identity.....	7
1. Village Setting and Design Influences.....	7
2. Pedestrian/Multi-Modal Orientation.....	8
3. Urban Theme and Character.....	10
4. Landform Grading.....	10
5. Landscape Concept.....	11
B. Village Perimeter and Slope Design.....	14
1. Plantable Retaining Wall Systems.....	14
2. Perimeter Slopes.....	16
3. Perimeter Slopes @ SR-125.....	18
4. Slopes @ Otay Valley Road.....	20
5. Village Perimeter @ Preserve.....	22
C. Entryways/Identity Concept.....	24
1. Primary Entry – Main Street/Santa Mirasol (Street “A”).....	24
2. Secondary Village Entry – Otay Valley Road and Santa Mirasol (Street “A”).....	27
D. Streetscape Design Concept.....	28
1. Six-Lane Prime Arterial - Main Street.....	30
2. Four-Lane Major Road – Otay Valley Road.....	34
3. Four Lane Secondary Village Entry Street w/Median (Santa Mirasol).....	35
4. Residential Promenade Street (Modified w/Village Pathway) – Safflower Street and Cascabel Street.....	38
5. Residential Promenade Streets (Modified).....	40
6. Modified 2-Lane Secondary Village Entry Street w/Median – Santa Mirasol.....	42

7.	Parkway Residential Street	43
7.	Private Alleys	45
8.	Community Park Entry Drive	47
	E. Non-Vehicular Circulation Concept	49
1.	Chula Vista Greenbelt Trail/Otay Valley Regional Park (OVRP) Trail	50
2.	Regional Trails	51
3.	Village Pathway	52
4.	Village Paseo	53
5.	Community Park Paseo	54
6.	Community Park Access Trail	55
7.	Promenade Trails	56
	F. Village Park Concept	57
1.	P-1 Neighborhood Park	59
2.	P-2 Community Park	61
3.	Community Purpose Facilities	63
4.	Private Open Space	67
	G. Wall and Fence Concepts	70
1.	Community Walls	70
	H. Lighting Concepts	75
1.	Secondary Village Entry Street Lighting	78
2.	Residential Streets (Promenade) Lighting	79
3.	Parkway Residential Street Lighting	80
4.	Lighting within 100' Preserve Edge	81
5.	Public Park Lighting	82
6.	Parking Lot Lighting	83
	III. Village Core Guidelines	85
	A. Village Core Design Concept	87
	B. Village Design Features	88
1.	Site Planning and Building Orientation	90
2.	Pedestrian and Vehicular Access	92
3.	Landscaping Design Guidelines	94
4.	Lighting, Signing and Street Furnishings	97
	IV. Residential Guidelines	99
	A. Single Family Residential Guidelines	101

1.	Architecture	101
2.	Pedestrian-Oriented Design	106
3.	Site Planning	107
4.	Building/Lot Schematics	108
5.	Facade Elements	118
6.	Garages and Driveways	118
A.	Multi-Family Residential Guidelines	119
1.	Architectural Theme	119
2.	Site Planning and Building Plotting	120
3.	Facade Elements	122
4.	Parking, Carport and Garage Design	123
5.	Landscape	123
V.	<i>Crime Deterrence Design Guidelines</i>	137
A.	Overview	139
B.	Natural Surveillance	139
C.	Natural Territorial Reinforcement	140
D.	Natural Access Control	141
E.	Community Based Organizations	142
	Attachment "A" Approved Plant List	143

EXHIBIT LIST

1 Village 8 East Illustrative..... 9

2 Landscape Concept Plan..... 13

3 Plantable Retaining Wall Location Map..... 17

4 Perimeter Slope Concept 18

5 Retaining Wall Concepts at Otay Valley Road..... 20

6 Perimeter Wall at Preserve Concept..... 23

7 Primary Entry Concept Plan..... 25

8 Secondary Entry Concept Plan..... 27

9 Circulation Plan..... 29

10 Six Lane Prime Arterial..... 31

11 Four Lane Major Road..... 32

12 Four Lane Secondary Village Entry w/Median..... 36

13 Residential Promenade Street (Modified w/ Village Pathway)..... 39

14 Residential Promenade Street (Modified)..... 41

15a Parkway Residential..... 43

15b Parkway Residential (Single-Loaded)..... 44

16 Private Alley..... 45

17 Community Park Entry Drive..... 48

18 Trails Plan..... 49

19 Chula Vista Greenbelt Trail..... 50

20 Chula Vista Regional Trail..... 51

21 Village Pathway..... 52

22 Village Paseo – Cross Section..... 53

23 Community Park Paseo..... 54

24 Community Park Access Trail..... 55

25 Promenade Trail..... 56

26 Parks, Open Space, and Active Recreation Plan..... 58

27 Neighborhood (P-1) Park Concept Plan..... 59

28 Community Park (P-2) Concept Plan..... 62

29 Conceptual Private Recreational Facility Plan (CPF-1)..... 64

30 Conceptual Private Recreational Facility Plan (CPF-2)..... 65

31 Conceptual Private Recreational Facility Plan (CPF-3)..... 66

32	Conceptual Private Recreational Facility Plan (CPF-4).....	66
33a	Village Paseo – Plan View (West View).....	68
33b	Village Paseo – Plan View (East View).....	69
34	Fence and Wall Concept Plan.....	71
35	Fence and Wall Details.....	74
36	Lighting Concept Plan.....	77
37	Village Core Concept Plan.....	89
38	Typical Alley Plotting.....	110
39	44’ X 62’ Typical Courtyard Plotting	112
40	44’ X 62’ Typical Single Family Plotting.....	113
41	48’ X 65’ Typical Single Family Plotting “A”.....	114
42	48’ X 65’ Typical Single Family Plotting “B”.....	115
43	48’ X 75’ Typical Single Family Plotting “A”.....	116
44	48’ X 75’ Typical Single Family Plotting “B”.....	117
45	Typical Multi-Family Plotting “Two-Story Townhome”.....	126
46	Typical Multi-Family Plotting “Three-Story Townhome”.....	127
47	Typical Multi-Family Plotting “Three-Story Flats”.....	129
48	Typical Multi-Family Plotting “Five-Story Wrap”.....	131
49	Typical Multi-Family Plotting “Four Story Podium”.....	133

1. Introduction



- A. Design Plan Document
- B. Design Review Process



1. Introduction

A. Design Plan Document

1. Village Design Plan

The Otay Ranch General Development Plan (GDP) requires that a Village Design Plan be prepared for each village at the Sectional Planning Area (SPA) level of planning. The Village Design Plan guides planning and development by defining intended character and design elements of the village. It provides guidance for developers and designers in creating the village and it will be used by the City of Chula Vista to evaluate the village design.

The Village 8 East Design Plan guides the design of sites, buildings and landscapes within the village to ensure that the quality of the adopted urban design and architectural concepts established for the overall Otay Ranch community are maintained. The design plan identifies a theme for Village 8 East and delineates that identity through streetscape and landscape design, signage programs, and architectural and lighting guidelines. The design plan also identifies the village core design concepts that will implement Otay Ranch's planned pedestrian orientation.

This introductory section of the Village Design Plan provides a description of the design review process for development within Village 8 East. Section II describes the Village 8 East setting, land use plan, and the design theme of the village. The following sections describe the overall village design features and provide guidelines for the Village Core, and multi-family and single family residential developments.

2. Companion Documents

Otay Ranch GDP Overall Design Plan

The guiding framework plan is the Otay Ranch GDP Overall Design Plan. The Overall Design Plan provides general design guidelines appropriate to the pedestrian and transit-oriented village concepts envisioned for the community.

Village 8 East Planned Community (PC) District Regulations

The PC District Regulations establish land use development standards and appropriate regulations (zoning) for all construction within the Village 8 East project area. All proposed developments must adhere to the land uses, setbacks, building heights and similar regulatory criteria specified in the PC District Regulations.



1. Introduction

Village 8 East Core Master Precise Plan(s)

Village Core Master Precise Plan(s) will be prepared to provide additional design direction within the Village Core areas. A Master Precise Plan must be approved and adopted prior to the issuance of building permits for the first multi-family or mixed use development within the village core.

Separate Site Plans for the Mixed Use area will establish a more detailed framework for implementation of the Village Core, taking into consideration the Village Core Concept Plan, yet allowing flexibility for subsequent Individual Site Plan preparation should additional detail be necessary. Site Plans shall include the following:

- ❖ Building Design/Siting – Locations of proposed structures.
- ❖ Pedestrian/Vehicle/Transit Access – Identification of pedestrian, bike and vehicle access and circulation.
- ❖ Urban Character/Architecture – Identification of architectural style and key urban elements, including the transit station design.
- ❖ Lighting/Signing/Street Furnishings – Specifications for lighting fixtures, signage and street furnishings.

B. Design Review Process

1. Process

Formal design review processes have been established in the Village 8 East P.C. District Regulations to ensure all development within Otay Ranch is consistent with City of Chula Vista policies and development standards, Otay Ranch GDP Overall Design Plan, Village 8 East Design Plan and P.C. District Regulations. The process requires preparation of site, landscape and architectural plans that will be reviewed and approved by the Master Developer, City of Chula Vista Director of Development Services and/or City of Chula Vista Planning Commission, depending on the type of proposed project. The various review processes are described greater detail in Chapter X, Implementation & Administration, of the Village 8 East P.C. District Regulations.

2. Master Developer Review

The Village 8 East infrastructure and building lots will be developed by the Master Developer. Most of the elements described in Section II of this document, including landform grading, village entries and streets will be implemented by the Master Developer. The development of commercial and community-serving uses, multifamily and single family residential



1. Introduction

neighborhoods will be by Merchant Builders and/or builder(s) affiliated with the Master Developer. A design review process has been created to facilitate development by Merchant Builders within the unique village planning concepts of the Otay Ranch planned community.

The design review process includes two integrated procedures: preliminary design review by the Master Developer and review and approval by the City of Chula Vista. The process requires the Merchant Builder to formulate the design for their parcel and review it with the Master Developer prior to formal application and review by the City. The review requirements of the Master Developer are intended to ensure that the builder's intended product and designs meet the standards and criteria for the entire planned community. The Merchant Builder's design submittal package to the Master Developer would typically consist of preliminary site, landscape and architectural plans. Following review of the Merchant Builder's schematic design, a continuing exchange of information will be expected as the design is finalized and the City's review process begins. Final, approved plans shall be provided to the Master Developer.

3. City of Chula Vista Minor Design Review

The Development Services Director is authorized to approve applications as provided in Section 19.14.030 of the Chula Vista Municipal Code and described in greater detail in the Village 8 East P.C. District Regulations, Chapter X. The Minor Design Review process shall be used for all single-family detached units on lots of/or exceeding an average size of 2,700 square feet, including all proposals in the SF-4 zone designation and lots served by alleys in the RM-1 Zone which have tentative subdivision map approval. All proposals shall be consistent with the Village 8 East Planned Community District Regulations and Design Plan.

4. City of Chula Vista Major Design Review

All proposals for single-family detached units on lots less than an average size of 2,700 square feet (except detached alley homes), all attached products within the RM-1 and RM-2 zone designations, and all proposals for non-residential land uses except (except public parks and private recreation areas), are subject to the Major Design Review process as described in CVMC Sections 19.14.581 (through 19.14.600). The Planning Commission shall review plans as required by the Village 8 East P.C. District Regulations, Chapter X, Implementation & Administration. Findings shall be based on the City's Design Manuals and this Village 8 East Design Plan. All Public Parks shall be approved by the Parks and Recreation Commission.

5. Appeals

An appeal to the City Council on a decision of the Planning Commission may be filed as provided for in CVMC Section 19.14.583.

II. Village Structure



- A. Village Identity
- B. Village Perimeters
- C. Entryways/Identity Concept
- D. Streetscape Design Concept
- E. Non-Vehicular Circulation
- F. Village Park Concepts
- G. Wall & Fence Concepts
- H. Lighting Concepts

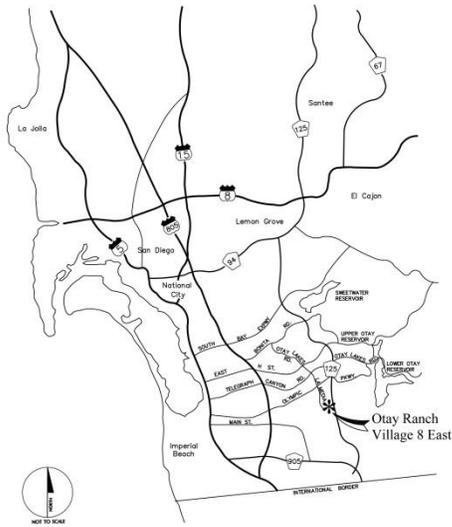


11. Village Structure

A. Village Identity

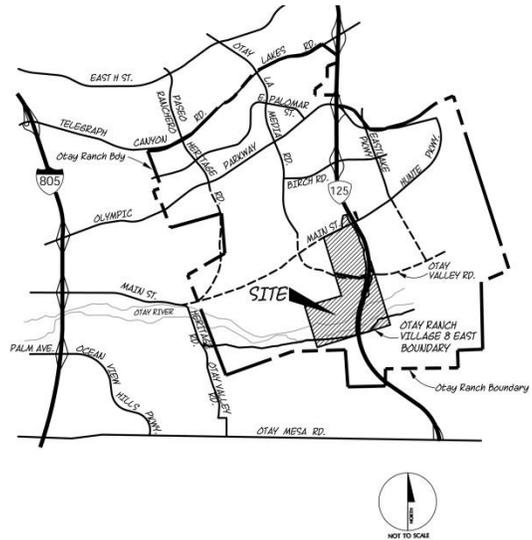
1. Village Setting and Design Influences

Village 8 East is located on a mesa north of the Otay River Valley within the Otay Valley Parcel of Otay Ranch. The site slopes from north to south and provides view opportunities across the Otay River Valley to the south and mountains to the east.



Otay Ranch Village 7 is located to the north, the future Village 8 West Area is located to the west, SR-125 forms the eastern boundary and the Otay River Valley and future community park are to the south. Village 8 East provides the synergy and population base to support the community-serving Village 8 West Town Center. A Rapid Bus Route is planned along Main Street and a transit stop/station is proposed in the Village 8 West Town Center just west of Village 8 East. The village core is located in the northern portion of Village 8 East, placing neighborhood serving mixed use commercial, a public neighborhood park and an elementary school

site within walking distance of a majority of village residents. A large community park is planned south of Village 8 East, within the Otay Valley Regional Park. Pedestrian linkages are planned between the southern residential neighborhoods and the community park.





11. Village Structure

2. Pedestrian/Multi-Modal Orientation

The Otay Ranch pedestrian and multi-modal oriented design concepts have been implemented in the village design. Village 8 East has village-serving land uses located within a grid street pattern as a basis for the pedestrian-oriented village design. The grid street pattern provides a variety of circulation routes through the village. The circulation system includes sidewalks separated from the roadway by parkways, tree-lined walkways, pedestrian-scaled lighting and other amenities. The pedestrian circulation system incorporates promenade trails, a Village Pathway through the village core and connections to the City's regional trail system. A pedestrian bridge over SR-125 will provide off-street pedestrian and bicycle connections to neighboring Village 9 and eastward to the University Planning Area. The circulation system may include local bus service extending through the village with strategically located stops. In addition, a community serving Rapid Bus route is proposed along Main Street, with a transit stop proposed in the Village 8 West Town Center.



Bicycle circulation is also planned within Village 8 East. Class 2 Bike Lanes are planned along Main Street and Otay Valley Road and within Village 8 East. Bicyclists have the option of utilizing the off-street Village Pathway or on-street Class 2 Bike Lanes which provide connections through the village core and to the pedestrian bridge linking Village 8 East to Village 9. Sharrows will be utilized on the Modified Residential Promenade Street south of Otay Valley Road connecting residential neighborhoods to the Bike Lanes and Routes provided.



11. Village Structure

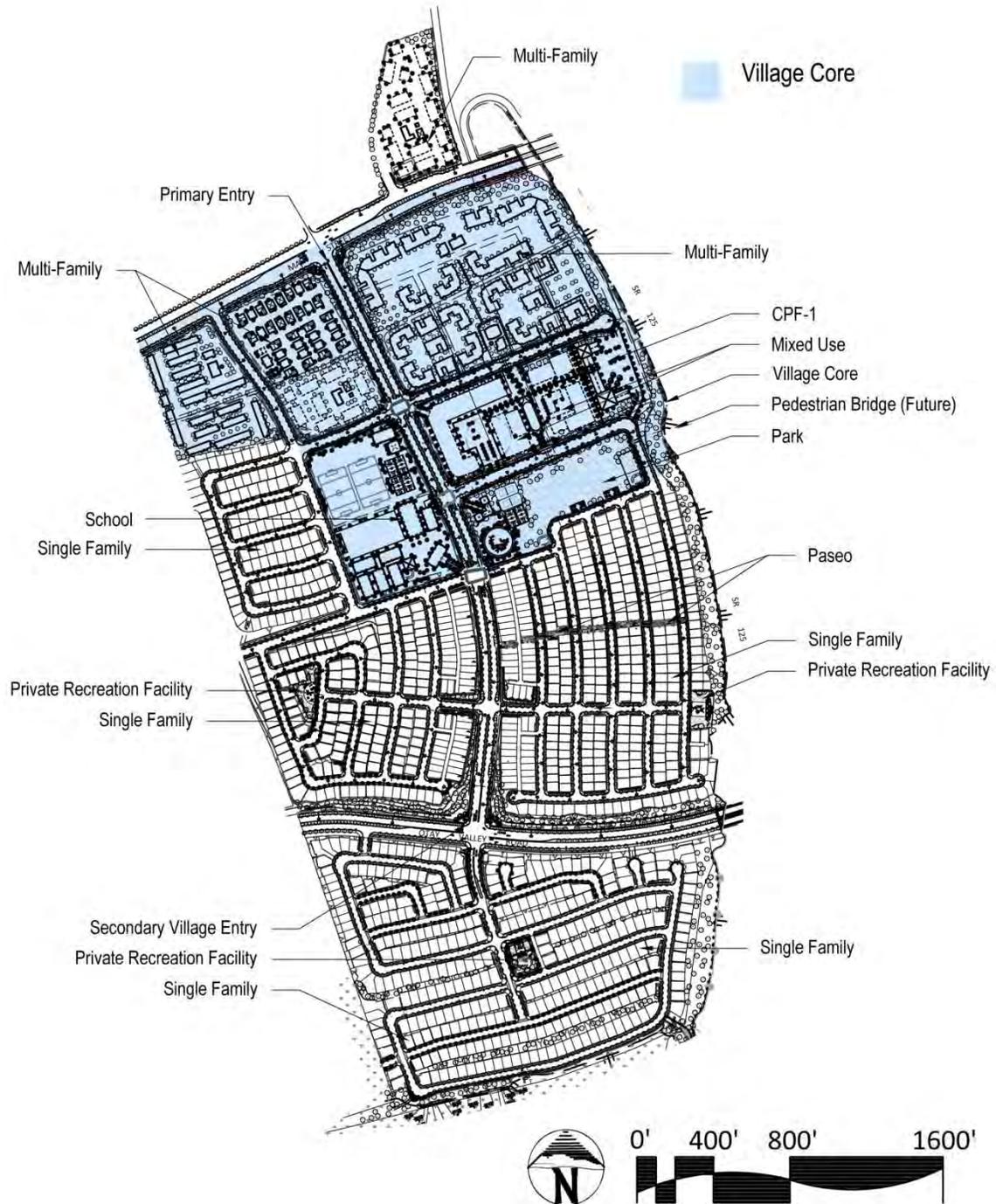


Exhibit 1
Village 8 East Illustrative Plan



11. Village Structure

3. Urban Theme and Character

European architectural styles provide the inspiration for the Village 8 East Design Plan. European architecture is represented in Mediterranean, Monterey, Spanish and California Craftsman styles.



The defining design features of European architecture are particularly applicable to the pedestrian-oriented design of the Village 8 East Mixed Use Village Core. The Village 8 East "Main Street" will be designed with arcades and outdoor seating and gathering spaces. Design elements may include awnings, trellises and a variety of street trees to define and highlight the created spaces. In addition to trees, the landscaping may include planting areas with a variety of colorful shrubs, groundcovers, and vines, as well as potted and hanging accent plants. Architecture in the village core commercial area will allow for variety, but maintain a strong basis in European-inspired architecture. This design theme will extend to village-serving buildings such as the elementary school, community purpose facilities and recreational facilities.

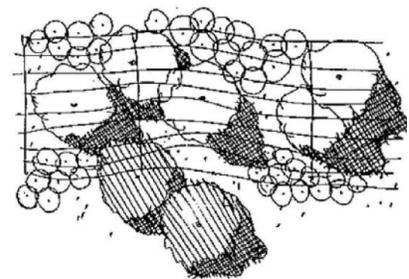
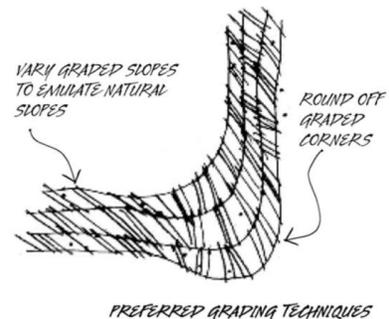
4. Landform Grading

The natural sloping landform provides the opportunity to tier the site and create a fairly level, pedestrian-oriented village core. On the north side of the village, the topography slopes from north to south from Main Street to the Otay River Valley. The Community Park and Otay River Valley preserve open space is located below the village to the south. The site design of the village follows the undulating landform of the canyon.

Building sites have been created in terraces and streets are located within the topography to adhere to City horizontal and vertical curve standards.

The design plan for the village strives to minimize grading and create an aesthetically pleasing landform. The following are guidelines for grading and slope design:

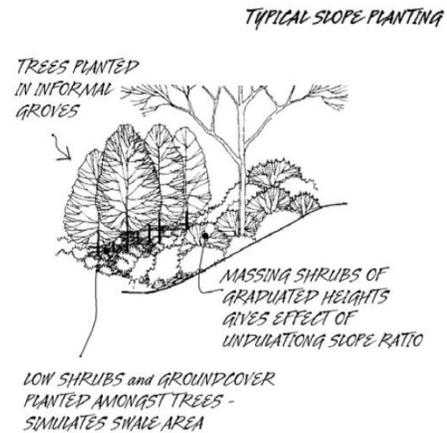
- ❖ Create elevation changes within the property that strive for a balance of cut and fill grading.
- ❖ Use grade changes to optimize views and a sense of spaciousness.





11. Village Structure

- ❖ Use grade changes between different land uses where separation and buffering is desired.
- ❖ Avoid, where possible, creating slopes over 25 feet in height to minimize a sense of enclosure, particularly in residential rear yards.
- ❖ Use landform grading techniques, where appropriate, in slopes over 25 feet in height.
- ❖ Use varied-height trees, shrubs and groundcovers to undulate the surface of slopes.
- ❖ Minimize surface runoff and erosion potential by planting slopes with low water consumptive and drought tolerant plants.
- ❖ Use state-of-the-art erosion control, irrigation and water management practices to protect slopes.



5. Landscape Concept

The landscape concept is to integrate Village 8 East with the overall Otay Ranch design theme to create a distinct internal village design theme. The Otay Ranch design theme is addressed by extending established arterial streetscape designs and perimeter slope landscape designs into the Village 8 East landscape plan. Within the village, the landscape theme is an assembly of European influences on California's architectural history. Derivatives of the European style including Spanish, Mediterranean, Monterey and California Craftsman architecture will compliment the landscape.



The use of traditional Mediterranean trees such as Date Palms, Olive Trees, Cypress Trees and other stately evergreens provide the key linkage between the neighborhoods. Ornate shrubs, groundcovers and vines such as Bougainvillea, Lavender, Rosemary and other vibrant plant materials,



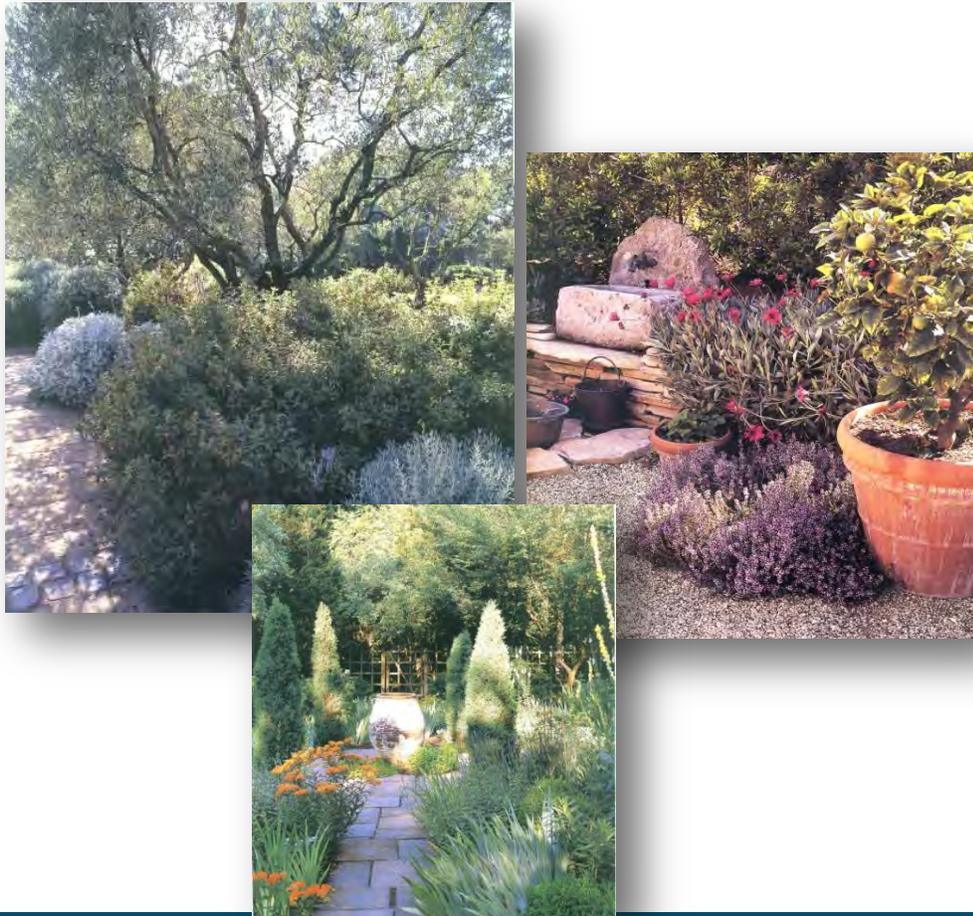


11. Village Structure

accentuate important destinations. The plant palette is a collection of water efficient material that connects the diversity in European-inspired architectural styles.

The European-inspired design theme will be created through a comprehensive landscape plan that addresses the design of outdoor spaces, features, furnishings and the use of a wide variety of trees, shrubs and groundcovers. The landscape concept is illustrated in the provided Landscape Concept Plan (Exhibit 2). Descriptions of landscapes within zones are provided in the following sections. Additional information about the Village 8 East landscape plan is provided in the Preserve Edge Plan. The Village Landscape Master Plan and the Village Core Master Precise Plan(s), developed after the SPA Plan is approved, will provide more detailed descriptions of the Village landscapes. See Village 8 East Fire Protection Plan, Attachment 2, Approved Plant List, for additional palette information.

The Village 8 East landscape theme is an assembly of Mediterranean influences on California's architectural history. Village-wide architectural styles, including Spanish, California Craftsman, Monterey and Mediterranean will blend seamlessly with the landscape, providing an elegant and cohesive community.





11. Village Structure

AREA KEY

- | | |
|--|---|
| | 1. VILLAGE ENTRIES |
| | 2. MAIN STREET |
| | 3. OTAY VALLEY ROAD |
| | 4. INTERIOR ARTERIAL STREETS A & B |
| | 5. INTERIOR RESIDENTIAL PARKWAYS, STREETS, AND ALLEYS |
| | 6. MIXED USE, MULTI-FAMILY, AND SCHOOL |
| | 7. PUBLIC PARKS & PRIVATE RECREATION AREAS |
| | 8. SINGLE FAMILY RESIDENTIAL |
| | 9. FUEL MODIFICATION |
| | 10. SR-125 INTERFACE |
| | 11. MSCP PRESERVE |





11. Village Structure

B. Village Perimeter and Slope Design

Village 8 East landscape is compatible with the established Otay Ranch design theme visible from the village and the City's Water Conservation Ordinance. Perimeter slopes are one of the dominant landscapes visible from public view. Distinct landscape designs have been developed for the project perimeters: Main Street to the north, SR-125 to the east and the Otay River Valley to the south. The following describes the design concepts and primary plant species that will create slopes complementary to the overall Otay Ranch theme. The design concepts and plant palettes described below are consistent with the Village 8 East Preserve Edge Plan and Otay Valley Regional Park Private Development Guidelines and are subject to requirements of the Fire Protection Plan University Villages – Village 8 East and City of Chula Vista Landscape Manual. Signage within areas adjacent to the MSCP shall be provided and must meet the requirements of the City of Chula Vista and Preserve Owner/Manager.



1. Plantable Retaining Wall Systems

Plantable retaining wall systems are planned at both the perimeter and at internal slopes within Village 8 East. (See Exhibit 3, Plantable Retaining Wall Location Map) The plantable wall system offers a fully plantable face that provides an opportunity to soften the visual impact of large retaining structures. Plantable walls transform grade transitions into a vegetated “steepened slope” instead of a concrete scar across a hillside. Per OVRP Design Standards and



11. Village Structure

Guidelines, Section 5.3.2, “If large retaining walls are necessary then they should be the type of construction that allows for planting on the walls...” Plantable walls are proposed at the southern edge of Village 8 East and along Otay Valley Road and SR-125. Vegetation covering the face of the retaining walls will create seamless transitions between natural areas, landscaped slopes and plantable retaining walls, and create enhanced visual experiences for Otay Valley Regional Park users. The Geogrid component of the plantable wall system may not encroach into the public right of way.





11. Village Structure

2. Perimeter Slopes

The 100' Brush Management Zone (BMZ) occurs at the southern edge of Village 8 East. Manufactured slopes and a single-loaded residential street are proposed within this zone. Retaining walls are planned at the toe of slope outside of the Preserve Area¹. Consistent with the Chula Vista MSCP Subarea Plan and Village 8 East Preserve Edge Plan, a 100' BMZ and Preserve Edge is also provided, outside of the Preserve. Native plants (non-irrigated) will be planted on manufactured slopes within half of the Preserve Edge area. However, consistent with the Chula Vista MSCP, the first 50' of the BMZ will be irrigated and planted with native-compatible plant species. Temporary irrigation may be utilized outside the first 50' of the BMZ during plant establishment, subject to approval of the Development Services Director. The Preserve Edge Plan provides detailed irrigation requirements. The plant palette provided below is subject to the requirements of the Chula Vista MSCP Plan, Preserve Edge Plan and the Village 8 East Fire Protection Plan and the approval of the Chula Vista Development Services Director. The Plantable Retaining Wall Location Map is provided below (Exhibit 3). Slope conditions at the project perimeter are described in the following sections.

The OVRP Standards and Guidelines, Section 5, Private Development Guidelines include principles for private development adjacent to the OVRP. Consistent with these principles, manufactured perimeter slopes adjacent to the OVRP complement and do not negatively impact the park by utilizing the following techniques:

- Perimeter slopes follow the existing topography, blending the site into natural topography and preserving natural drainages between Village 8 East and the Otay River Valley.
- Landscape buffers are planted with native plant materials, consistent with the Village 8 East Fire Protection Plan and Preserve Edge Plan.
- Retaining walls are planted and irrigated to avoid large expanses of blank walls and blending the retaining walls into the natural setting, making them virtually undetectable with full landscape cover. Wherever possible plantable retaining walls are split into two sections, providing opportunities to screen the walls with native landscaping in front of the wall and reduce single wall heights.
- Non-residential fencing at the perimeter is typically post & rail, permitting views to and from the park.
- Residential fencing at the perimeter is typically, 2' of block with 4' of view fencing, permitting views to and from the park.
- Lighting at the perimeter must be directed away from the Preserve/OVRP by placing light fixtures in appropriate locations and shielding lamps.

¹The geogrid associated with the Plantable Retaining Walls must not encroach into the public right-of-way or private residential lots.



11. Village Structure

3. Perimeter Slopes @ SR-125

This landscape zone occurs adjacent to the SR-125 corridor. Transition planting will occur on irrigated/manufactured slopes with an indigenous landscape with taller, open trees at the top of slopes and lower trees and shrubs at mid slope along this existing highway.

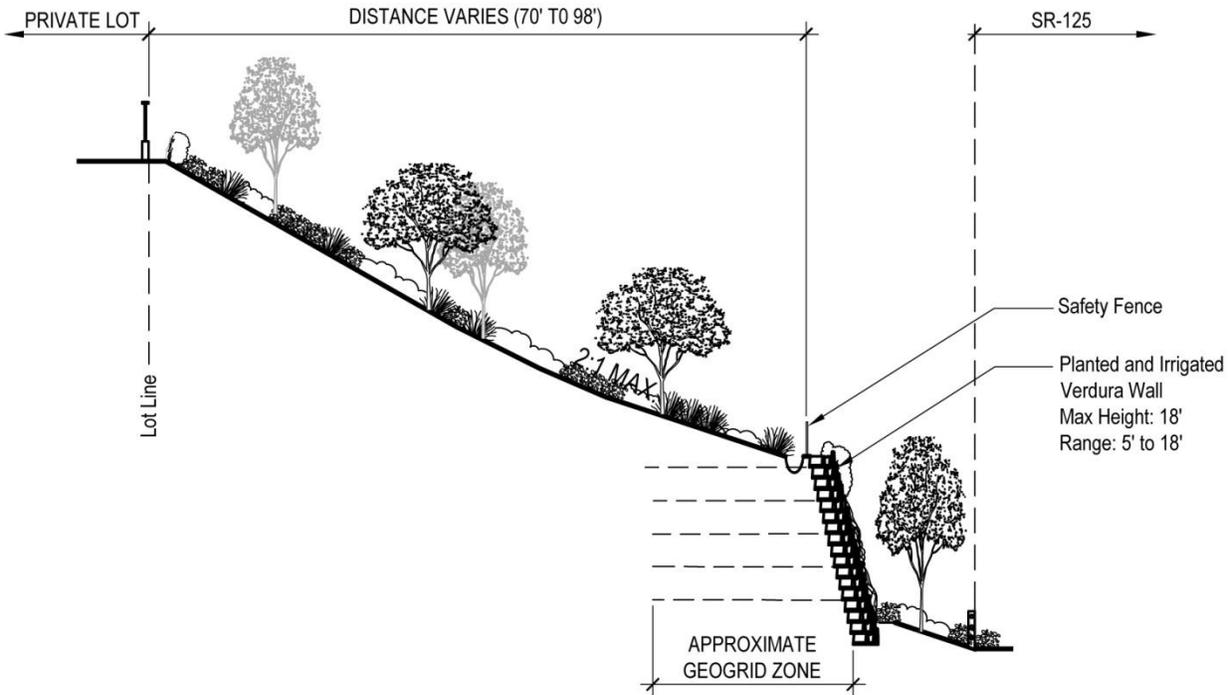


Exhibit 4
Perimeter Slope Concept

Note: Plantable wall location, height, setback and geogrid zone are conceptual, subject to final engineering design.

Plant Palette:

Slope trees:

Jacaranda mimisifolia
Metrosideros excelsa
Quercus agrifolia
Rhus lancea
Tristania conferta

Jacaranda
 New Zealand Christmas Tree
 Coast Live
 African Sumac
 Brisbane box



11. Village Structure

Slope Shrubs & Groundcovers:

<i>Aloe species</i>	Aloe
<i>Agave attenuata</i>	Century Plant
<i>Bougainvillea species</i>	Bougainvillea
<i>Ceanothus species</i>	Carmel Creeper
<i>Cistus species</i>	Rock Rose
<i>Cotoneaster dammeri</i> 'Lowfast	Bearberry Cotoneaster
<i>Echium fastuosum</i>	Pride of Madeira
<i>Heteromeles arbutifolia</i>	Toyon
<i>Limonium perezii</i>	Sea Lavender
<i>Myoporum parvifolium</i> Putah Creek	No Common Name
<i>Rosmarinus officinalis</i>	Rosemary

Hydroseed Mix (Slopes):

<i>Camissonia cheiranthifolia</i>	Beach Evening Primrose
-----------------------------------	------------------------

Hydroseed Mix (Plantable Retaining Walls):

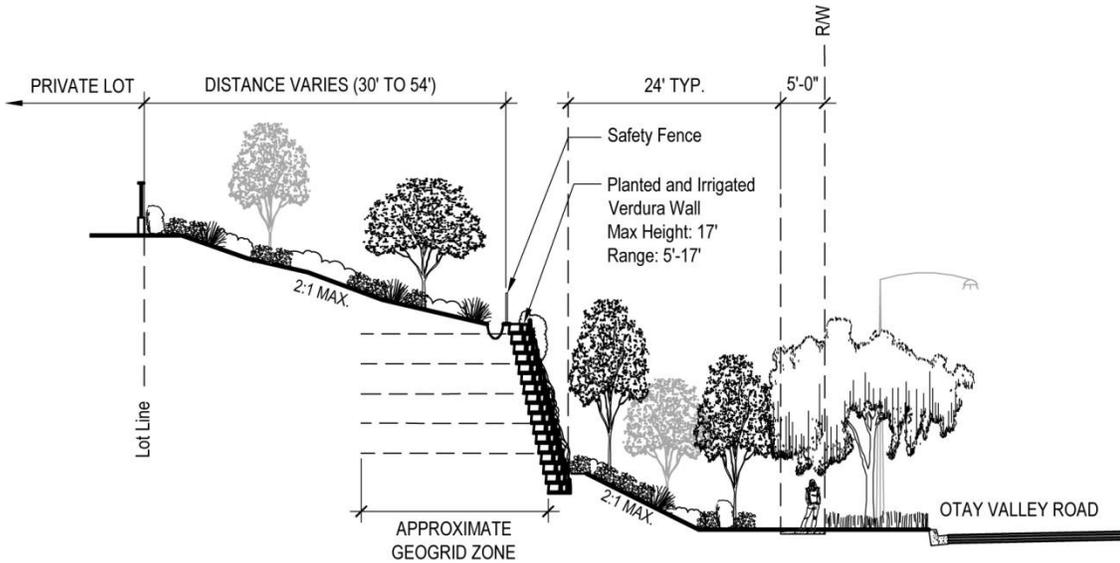
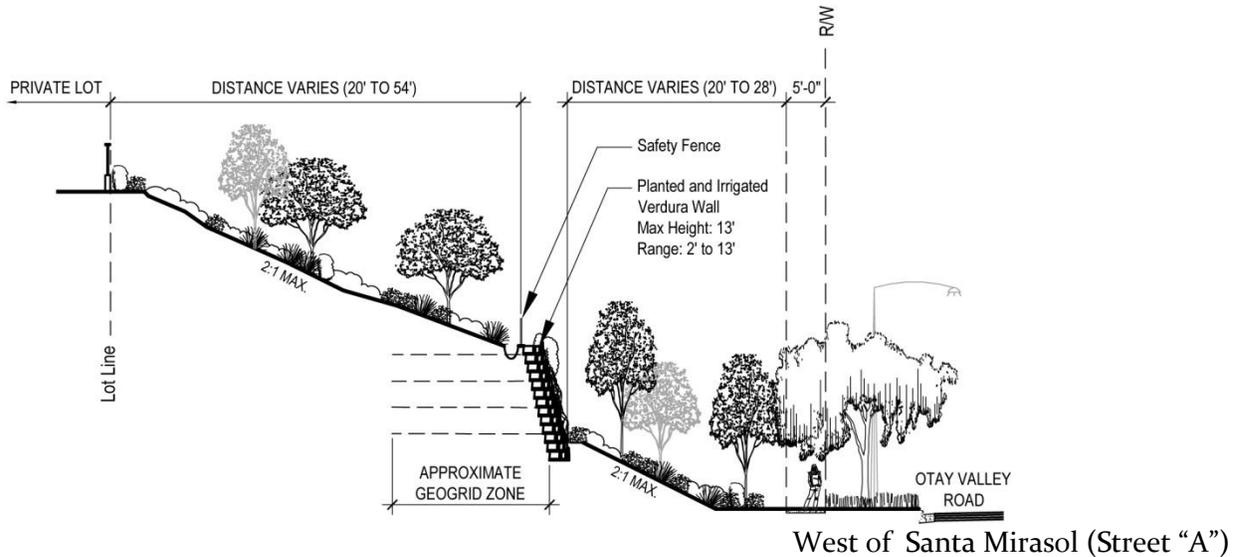
<i>Camissonia cheiranthifolia</i>	Beach Evening Primrose
<i>Eriophyllum confertiflorum</i>	Golden Yarrow
<i>Lasthenia californica</i>	California Gold Rush
<i>Mimulus aurantiacus</i>	Sticky Monkey Flower
<i>Sisyrinchium bellum</i>	Western Blue-Eye Grass



11. Village Structure

4. Slopes @ Otay Valley Road

This corridor will be planted and irrigated with an indigenous landscape palette. More ornamental shrubs and trees will be utilized at key intersections to create a sense of arrival and entry.



East of Santa Mirasol (Street "A")

Exhibit 5

Retaining Wall Concepts at Otay Valley Road

Note: Plantable wall location, height, setback and geogrid zone are conceptual, subject to final engineering design.



11. Village Structure

Plant Palette:

Slope Trees.

<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Quercus agrifolia</i>	Coast Live
<i>Rhus lancea</i>	African Sumac
<i>Tristania conferta</i>	Brisbane box

Shrubs & Groundcovers:

<i>Agave attenuata</i>	Century Plant
<i>Aloe species</i>	Aloe
<i>Bougainvillea species</i>	Bougainvillea
<i>Ceanothus species</i>	Carmel Creeper
<i>Cistus species</i>	Rock Rose
<i>Cotoneaster dammeri</i>	Bearberry Cotoneaster
'Lowfast	
<i>Echium fastuosum</i>	Pride of Madeira
<i>Heteromeles arbutifolia</i>	Toyon
<i>Limonium perezii</i>	Sea Lavender
<i>Myoporum parvifolium</i> Putah Creek	No Common Name
<i>Phormium tenax</i>	New Zealand Flax
<i>Rosmarinus officinalis</i>	Rosemary
<i>Scenecio mandraliscae</i>	Kleina
<i>Yucca schidigera</i>	Mojave Yucca
<i>Yucca whipplei</i>	Foothill Yucca

Hydroseed Mix:

<i>Camissonia cheiranthifolia</i>	Beach Evening Primrose
<i>Eschscholzia maritima</i>	Coastal California Poppy
<i>Limonium californicum</i>	Coastal Statice

Hydroseed Mix (Plantable Retaining Walls):

<i>Camissonia cheiranthifolia</i>	Beach Evening Primrose
<i>Eriophyllum confertiflorum</i>	Golden Yarrow
<i>Lasthenia californica</i>	California Gold Rush
<i>Mimulus aurantiacus</i>	Sticky Monkey Flower
<i>Sisyrinchium bellum</i>	Western Blue-Eye Grass



11. Village Structure

5. Village Perimeter @ Preserve

Consistent with the Chula Vista MSCP Subarea Plan, OVRP Design Standards Guidelines (Section 5, Private Development Guidelines) and Preserve Edge Plan, a 100' brush management zone/Preserve Edge is



provided, outside of the Preserve. Native plants (non-irrigated) will be used on manufactured slopes within half of the Preserve Edge area. However, consistent with the Chula Vista MSCP, the first 50' of the Brush Management Zone will be irrigated and planted with native-compatible plant species. Temporary irrigation may be utilized outside the first 50' of the Brush Management Zone during the plant establishment period, subject to approval of the Development Services Director. However, consistent with the Village 8 East Fire Protection Plan, the plantable retaining walls must be permanently irrigated. The Preserve Edge Plan provides detailed irrigation requirements. The "Approved Plant List" is provided in Attachment "A" to this document and is subject to the requirements of the Fire Protection Plan and the approval of the Chula Vista Development Services Director.



11. Village Structure

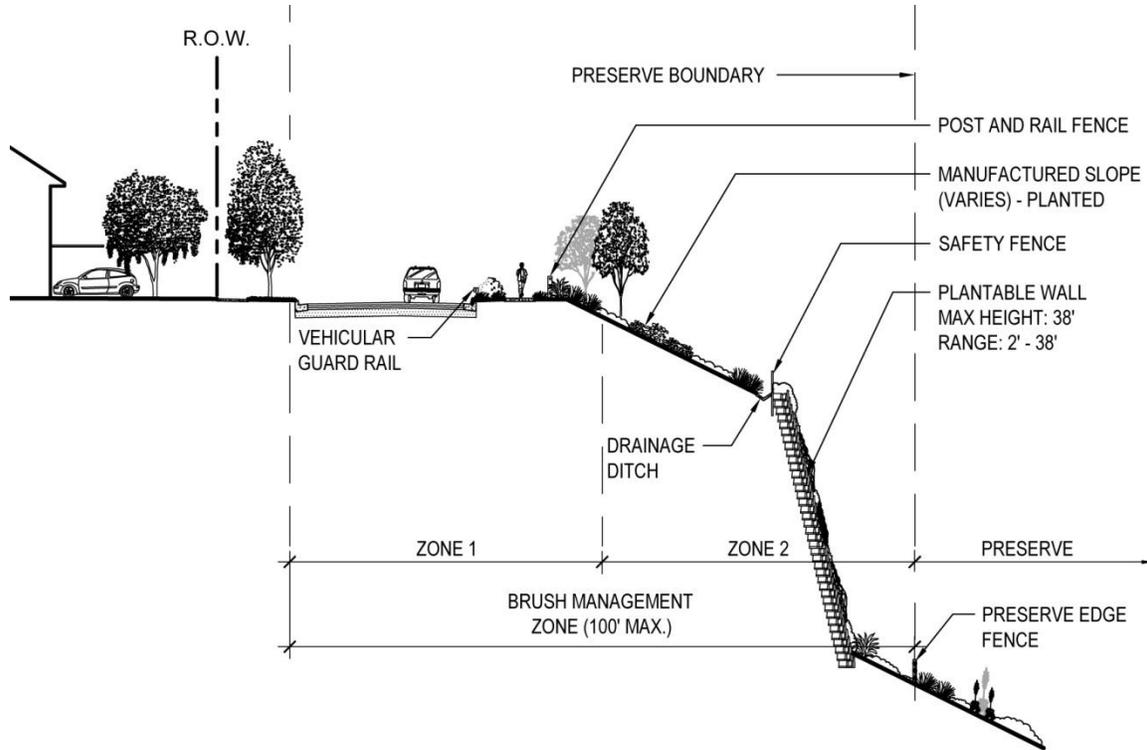


Exhibit 6
Perimeter Wall at Preserve Concept

Note: Plantable wall location, height, setback and geogrid zone are conceptual, subject to final engineering design.

FUEL MODIFICATION ZONES 1 AND 2

Individual trees may be planted in Zone #1 at an average rate of no less than one tree per 200 lineal feet, no closer than 15 feet from a property line or top of slope (whichever is further) and a minimum of 30 feet between mature canopies. Trees are also permitted adjacent to single loaded streets, major parkways or 50' from top of slope. Planting and irrigation requirements are provided in the Fire Protection Plan and Preserve Edge Plan. Slopes adjacent to the MSCP Preserve must be planted with native species and are subject to the Preserve Edge Plan and the "Approved Plant List" provided in Attachment A to this document.



11. Village Structure

C. Entryways/Identity Concept



Entry landscape, features and monument signs identify the village and contribute to the establishment of the village design theme. A hierarchy of entries has been established to help direct visitors to community, village and neighborhood areas of the village. Descriptions of these entries follow.



1. Primary Entry – Main Street/Santa Mirasol (Street “A”)

The primary village entry is planned at Main Street and Santa Mirasol (Street “A”). This entry brings residents and visitors through the heart of the Village Core.

A variety of plant species will be used to complement the European-inspired architectural theme and image of Village 8 East. The landscape palette for the median and parkways is provided below.





11. Village Structure





11. Village Structure

Plant Palette:

Trees:

<i>Calocedrus decurrens</i>	Incense Cedar
<i>Cupressus macrocarpa</i>	Monterey Cypress
<i>Cupressus macrocarpa</i> 'Donard Gold'	Donard Gold Monterey Cypress
<i>Cupressus sempervirens</i> 'Glauca'	Blue Italian Cypress
<i>Ficus robinosa</i>	Rustyleaf Fig
<i>Phoenix dactylifera</i> 'Medjool'	Medjool Date Palm

Accent Shrubs & Groundcovers:

<i>Agapanthus africanus</i>	Lily-of-the-Nile
<i>Agave attenuata</i>	Century Plant
<i>Aloe species</i>	Aloe
<i>Bougainvillea species</i>	Bougainvillea
<i>Cordyline australis</i> 'Atropurpurea'	Bronze Dracena
<i>Dracena draco</i>	Dragon Tree
<i>Echium candicans</i>	Pride of Madeira
<i>Grevillea</i> 'Noellii'	Grevillea
<i>Dietes bicolor</i>	Fortnight Lily
<i>Juniperus chinensis</i> 'Blue Point'	Blue Point Juniper
<i>Lantana montevidensis</i>	Trailing Lantana
<i>Limonium perezii</i>	Sea Lavender
<i>Myoporum parvifolium</i> Putah Creek	No Common Name
<i>Phormium tenax</i>	New Zealand Flax
<i>Rosmarinus officinalis</i>	Rosemary
<i>Scenecio mandraliscae</i>	Kleina

Ornamental Grasses:

<i>Carex species</i>	Sedge
<i>Dianella species</i>	Flax Lily
<i>Festuca glauca</i>	Blue Fescue



11. Village Structure

2. Secondary Village Entry – Otay Valley Road and Santa Mirasol (Street “A”)

The secondary village entry on Santa Mirasol (Street “A”) at Otay Valley Road provides access to the both the northern and southern Village 8 East neighborhoods.

The entry is framed by large landscaped slopes rising above the street intersection on the north side. A plantable wall creates a backdrop for the secondary entry. The slopes are informally planted with trees and shrubs derived from the historic rural theme of Otay Ranch.

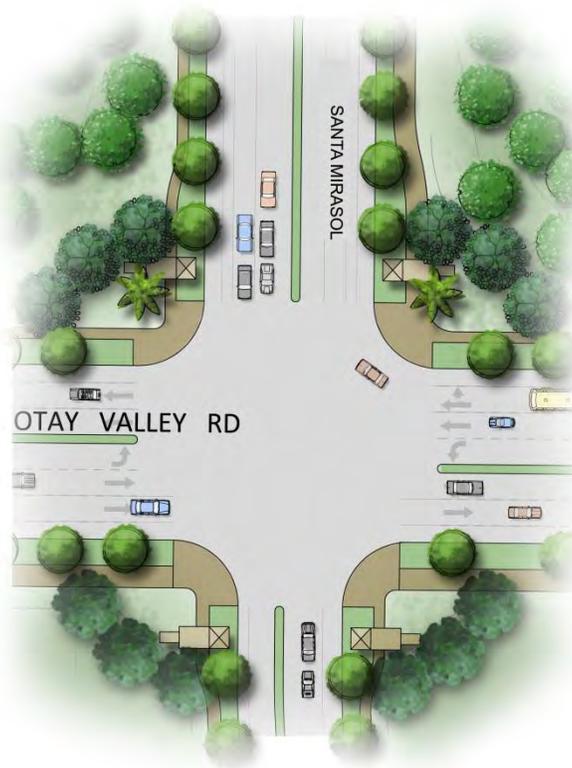


Exhibit 8
Secondary Entry Concept Plan

Plant Palette:

See Primary Entry palette above.



11. Village Structure

D. Streetscape Design Concept

Streetscapes are an important component in creating the village design theme. Streetscapes identify the edges of Village 8 East and major points of entry and serve as the unifying design theme. The streetscapes for the surrounding major streets will adhere to the Otay Ranch “ranch theme” landscape and must comply with the City’s Water Conservation Ordinance and Shade Tree Policy. Within the village, the design of the streetscapes will emphasize the village pedestrian-oriented concept by providing tree-shaded walkways, lighting, and shortened or enhanced crosswalks. The Circulation Plan shows the surrounding and internal street designations for the village. A description of each street classification and cross sections are provided to illustrate the conceptual street landscape plan.





11. Village Structure

LEGEND

- █ 6 LANE PRIME ARTERIAL
- █ SECONDARY VILLAGE ENTRY W/MEDIAN
- █ FOUR LANE MAJOR
- █ MODIFIED RESIDENTIAL PROMENADE STREET W/ VILLAGE PATHWAY (79' EAST OF ST. "A", 71' WEST OF ST. "A")
- █ MODIFIED 2 LANE SECONDARY VILLAGE ENTRY W/ MEDIAN
- █ MODIFIED RESIDENTIAL PROMENADE STREET
- █ SINGLE LOADED RES. PARKWAY STREET
- █ COMMUNITY PARK ENTRY DRIVE

NOTE: ALL OTHER STREETS ARE 58' RESIDENTIAL PARKWAY STREETS

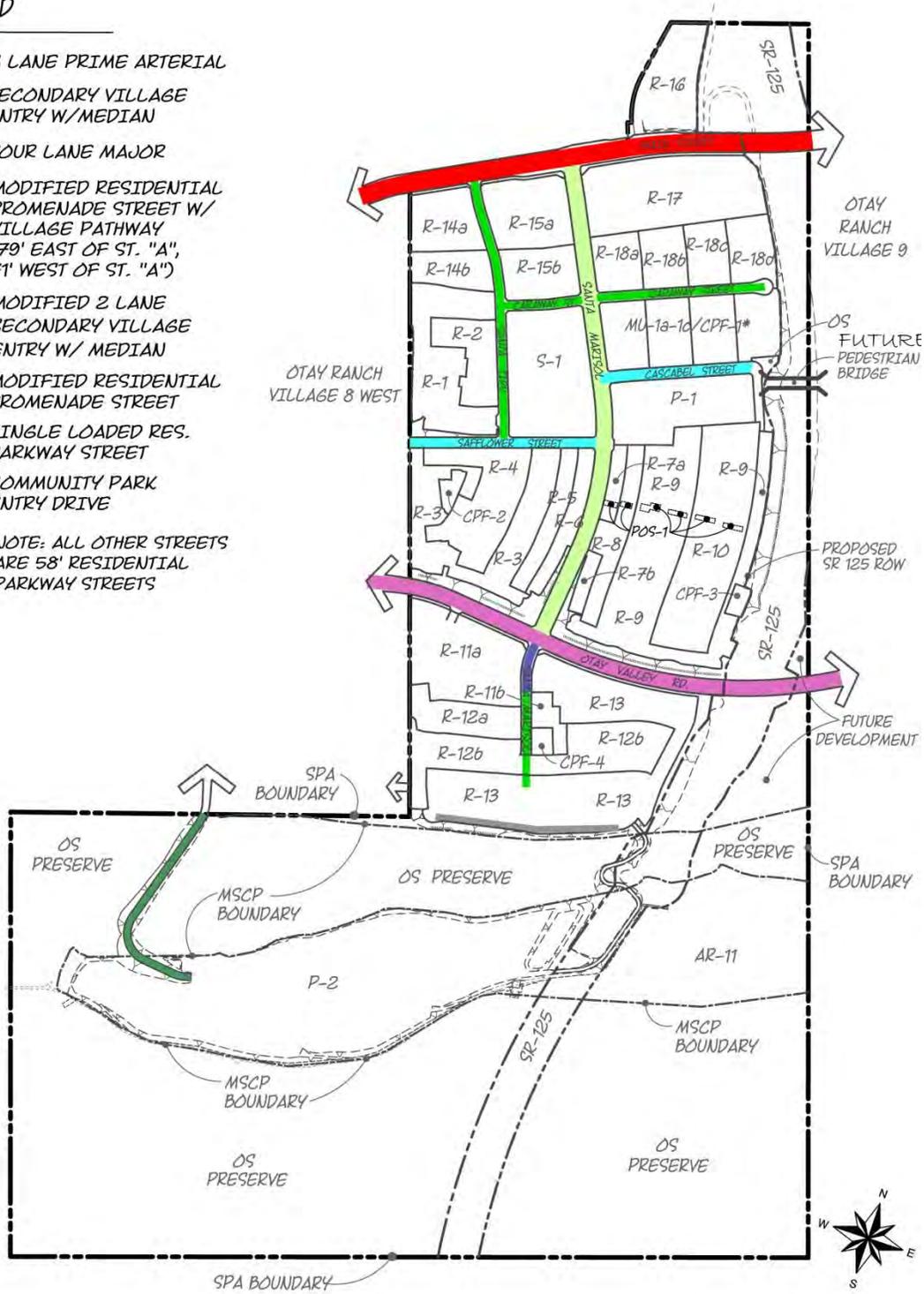


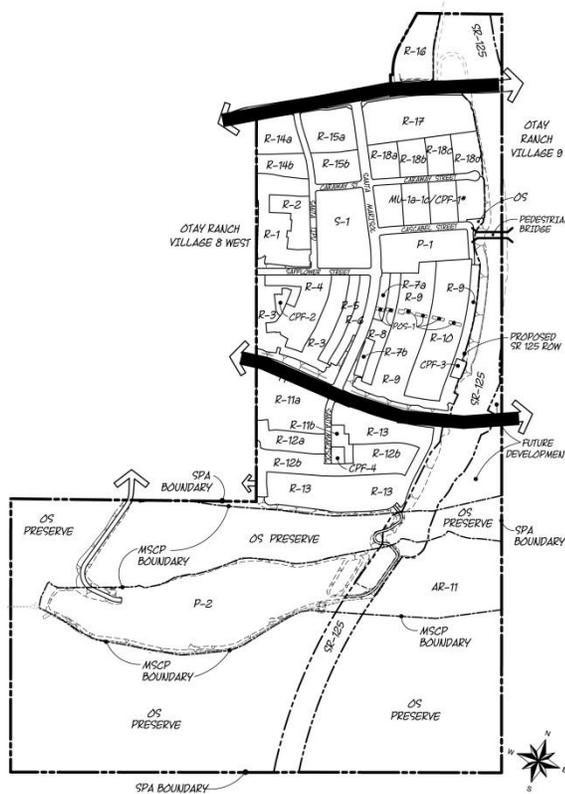
Exhibit 9
Circulation Plan



11. Village Structure

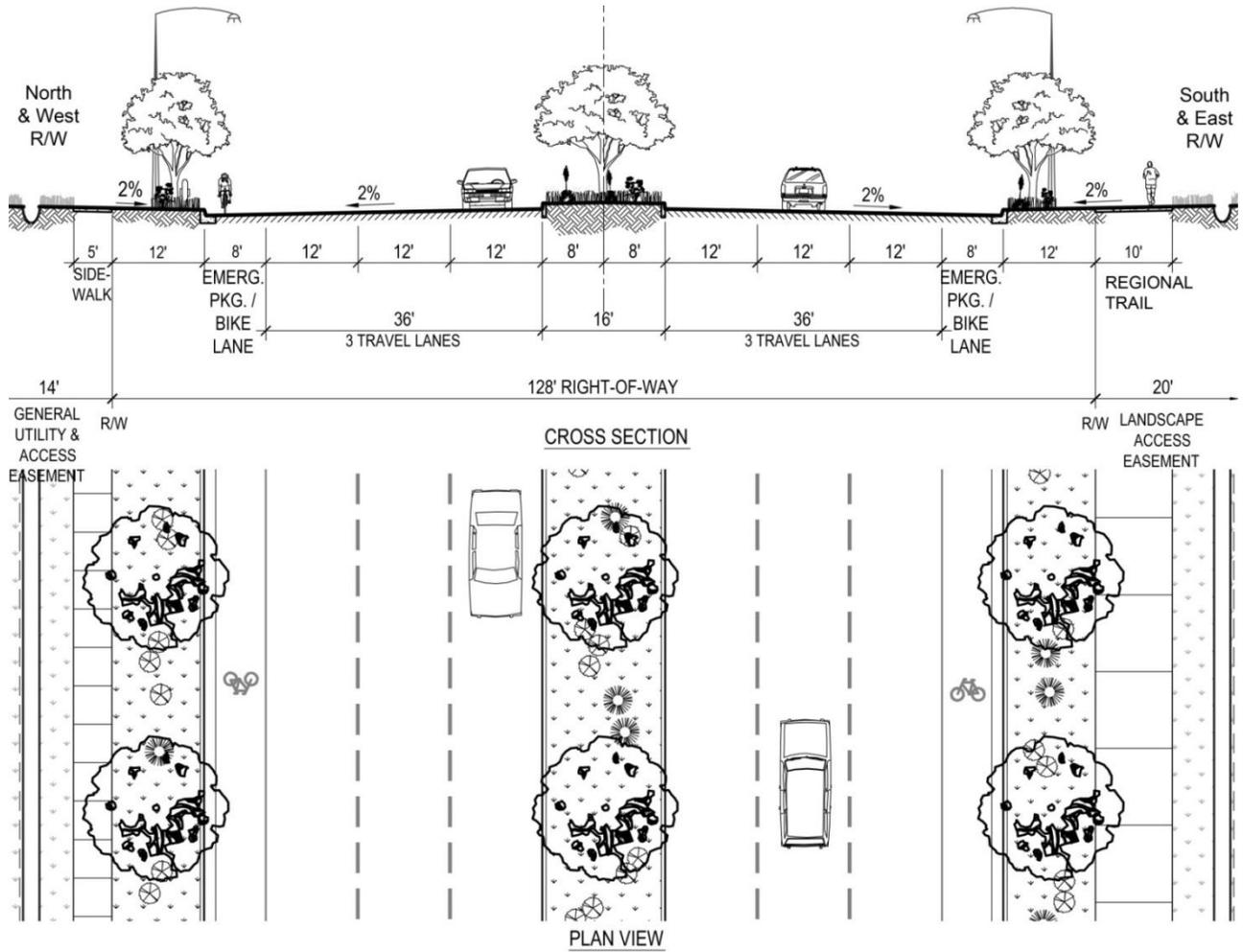
1. Six-Lane Prime Arterial - Main Street

The landscape design will be compatible with the established Otay Ranch design themes for arterial streets and the City's Water Conservation Ordinance. Trees will be planted in the parkways and medians in consistently spaced rows. Pursuant to the GDP, an average 75' landscape buffer is provided along Main Street, a Scenic Roadway.



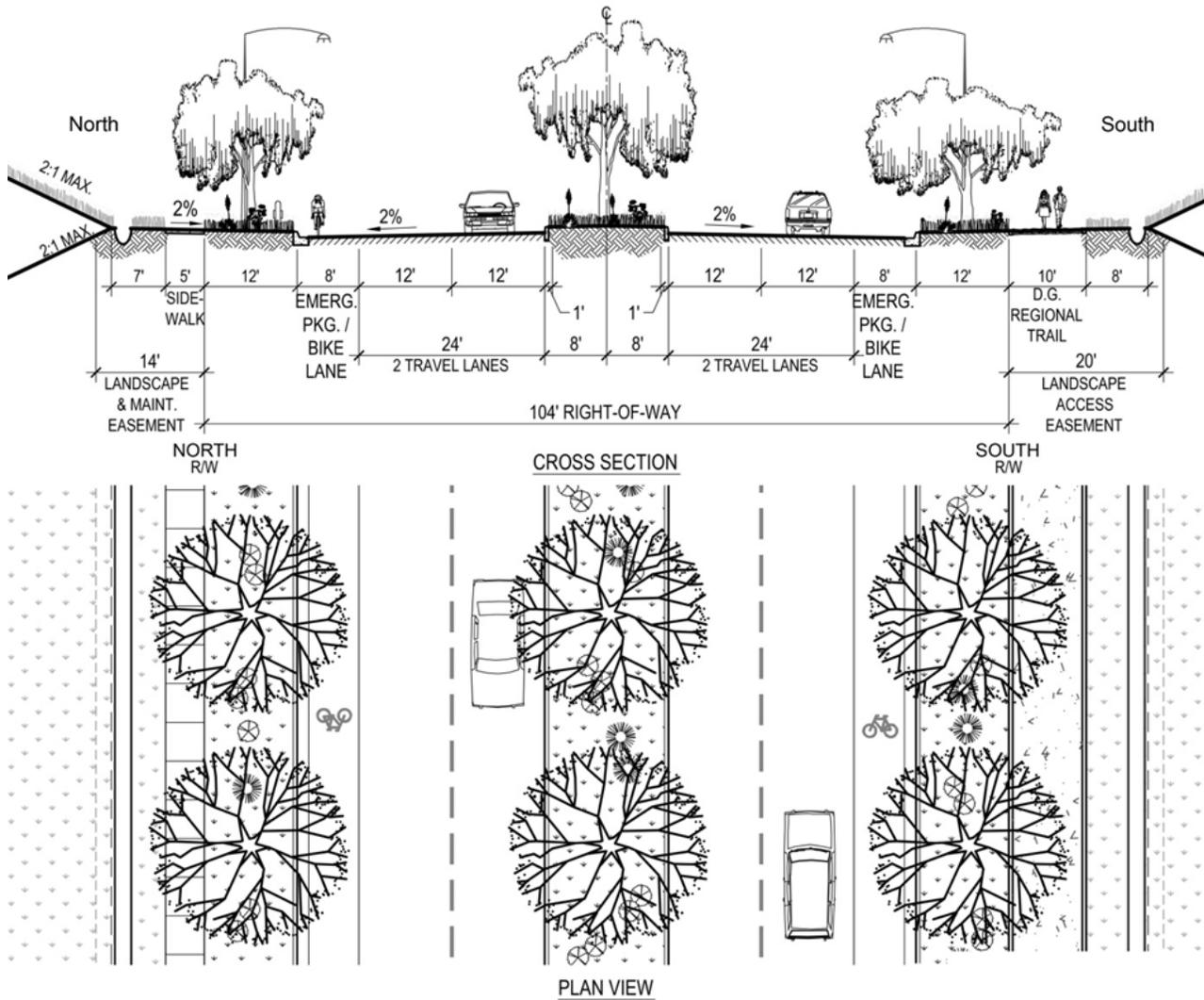


11. Village Structure





11. Village Structure





11. Village Structure

Plant Palette:

Street trees:

Koelreuteria bipinnata

Chinese Flame Tree

Parkway Shrubs, Groundcovers & Ornamental Grasses:

Aloe species

Aloe

Dianella species

Flax Lily

Limonium perezii

Sea Lavender

Myoporum parvifolium

No Common Name

Putah Creek

Rosmarinus officinalis

Rosemary





11. Village Structure

2. Four-Lane Major Road – Otay Valley Road

The landscape design will be compatible with the established Otay Ranch design themes for arterial streets and the City's Water Conservation Ordinance. Trees will be planted in parkways and medians in consistently spaced rows. Pursuant to the GDP, an average 75' minimum 20' landscape buffer is provided along Otay Valley Road.

Plant Palette:

Street trees:

Metrosideros excelsa New Zealand Christmas

Parkway Shrubs, Groundcovers & Ornamental Grasses:

<i>Aloe species</i>	Aloe
<i>Bougainvillea species</i>	Bougainvillea
<i>Dianella species</i>	Flax Lily
<i>Dietes bicolor</i>	Fortnight Lily
<i>Lantana montevidensis</i>	Trailing Lantana
<i>Limonium perezii</i>	Sea Lavender
<i>Myoporum parvifolium</i> Putah Creek	No Common Name
<i>Rhaphiolepis indica</i>	India Hawthorne
<i>Rosmarinus officinalis</i>	Rosemary
<i>Scenecio mandraliscae</i>	Kleina

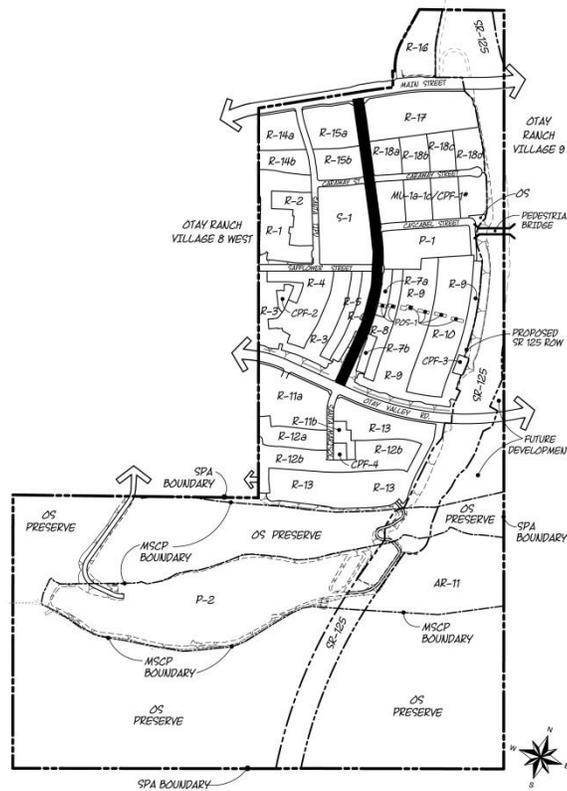




11. Village Structure

3. Four Lane Secondary Village Entry Street w/Median (Santa Mirasol)

The Secondary Village Entry Street is the primary north-south circulation street through Village 8 East. This street unifies the varied village land uses with a continuous village theme streetscape. The Village Pathway is the primary circulation route for pedestrian travel and provides a bicycle path separate from the roadway. The street design includes 4 travel lanes, parallel on-street parking, Class 2 bike lanes, a landscaped median and landscaped parkways with the Village Pathway located on the west side of the street. Enhanced pedestrian crossings and a median pedestrian refuge are proposed within the Village Core to slow traffic and enhance pedestrian experience and safety.





11. Village Structure

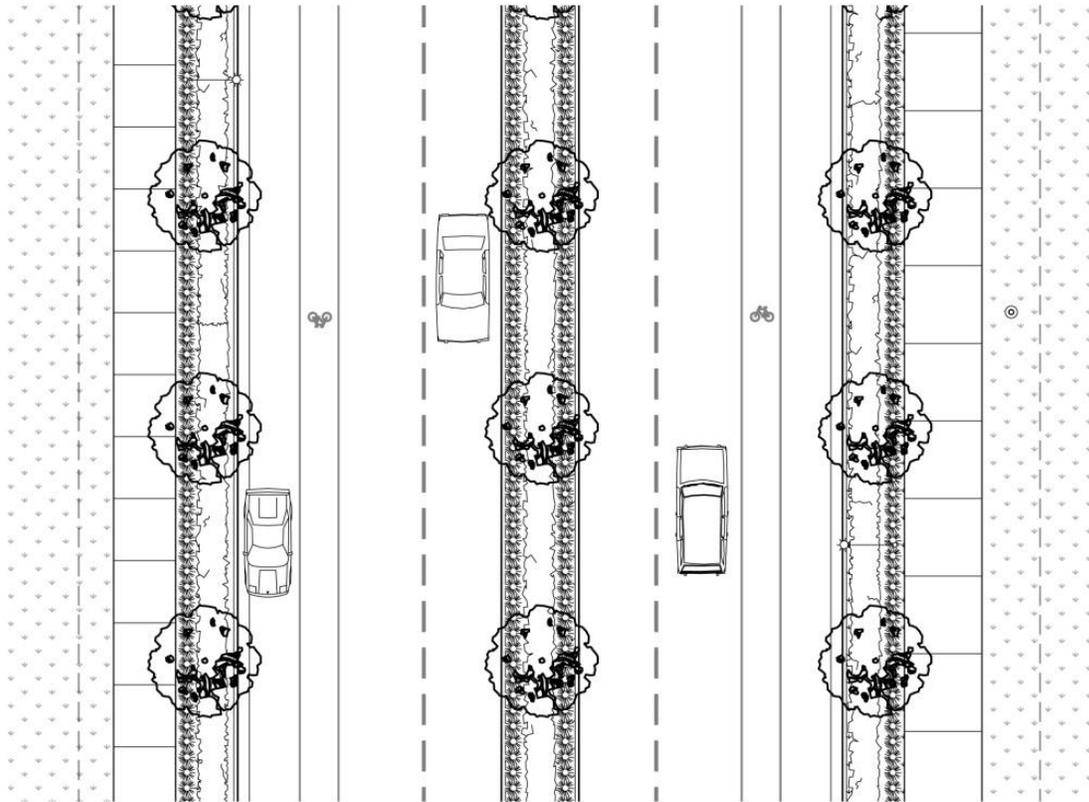
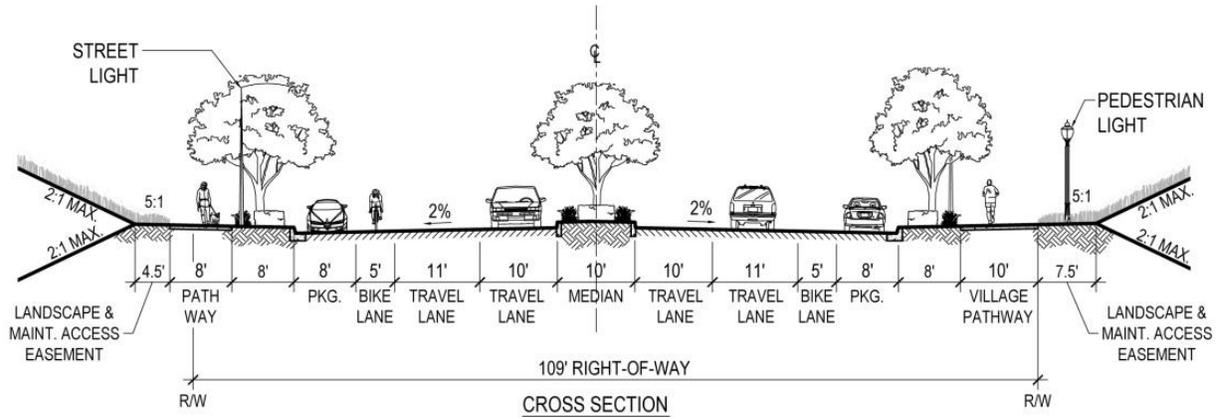


Exhibit 12
Four Lane Secondary Village Entry Street with Median



11. Village Structure

Plant Palette:

Street trees:

Laurus nobilis 'Saratoga' Sweet Bay

Street Tree for Optional Traffic Calming Pop-Outs:

Cupressus macrocarpa Monterey Cypress

Accent Shrubs & Groundcovers:

<i>Aeonium species</i>	Canary Island Rose
<i>Agapanthus africanus</i>	Lily-of-the-Nile
<i>Aloe species</i>	Aloe
<i>Anaigozanthos hybrids</i>	Kangaroo Paw
<i>Dietes bicolor</i>	Fortnight Lily
<i>Echeveria species</i>	Hen & Chicks
<i>Limonium perezii</i>	Sea Lavender
<i>Phormium tenax</i> 'Jack Spratt'	Dwarf New Zealand Flax
<i>Phormium tenax</i>	New Zealand Flax
<i>Scenecio mandraliscae</i>	Kleina

Ornamental Grasses:

<i>Dianella species</i>	Flax Lily
<i>Festuca glauca</i>	Blue Fescue
<i>Dianella revolute</i> 'DTNo3'	Dianella 'Babby Bliss'
<i>Dianella caerulea</i> 'DBBo3'	Dianella 'Cassa Blue'
<i>Dianella caerulea</i> 'DCMPo1'	Dianella 'Little Becca'
<i>Dianella revolute</i> 'DR5000'	Dianella 'Tsred'
<i>Dianella spp.</i>	Dianella 'Yellow Stipes'

Grasses (Parkway planting):

<i>Carex spp.</i>	Sedge
<i>Dianella spp.</i>	Flax Lily
<i>Muhlenbergia capillaris</i>	Pink Muhly
<i>Pennisetum setaceum</i> 'Sterile Green'	Sterile Green Fountain Grass

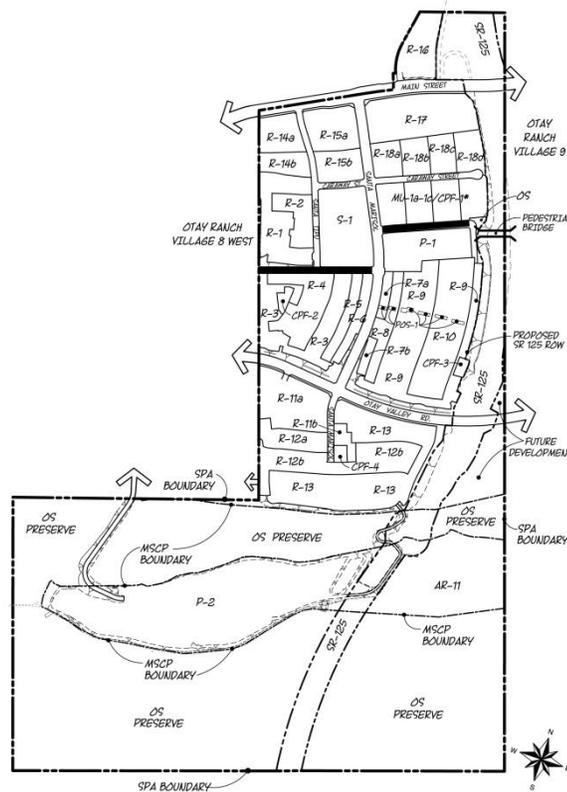




11. Village Structure

4. Residential Promenade Street (Modified w/Village Pathway) – Safflower Street and Cascabel Street

The Modified Residential Street is the east-west link from Village 8 West, through the Village 8 East core area. The Village Pathway provides an off-street pedestrian and bicycle connection between the Mixed Use area, elementary school and the neighborhood park, linking with the pedestrian bridge over SR-125 to Village 9. Trees will be located on each side of the sidewalk on the featured side of the street and single row of trees will be located on the opposite side of the street. Additional design features include enhanced paving, mod-block crossings and landscape pop-outs with parking bays. These traffic calming features slow traffic on these village core streets, while enhancing pedestrian activity and safety. Parking is not permitted along the south side of Safflower Street (Street “L”).

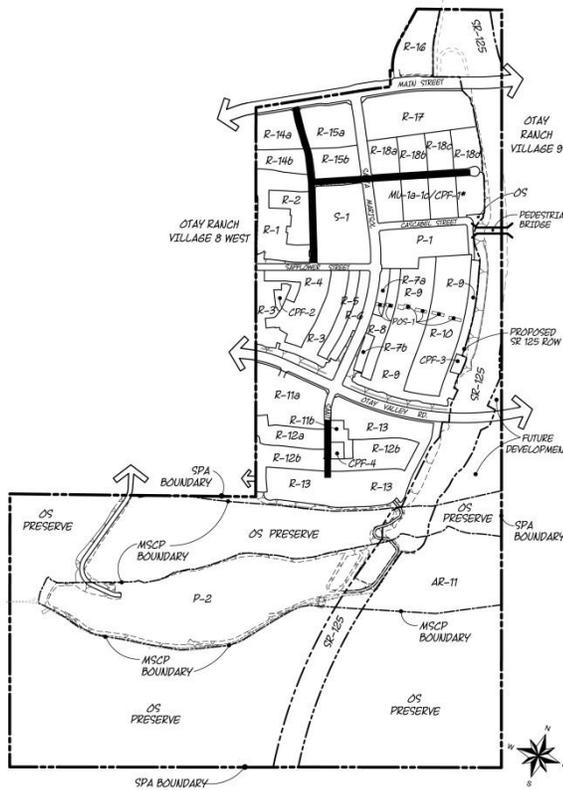




11. Village Structure

5. Residential Promenade Streets (Modified)

Residential Promenade Streets (Modified) are the primary circulation streets through residential neighborhoods. The street design promotes the pedestrian-oriented urban village design by providing a 6' wide, tree-shaded walkway (Promenade Trail with enhanced pedestrian-scaled lighting) on one side of the street and a standard sidewalk on the other side. The street design provides travel lanes and on street parallel parking on both sides of the street. "Sharrows" painted on the travel lane will allow bicycles to share the travel way with vehicles.





11. Village Structure

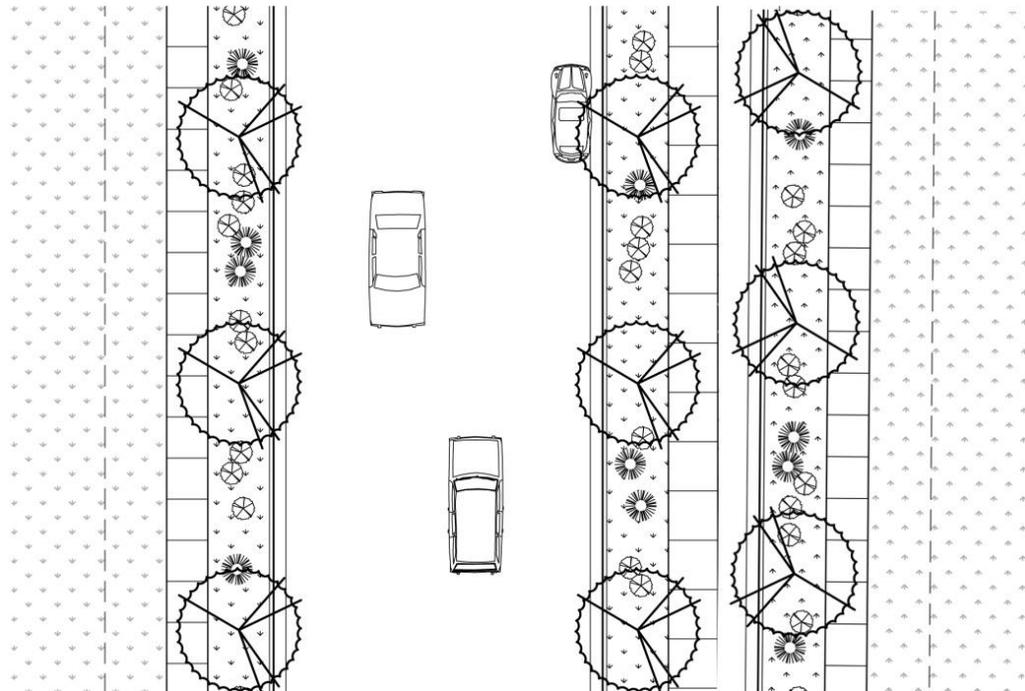
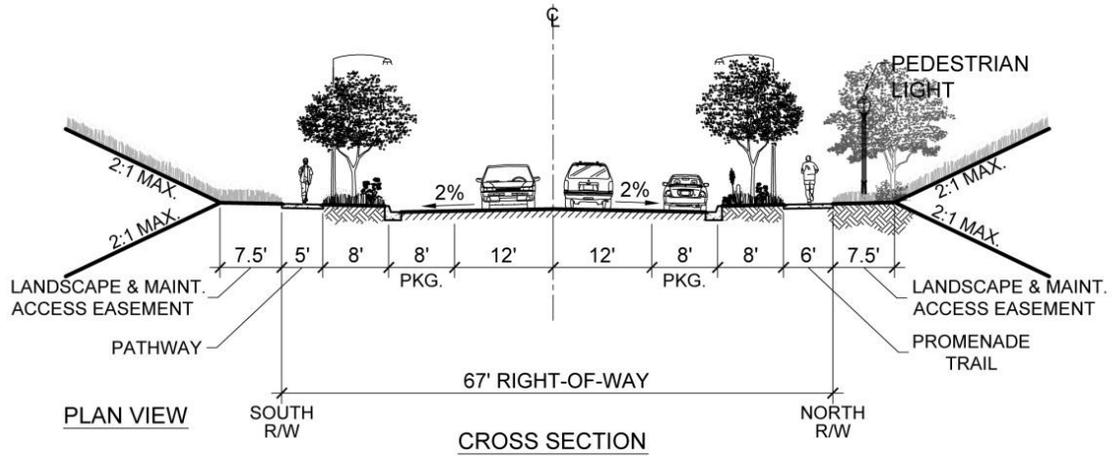


Exhibit 14
Residential Promenade Street (Modified)
Santa Tipu (Street "B")

Plant Palette:

See Secondary Village Entry w/Median plant palette above.



11. Village Structure

6. Modified 2-Lane Secondary Village Entry Street w/Median – Santa Mirasol

The Modified Secondary Village Entry Street is the primary north-south circulation street linking the southernmost neighborhoods to Otay Valley Road and north to the Village 8 East core area. South of Otay Valley Road, Santa Mirasol is narrowed to a 2-lane road with a Promenade Trail on the featured side. The Promenade Trail is the primary circulation route for pedestrian travel, with a connection eastward to the Community Park Paseo and west to the Village Trail. The street design includes 2 travel lanes, parallel on-street parking, a landscaped median and landscaped parkways with the Promenade Trail located on the west side of the street.

Plant Palette:

See Secondary Village Entry w/Median plant palette above.





11. Village Structure

7. Parkway Residential Street

Parkways will be formally planted with evenly spaced trees (average one tree per front yard and two trees per side yard) of a smaller scale than the main Village circulation streets (Exhibit 15a). Parking is restricted to one side along the Single-Loaded Parkway Residential Street (Exhibit 15b).

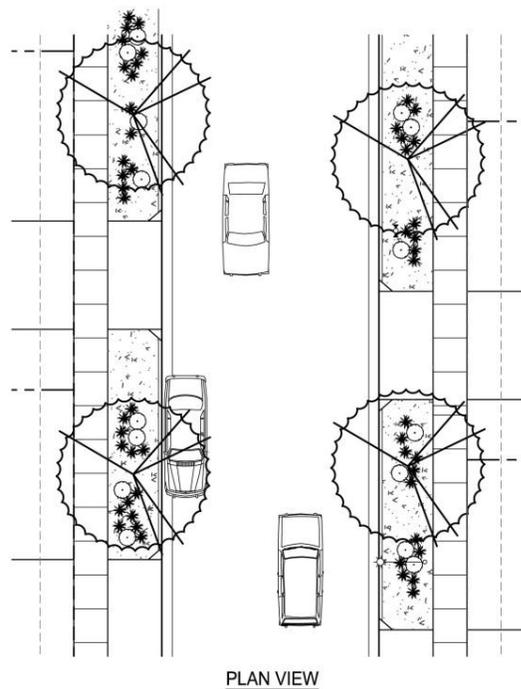
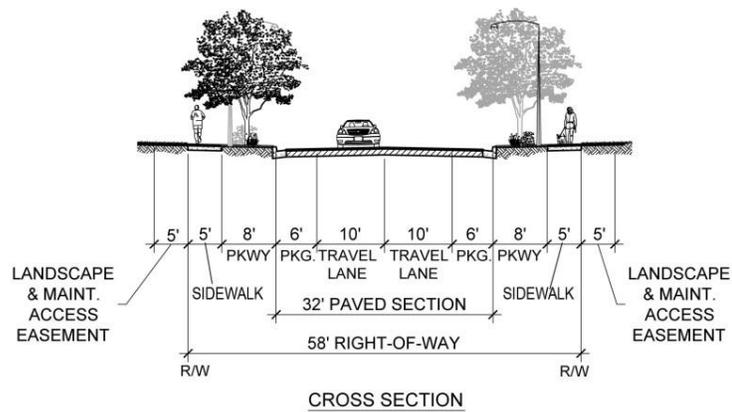
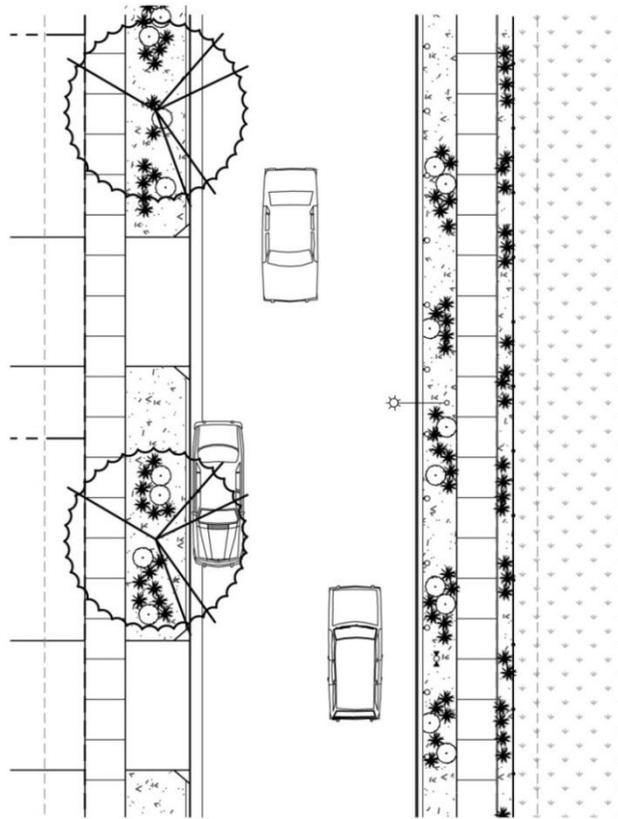
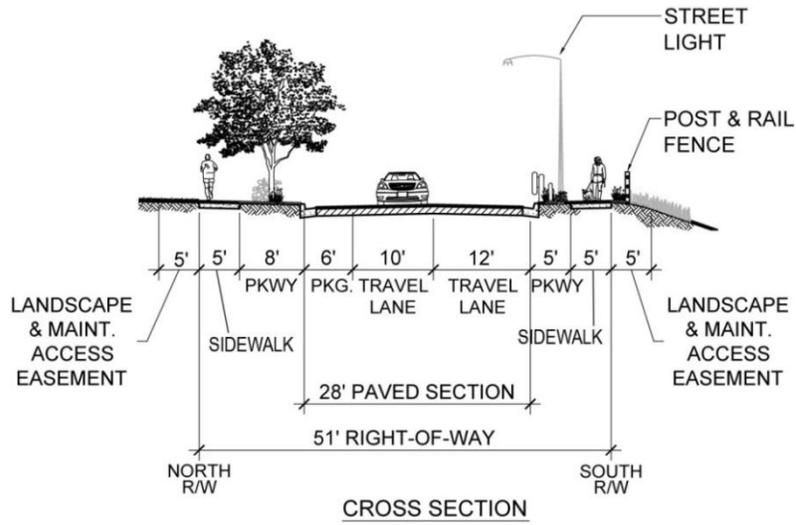


Exhibit 15a
Parkway Residential



11. Village Structure



PLAN VIEW

Exhibit 15b
Parkway Residential (Single Loaded)

See Secondary Village Entry w/Median plant palette above.

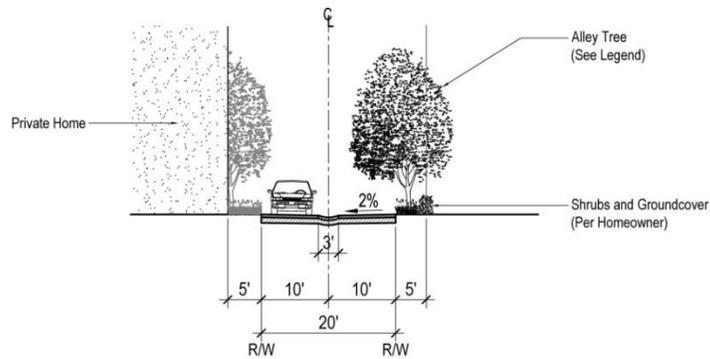


11. Village Structure

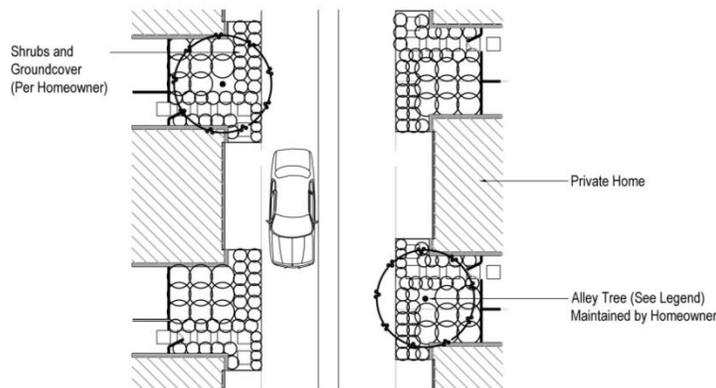
7. Private Alleys



In small lot single family and mixed-use areas, alleys may be appropriate. Private Alleys can provide rear entrances for vehicles, decrease traffic on residential streets, minimize the utilitarian appearance of street-facing garages and enable homes to be more open and inviting to the street, creating a pedestrian-friendly environment. Alleys may also provide an alternative location for utilities. Typical alley pavement width is 20 feet.



CROSS SECTION



PLAN VIEW



11. Village Structure

Plant Palette:

Alley trees including.:

<i>Brachychiton populneus</i>	Bottle Tree
<i>Geijera parviflora</i>	Australian Willow
<i>Tristania conferta</i>	Brisbane Box

Accent Shrubs & Groundcovers:

<i>Aeonium species</i>	Canary Island Rose
<i>Agapanthus africanus</i>	Lily-of-the-Nile
<i>Aloe species</i>	Aloe
<i>Anaigozanthos hybrids</i>	Kangaroo Paw
<i>Dietes bicolor</i>	Fortnight Lily
<i>Echeveria species</i>	Hen & Chicks
<i>Limonium perezii</i>	Sea Lavender
<i>Phormium tenax 'Jack Spratt'</i>	Dwarf New Zealand Flax
<i>Phormium tenax</i>	New Zealand Flax
<i>Scenecio mandraliscae</i>	Kleina

Ornamental Grasses:

<i>Dianella species</i>	Flax Lily
<i>Festuca glauca</i>	Blue Fescue

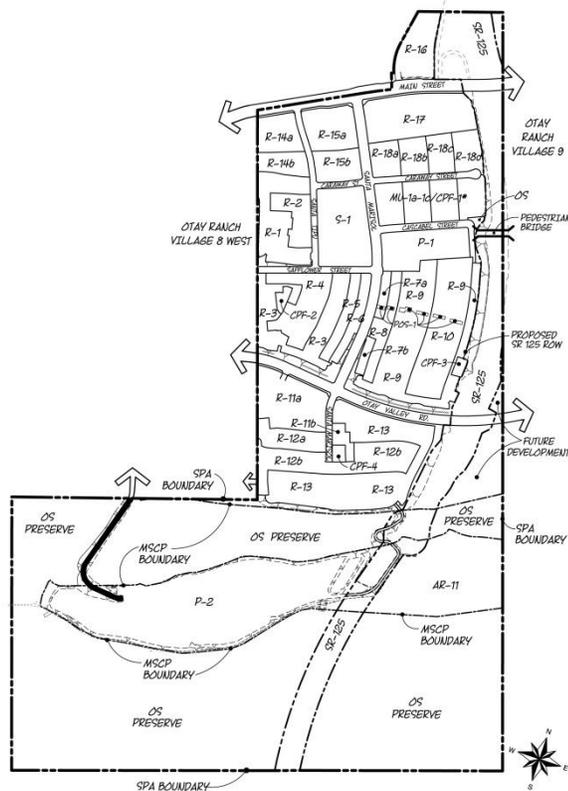




11. Village Structure

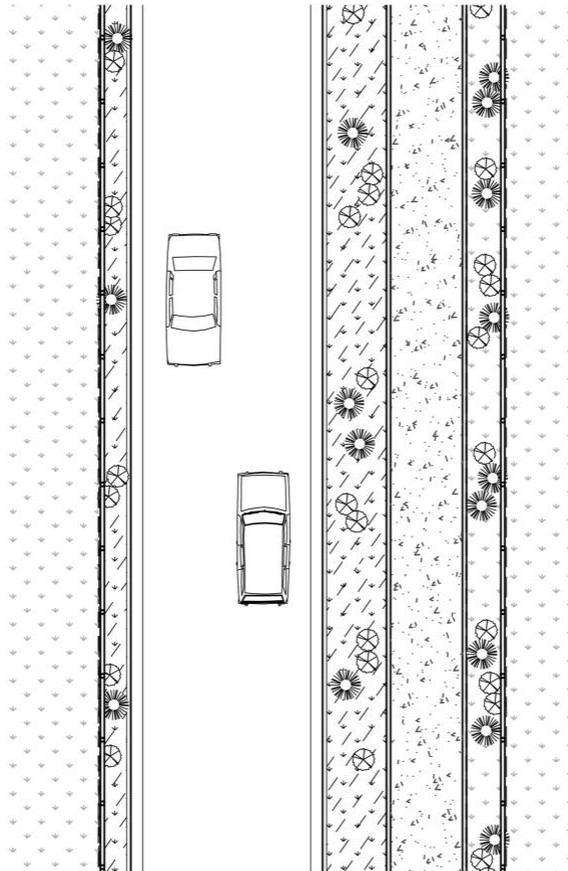
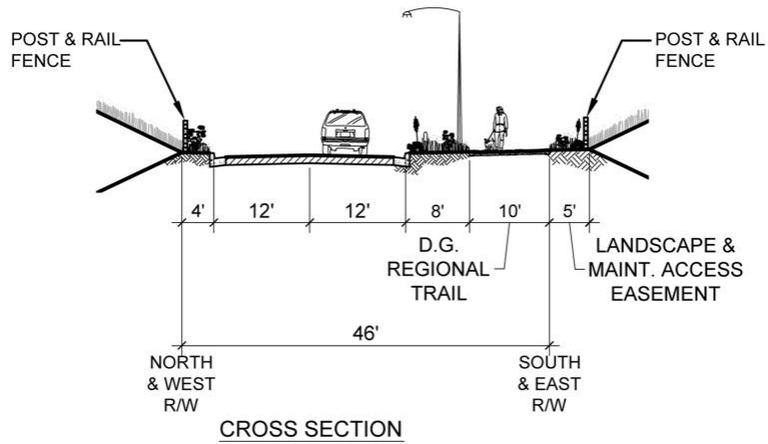
8. Community Park Entry Drive

The Community Park Entry Drive provides a pedestrian and vehicular connection to the community park south of Village 8 East. The road features two travel lanes and the 10' regional trail on the east side of the road providing views of the Otay Valley. A landscaped parkway on one side of the street and narrowed travel lanes are designed to slow traffic and create a comfortable pedestrian experience along this road. The Community Park Entry Drive is subject to the MSCP siting criteria and may be subject to change. Landscaping on slopes created along the Community Park Entry Drive must be landscaped with native species consistent with the Village 8 East Preserve Edge Plan and the Approved Plant List (Attachment A).





11. Village Structure



PLAN VIEW

Exhibit 17
Community Park Entry Drive



11. Village Structure

E. Non-Vehicular Circulation Concept



A well-designed pedestrian circulation system is a fundamental component of the village concept. The previous Streetscape Design Concept section includes illustrations of pedestrian amenities including sidewalks, lighting and shade trees. This section describes the pedestrian circulation system in terms of the Otay Ranch, City and OVRP trail systems. An overall plan is provided as well as descriptions of the types of pedestrian paths provided in the Plan area.

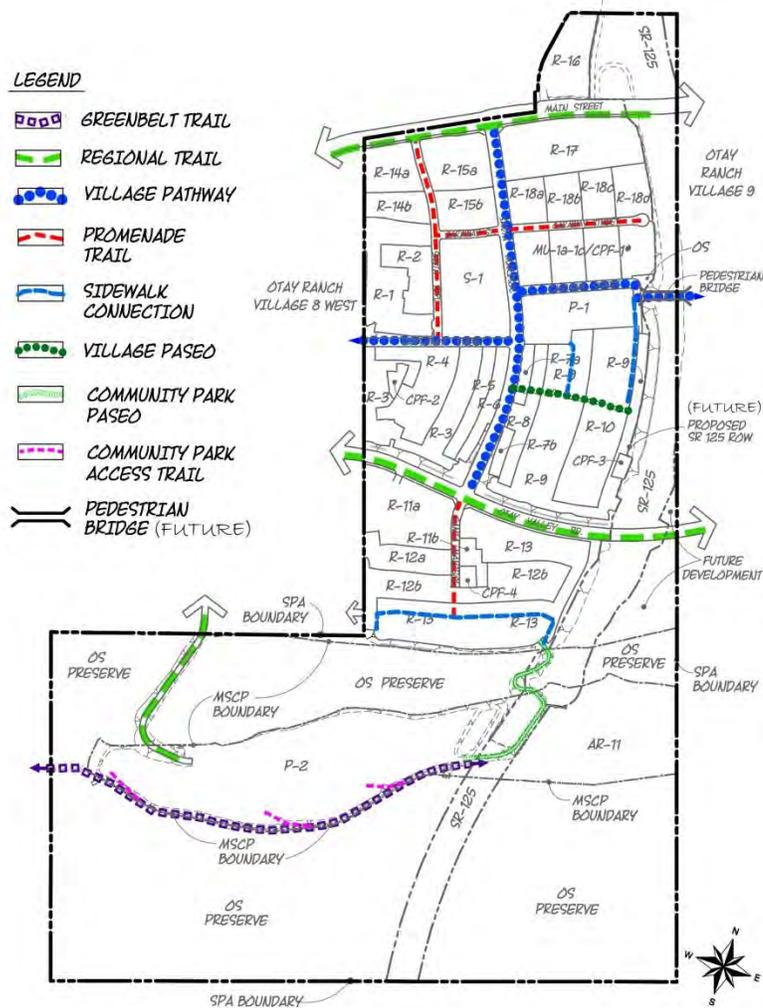


Exhibit 18
Trails Plan



11. Village Structure

1. Chula Vista Greenbelt Trail/Otay Valley Regional Park (OVRP) Trail

As described in the Chula Vista Greenbelt Master Plan, planned multi-use trails, including equestrian trails, would extend south from Salt Creek on the east side of Village 11, connecting with the Otay Lakes Trail just south of Village 11. At least one trail will extend westerly, on a maintenance road for the Salt Creek Sewer, on the north side of the Otay River Valley. This portion of the Greenbelt Trail is located south of Village 8 East. Access to this trail network from Village 8 East is provided via the Community Park Paseo and the Community Park Entry Drive. Access to the Community Park from the Greenbelt Trail is provided via three Community Park Access Trail segments.



The OVRP Concept Plan also identifies a multi-use trail system through the Otay River Valley. The portion of the Greenbelt Trail described above coincides with the OVRP trail. Consistent with the Chula Vista MSCP, this trail is co-located within the existing Salt Creek Sewer maintenance road to avoid impacts to sensitive habitat in the river valley and control access along the Otay Ranch Preserve edge. A 3/4 mile segment of the Greenbelt Trail is within the Village 8 East SPA boundary. The surface treatment within the existing Salt Creek Sewer Easement is PMB – Processed Miscellaneous Base. The Greenbelt Master Plan requires surface treatment comprised of “Decomposed Granite/Concrete/Asphalt/Soil-stabilized treatment” and the OVRP Trail Guidelines require “D.G. or Native Soil” on Type “A” Trails. The existing surface treatment is consistent with these requirements. Proposed trail improvements are limited to fencing and signage within the easement area, to the satisfaction and approval of the Development Services Director. Trail signage shall conform to the Greenbelt Master Plan.

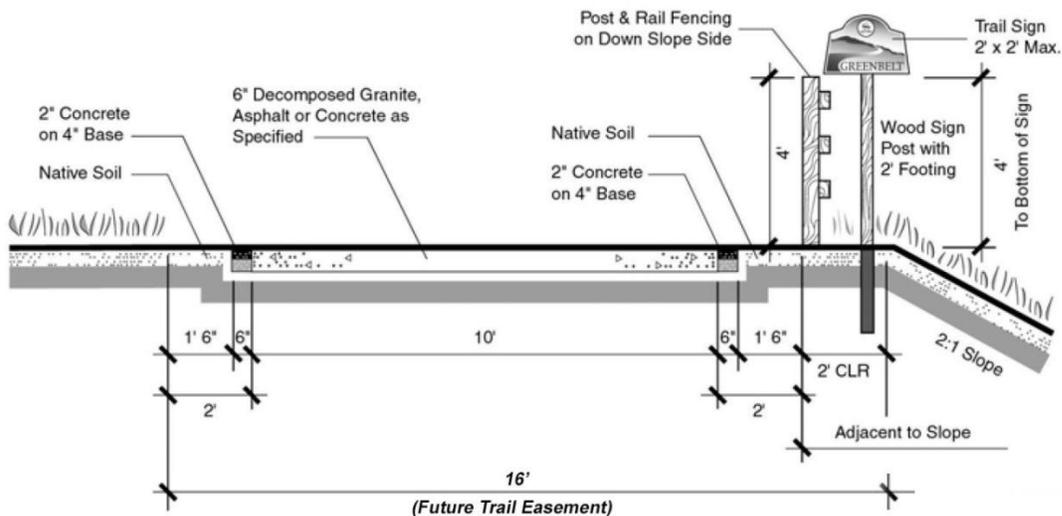


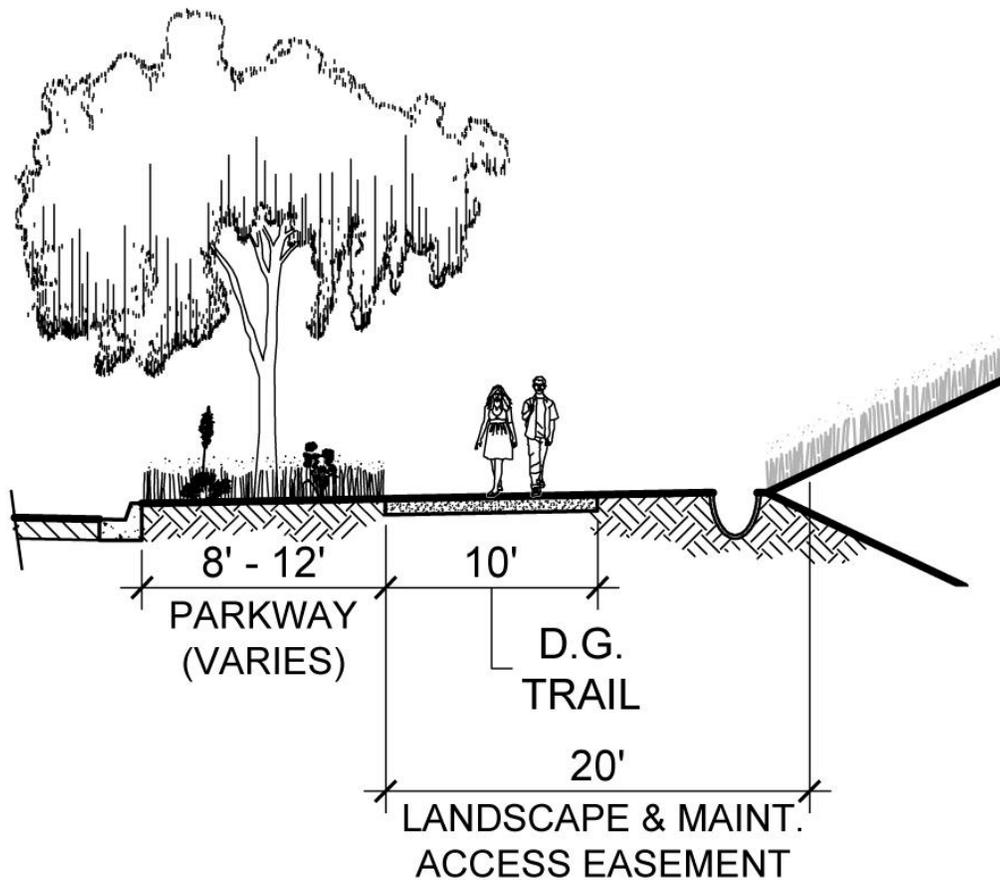
Exhibit 19
Chula Vista Greenbelt Trail



11. Village Structure

2. Regional Trails

Regional Trails provide off-street pedestrian and bicycle connections throughout Chula Vista. Chula Vista Regional Trails are located on the north side of Main Street and south side of Otay Valley Road. These trails are located adjacent to the roadways within landscape buffers. The trails are 10 feet wide to accommodate both pedestrians and bicycles and may be decomposed granite or concrete. Trail signage shall conform with the Greenbelt Master Plan.





11. Village Structure

3. Village Pathway

Village Pathways are inter-village multi-purpose paths that link all of the Otay Valley Parcel villages and provide access to the regional transit stations. In Village 8 East, a Village Pathway is proposed to extend through the village core. The Village Pathway extends from Main Street south to Otay Valley Road. The Village Pathway is a 10' concrete path, separated from the street by a landscaped, tree-lined parkway and pedestrian scaled lighting. The Village Pathway is colored concrete (Adobe Tan) with a brush finish. A Pedestrian bridge over SR-125 provides a connection to neighboring Village 9.

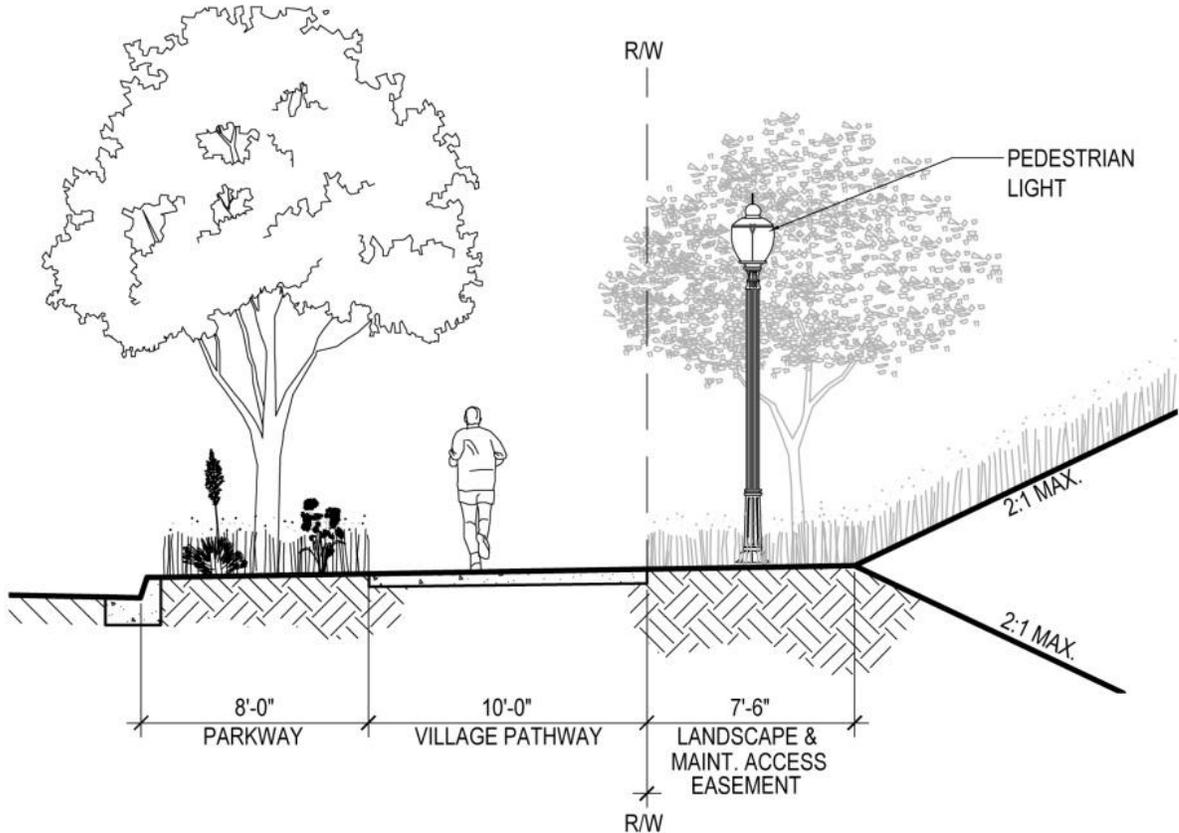


Exhibit 21
Village Pathway



11. Village Structure

4. Village Paseo

The Village Paseo is located within the single family neighborhoods in the northeast portion of Village 8 East. The 30' wide Paseo feature meanders through the neighborhoods and crosses two residential streets leading to the Village 8 East core area. The Conceptual Paseo Plan provided below includes a six foot meandering walkway, planting and turf areas, passive recreation elements, including benches, picnic and exercise areas. Enhanced paving, fencing and signage will further define the Paseo and alert vehicles at pedestrian crossings. See Conceptual Paseo Plans on Page 67 and 68.

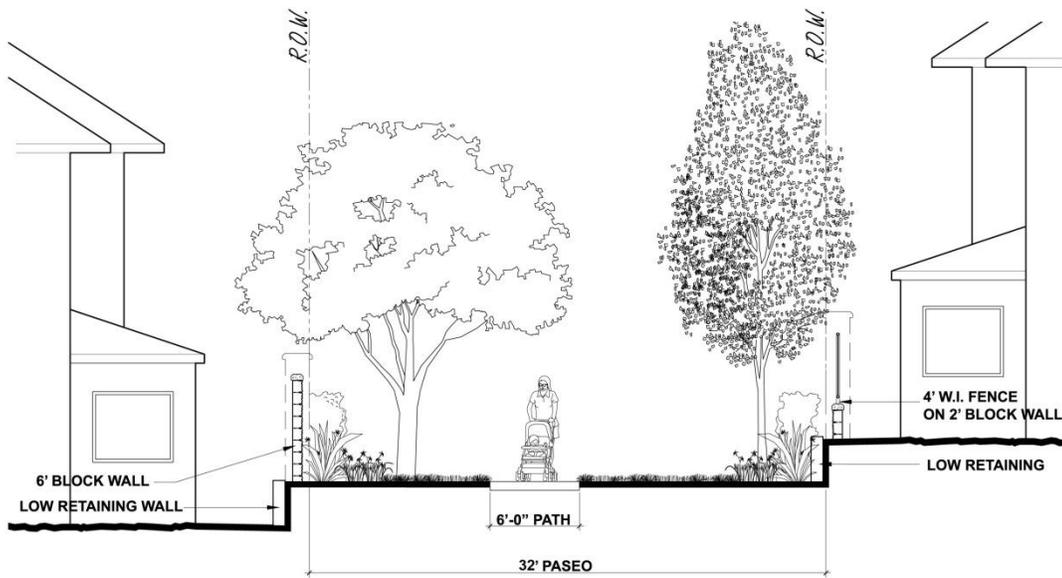


Exhibit 22
Village Paseo



11. Village Structure

5. Community Park Paseo

The Community Park Paseo is comprised of a 20' wide concrete trail that provides pedestrian access to the eastern portion of the P-2 Community Park. The paseo also serves as a maintenance/emergency access road. No public vehicular access is permitted on the Community Park Paseo.

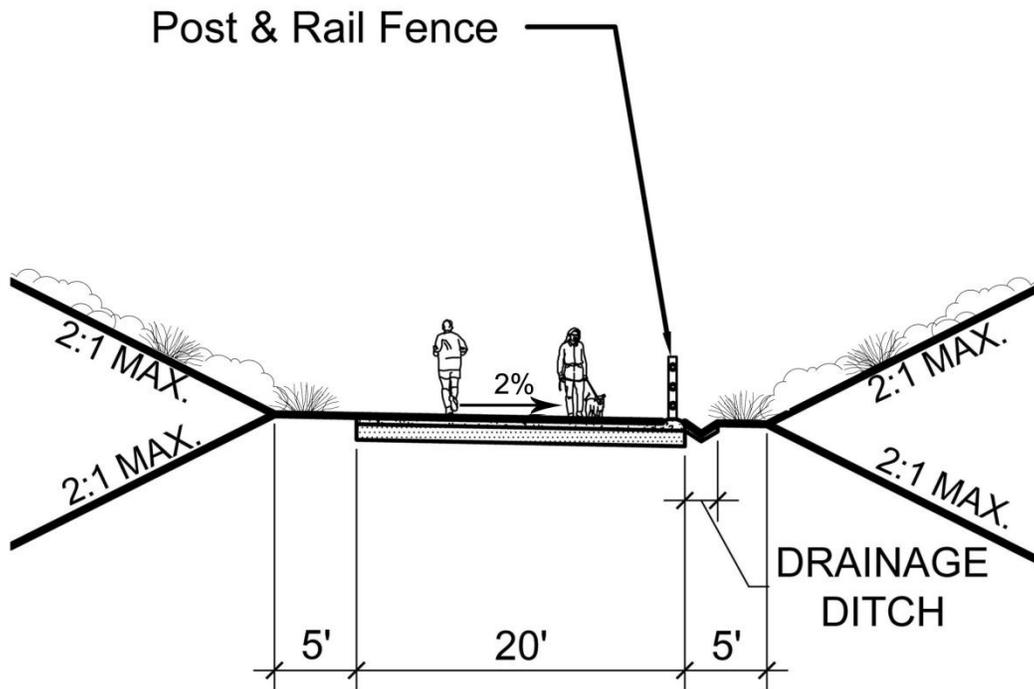


Exhibit 23
Community Park Paseo



11. Village Structure

6. Community Park Access Trail

The Community Park Access Trails provides three pedestrian connections from the Community Park to the Chula Vista Greenbelt Trail. These trails are located along the southern edge of the Community Park. Trail improvements include a 10' minimum trail surface, post and rail fencing, as necessary and trail signage.

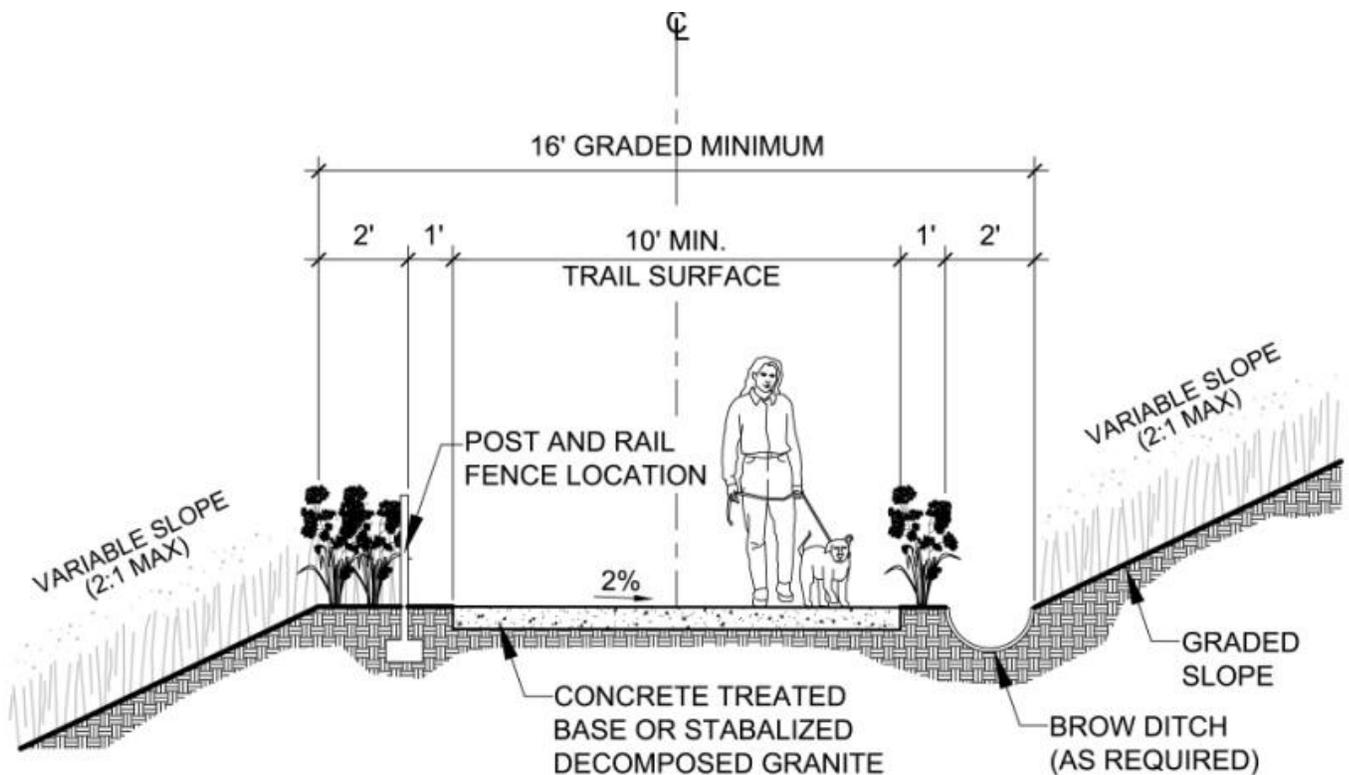


Exhibit 24
Community Park Access Trail



11. Village Structure

6. Promenade Trails

Promenade Trails, a component of village Promenade Streets, are 6 foot wide paved sidewalks enhanced with shade trees and pedestrian-scaled lighting. Promenade Pathways in the village provide links through the Village Core to recreation facilities and residential neighborhoods.

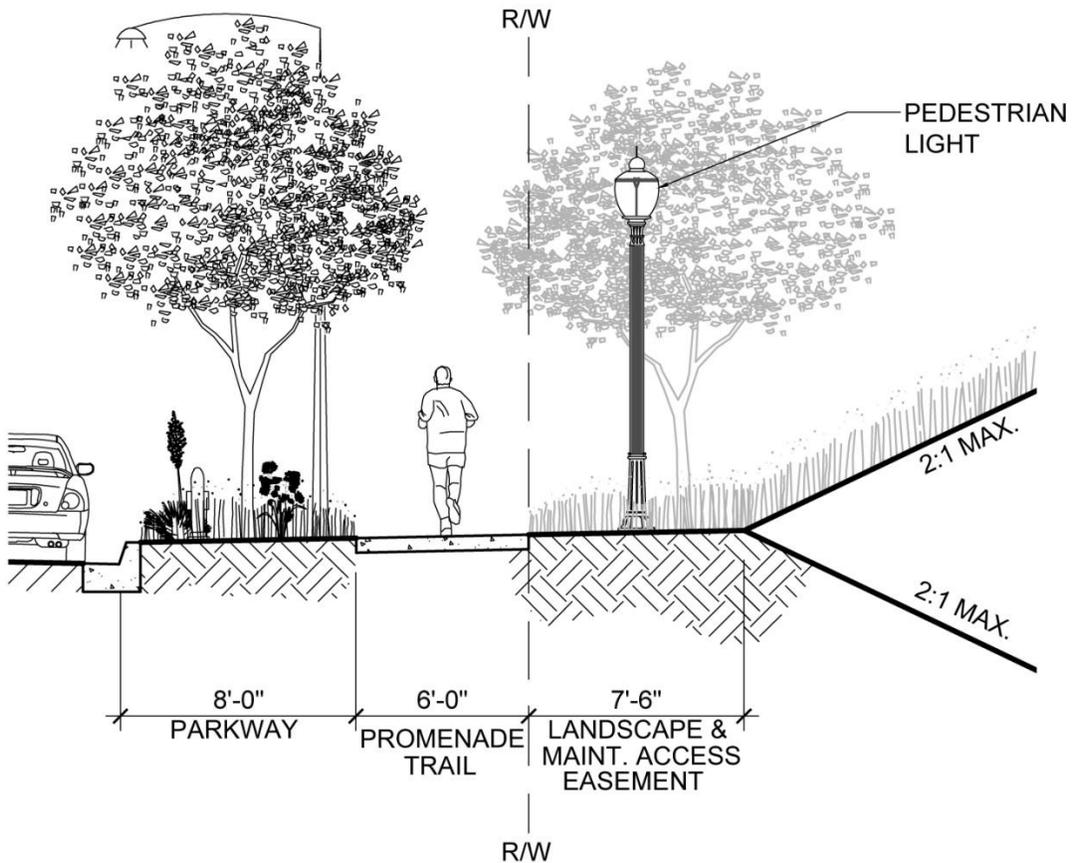


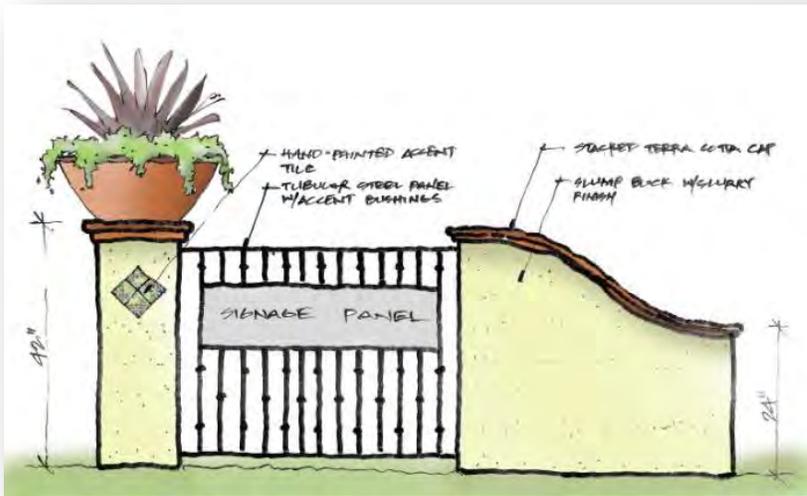
Exhibit 25
Promenade Trail



11. Village Structure

F. Village Park Concept

The village park system is designed to provide diverse park and active and passive recreational opportunities for village residents. The park and recreation facilities have been located to create focal points and identity within the village. Private facilities will be designed in conformance with the City Parks Master Plan, Design Manual and Landscape Manual. The following includes the overall plan and conceptual designs for the park and recreational facilities. Additional information regarding park and recreation facilities is provided in the Village 8 East SPA Parks,



Recreation,
Space and
Master Plan.

Open
Trails

Typical Park Signage



11. Village Structure

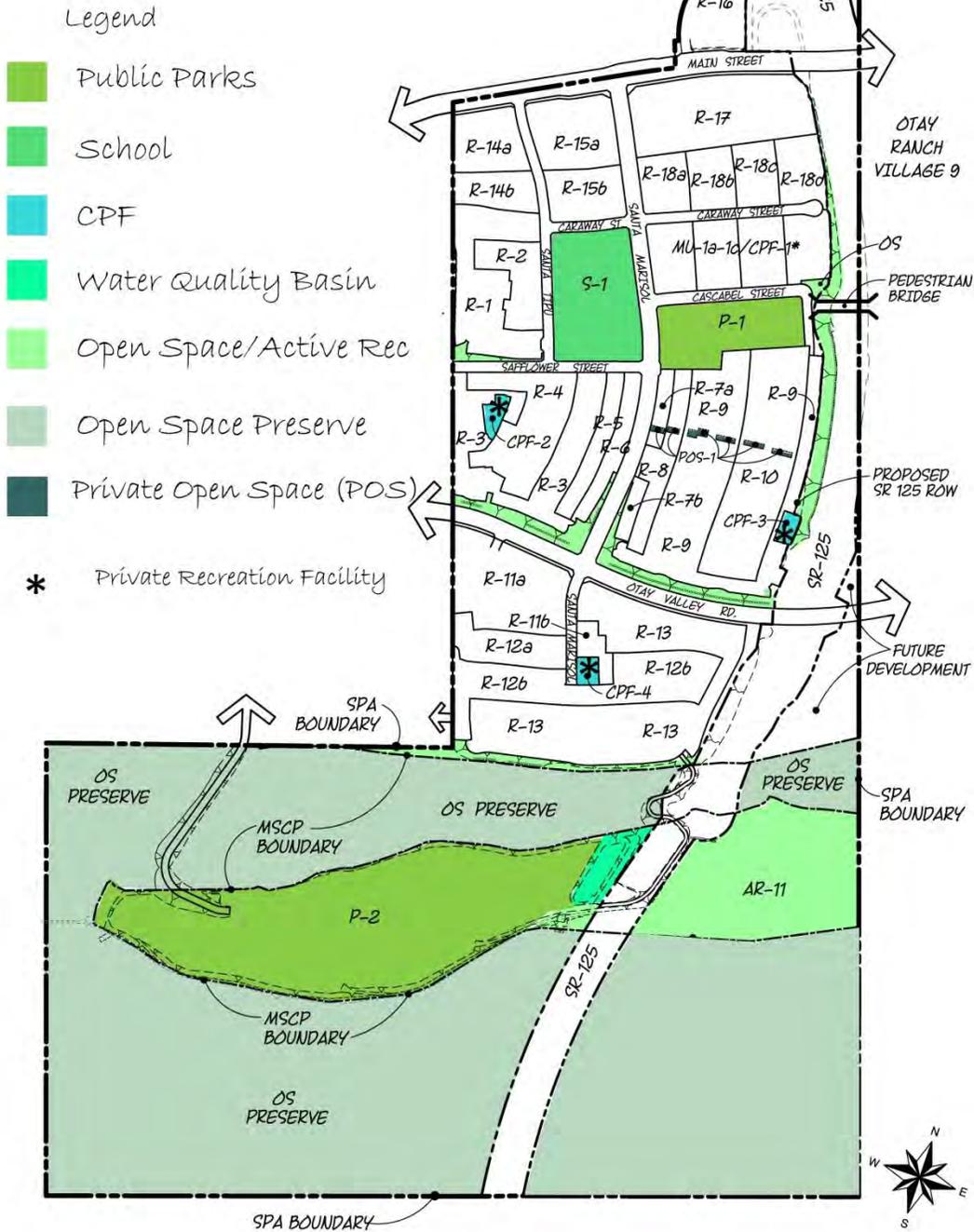


Exhibit 26
Parks, Open Space, and Active Recreation Plan



11. Village Structure

1. P-1 Neighborhood Park

The public neighborhood park located adjacent to the elementary school will provide active and passive recreational opportunities. The location adjacent to the elementary school creates an expanse of open space and combines active recreational activities in one area of the village. Access to the adjacent school site should be coordinated with park site design. Access to the park site should be planned along the western and southern edge. Park amenities will be in conformance with the requirements of the City Parks Master Plan and may include multi-purpose open lawn areas, ball fields, lighted sports courts, picnic shelters, a dog park, tot lots and restroom and maintenance buildings. Parking will be accommodated on adjacent streets.

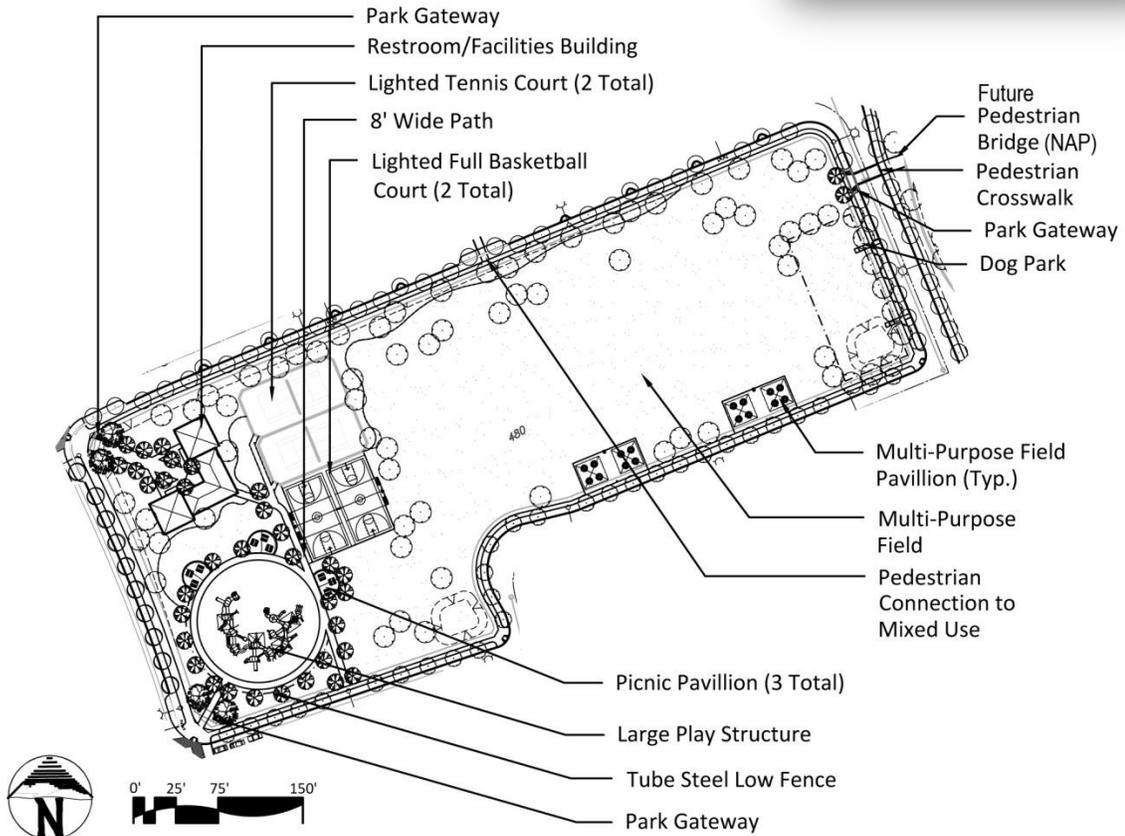


Exhibit 27
Neighborhood Park (P-1) Concept Plan



11. Village Structure

Plant Palette:

Trees:

<i>Calodendrus decurrens</i>	Incense Cedar
<i>Cedrus deodora</i>	Deodar Cedar
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Ficus robiginosa</i>	Rustyleaf Fig
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Laurus nobilis 'Saratoga'</i>	Sweet Bay
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Rhus lancea</i>	African Sumac
<i>Tristania conferta</i>	Brisbane box

Shrubs & Groundcovers:

<i>Agapanthus africanus</i>	Lily-of-the-Nile
<i>Agapanthus Rancho White</i>	White Lily-of-the-Nile
<i>Aloe species</i>	Aloe
<i>Anaigozanthos hybrids</i>	Kangaroo Paw
<i>Bougainvillea species</i>	Bougainvillea
<i>Callistemon citrinus Compacta</i>	Dwarf Lemon Bottlebrush
<i>Carissa macrocarpa Green Carpet</i>	Prostrate Natal Plum
<i>Ceanothus species</i>	Carmel Creeper
<i>Cistus species</i>	Rock Rose
<i>Dietes bicolor</i>	Fortnight Lily
<i>Echium fastuosum</i>	Pride of Madeira
<i>Lantana montevidensis</i>	Lantana
<i>Lavendula species</i>	Lavender
<i>Ligustrum japonicum 'Texanum'</i>	Texas Privet
<i>Limonium perezii</i>	Sea Lavender
<i>Myoporum parvifolium Putah Creek</i>	No Common Name
<i>Phormium species</i>	Flax
<i>Rosmarinus officinalis</i>	Rosemary
<i>Scenecio mandraliscae</i>	Kleina
<i>Strelitzia nicotia</i>	Giant Bird of Paradise
<i>Strelitzia reginae</i>	Bird of Paradise

Grasses (Parkway planting):

<i>Carex spp.</i>	Sedge
<i>Dianella spp.</i>	Flax Lily
<i>Muhlenbergia capillaris</i>	Pink Muhly
<i>Pennisetum setaceum 'Sterile Green'</i>	Sterile Green Fountain Grass
<i>Dianella revolute 'DTNo3'</i>	Dianella 'Babby Bliss'
<i>Dianella caerulea 'DBBo3'</i>	Dianella 'Cassa Blue'
<i>Dianella caerulea 'DCMPoi'</i>	Dianella 'Little Becca'



11. Village Structure

Dianella revolute 'DR5000'
Dianella spp.

Dianella 'Tsred'
Dianella 'Yellow Stipes'

Turf:

Paspalum vaginatum 'Aloha'

Seashore Paspalum

2. P-2 Community Park

A community park is located in the south of Village 8 East within the Otay River Valley. The Otay Valley Preserve area surrounds the park and provides opportunities for views to expanded open space. The park serves the active recreational needs of the southern Otay Ranch villages with lighted play fields and sport courts, recreation complexes (buildings and swimming pools), children's play areas and parking areas. Passive recreational areas will be located adjacent to the Otay River Valley as a transition between developed and natural open space. This park will contain amenities and facilities described in the City of Chula Vista Parks Master Plan. Two points of access are planned from the north via the Community Park Entry Drive and Community Park Paseo. Access between the community park and the Chula Vista Greenbelt Trail is provided at three points along the southern park edge. A local staging area may be established within the community park to direct trail users to the Chula Vista Greenbelt Trail/OVRP Trail. Lighting within the P-2 Park shall be directed away from adjacent Preserve areas and shielded to prevent light spillage into the Preserve. See "Public Park Lighting" on Page ___ for additional lighting guidelines. Landscaping within the 100' Preserve Edge/Brush Management Zone must be consistent with the "Approved Plant List" (Attachment A) and consistent with the Preserve Edge and Fire Protection Plan.





11. Village Structure

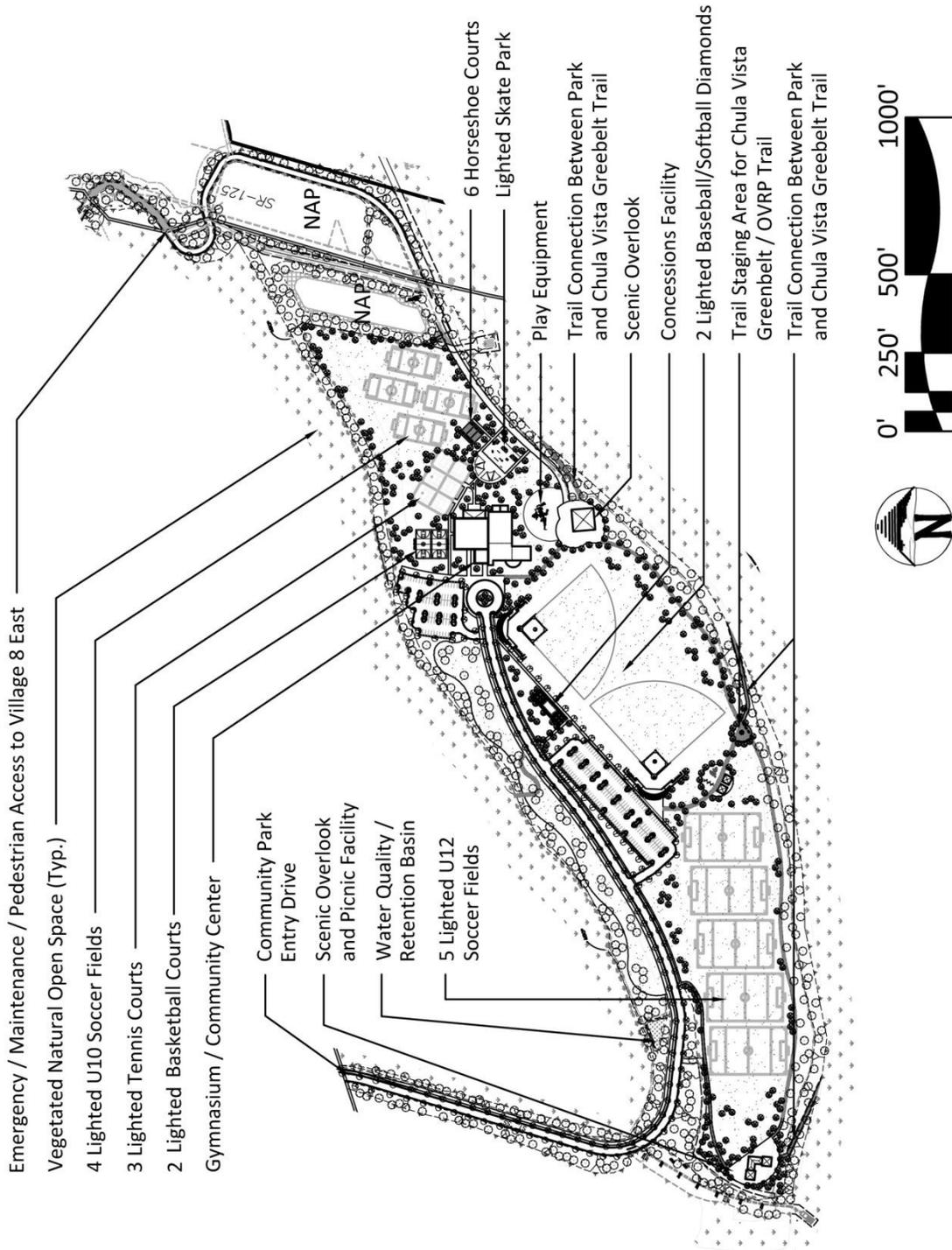


Exhibit 28
Community Park (P-2) Concept Plan



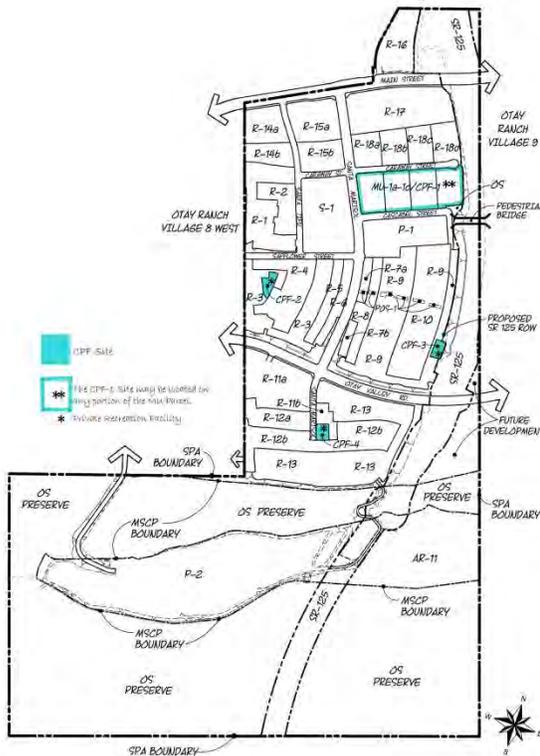
11. Village Structure

Plant Palette:

See P-1 Park plant palette above. Perimeter areas are subject to the Village 8 East Preserve Edge Plan and Village 8 East Fire Protection Plan.

3. Community Purpose Facilities

Community purpose facilities are defined in Chula Vista Municipal Code 19.48 PC – Planned Community Zone. The Village Core includes a CPF site (CPF-1) within the Mixed Use area. This site is intended to meet the demand for a site that could accommodate a church, non-profit user (such as a YMCA, Boys & Girls Club, etc). The remaining two sites are privately owned and maintained Private Recreation Facilities (PFR) and are located to provide recreational amenities in proximity to neighborhoods throughout the village. The facilities create focal points in the village and are connected through the village pedestrian circulation system. Each facility will be designed to complement the surrounding neighborhood and amenities will be tailored to the specific needs of the neighborhood. Typical concept plans are provided below.



Plant Palette:

See P-1 Park Plant Palette above.





11. Village Structure

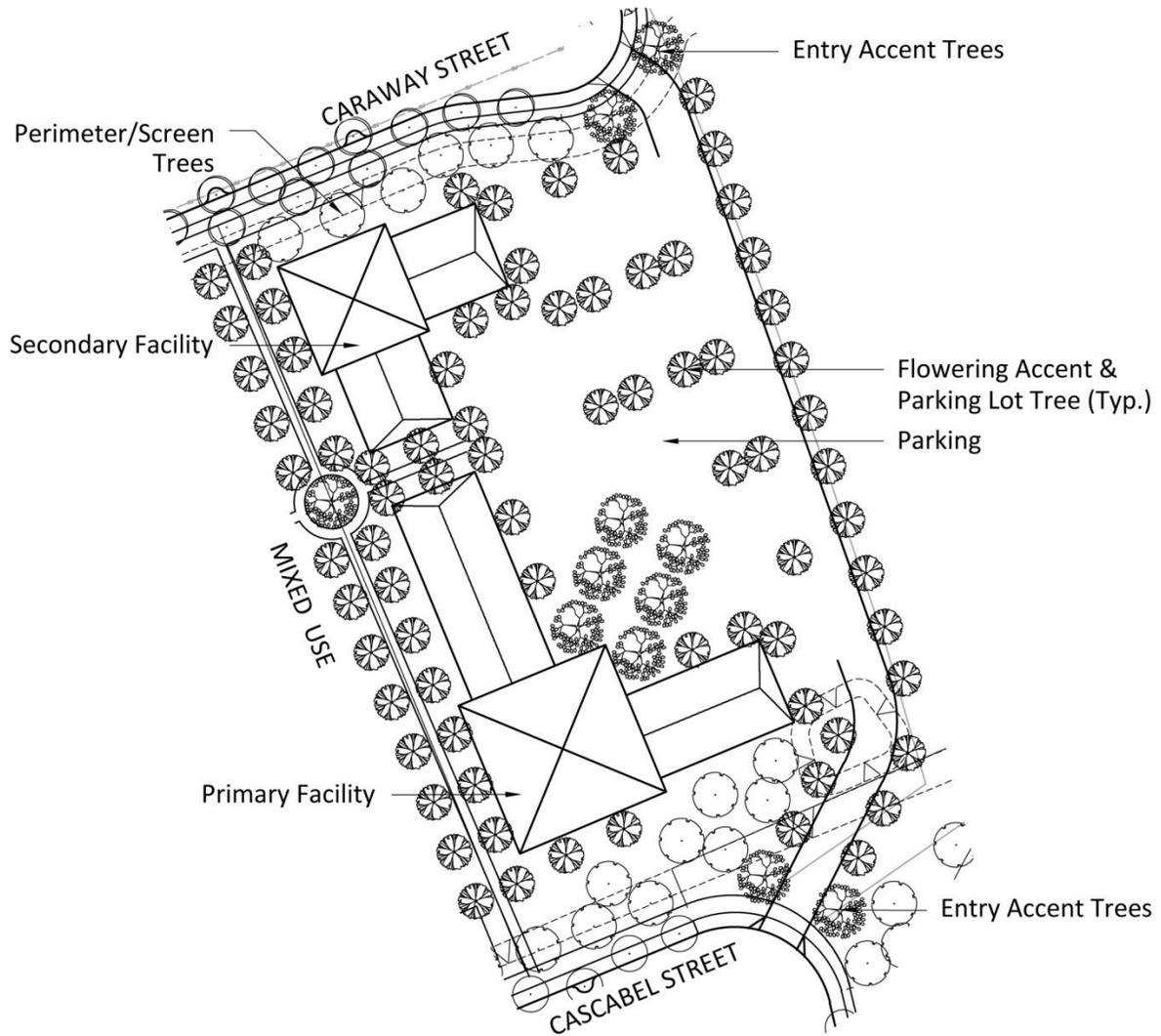


Exhibit 29

Private Recreation Facility Concept Plan (CPF-1)

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.
Note: CPF-1 Site may be located on any portion of the MU Parcel.



11. Village Structure

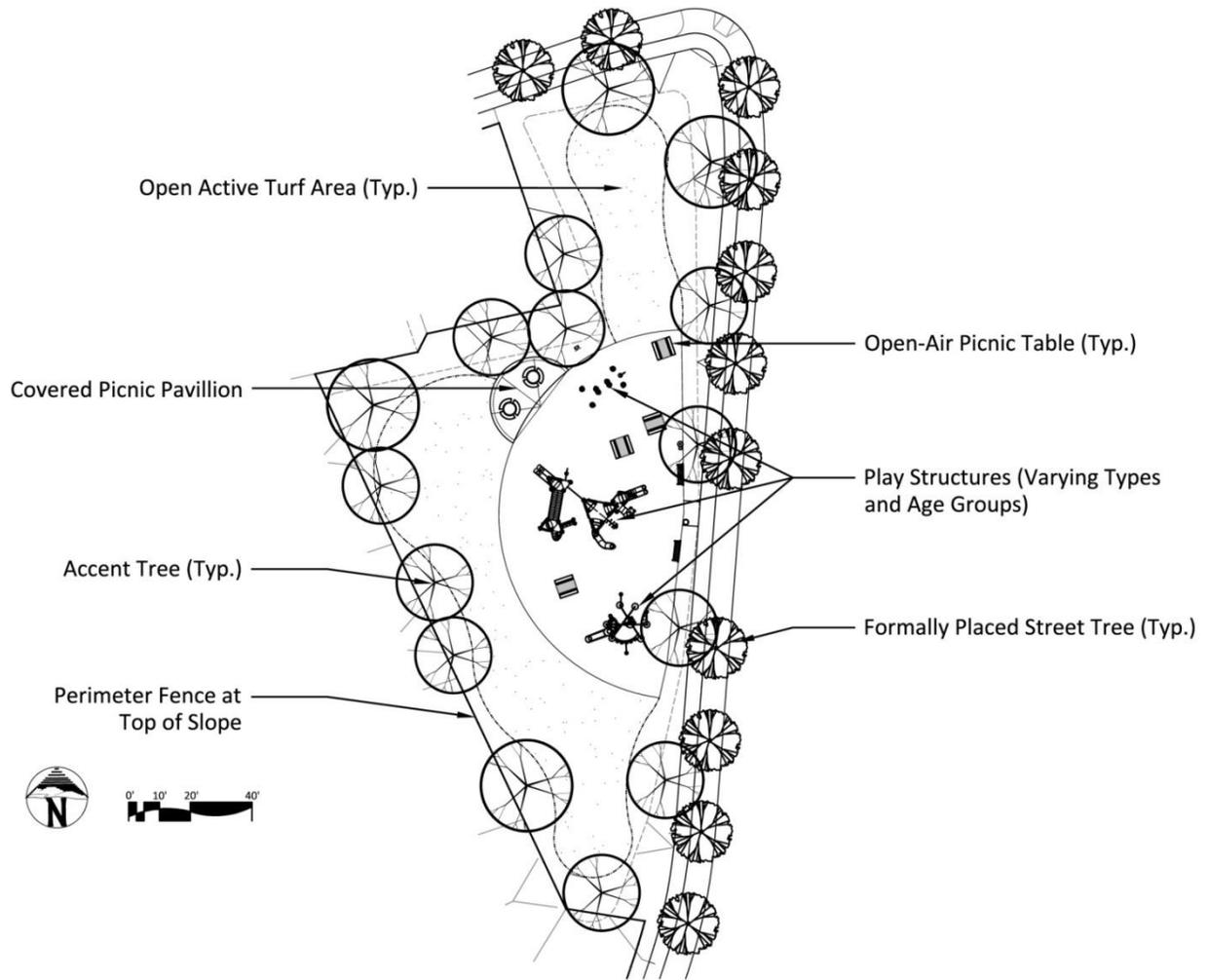


Exhibit 30

Private Recreation Facility Concept Plan (CPF-2)

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.



11. Village Structure

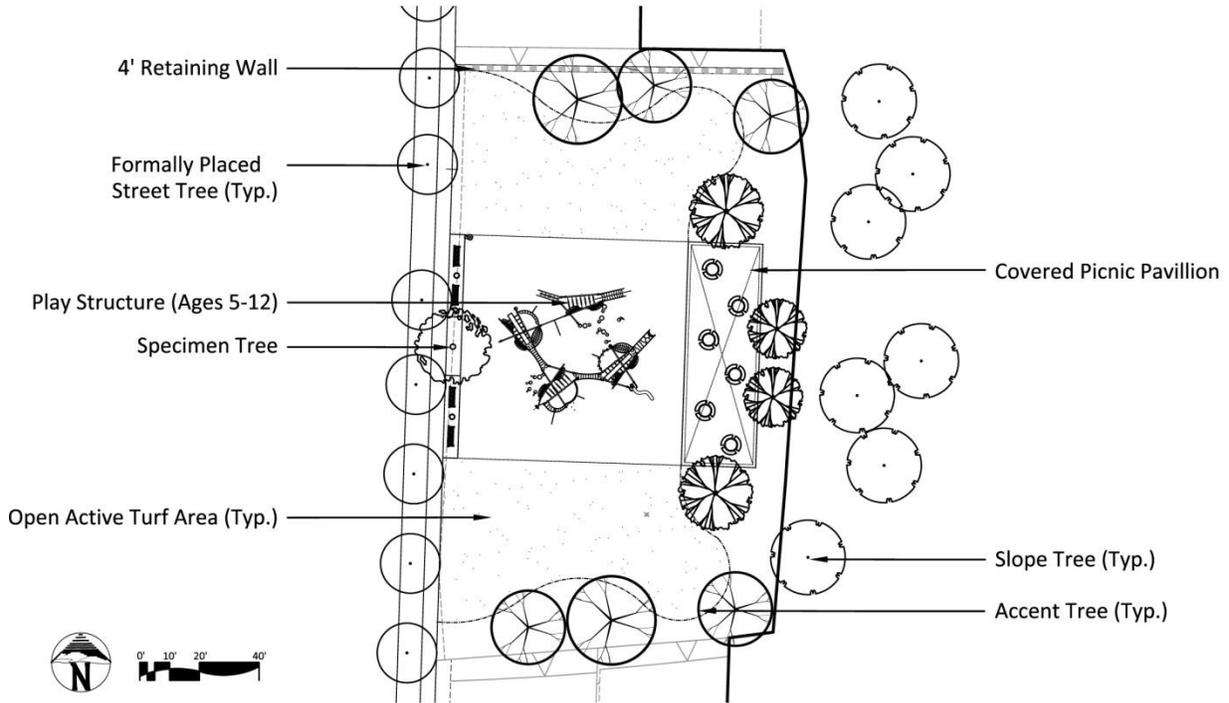


Exhibit 31

Private Recreation Facility Concept Plan (CPF-3)

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

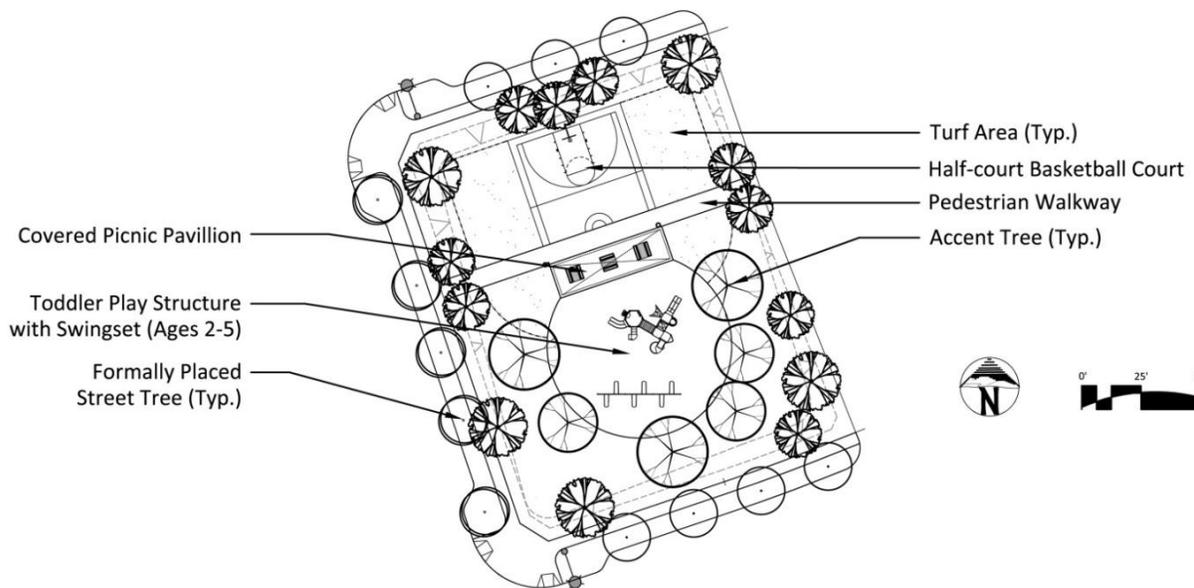


Exhibit 32

Private Recreation Facility Concept Plan (CPF-4)

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.



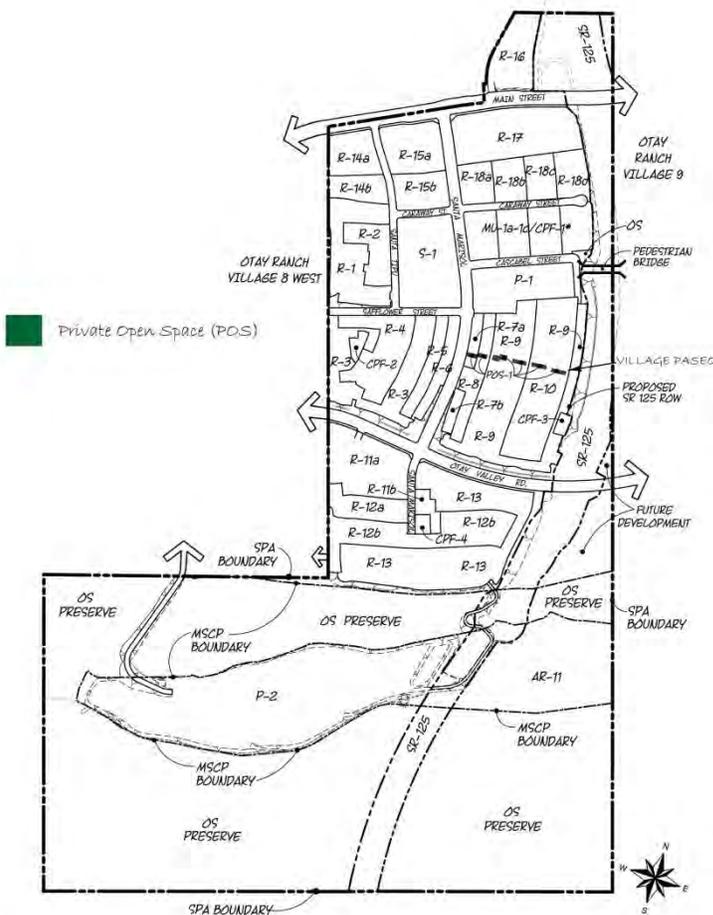
11. Village Structure

4. Private Open Space

Village 8 East provides a Private Open Space Area (POS-1) centrally located with single family neighborhoods south the of the Village Core. POS-1 is a Paseo which passes through four neighborhoods, providing a pedestrian connection to the active uses planned within the village core, including the mixed use area, neighborhood park and elementary school. The Paseo includes a meandering walkway, planting and turf areas, passive areas including picnic tables and benches, as well as exercise stations for active recreational opportunities.

Plant Palette:

See P-1 Park Plant Palette above.





11. Village Structure

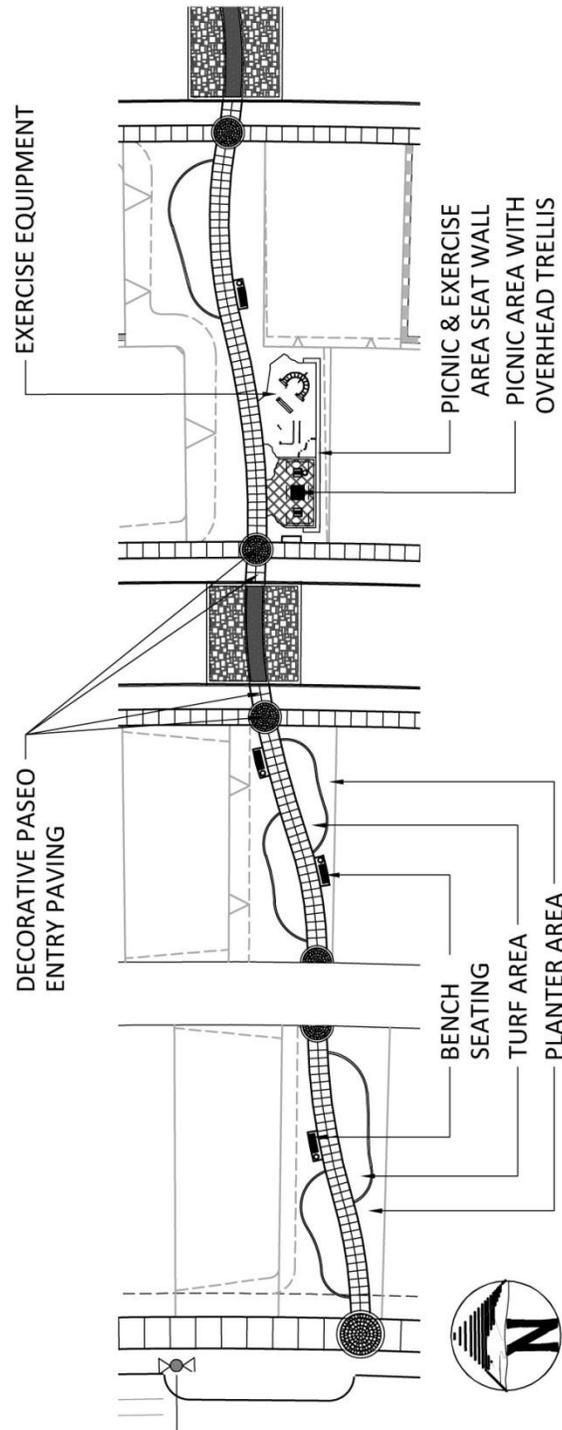


Exhibit 33a
Private Open Space (POS-1) - Village Paseo West Segment



11. Village Structure

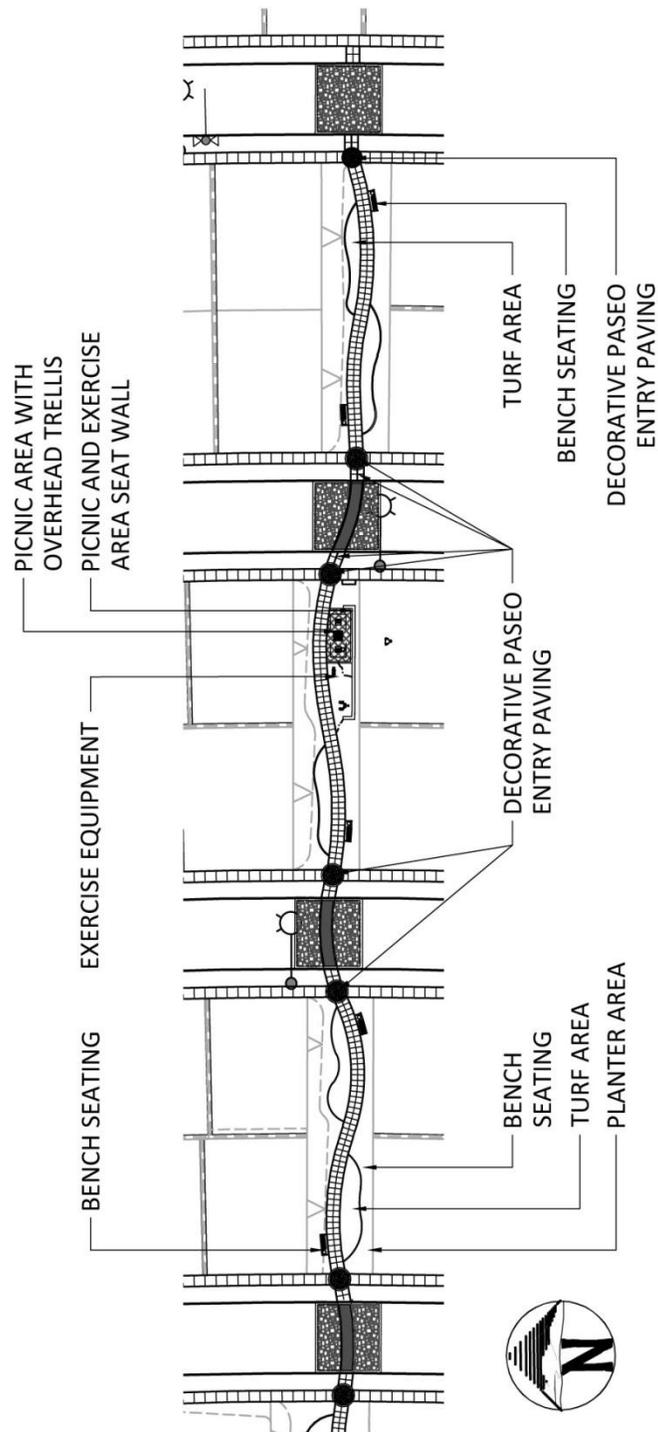


Exhibit 33b
Private Open Space (POS-1) - Village Paseo East Segment



II. Village Structure

G. Wall and Fence Concepts

1. Community Walls

The Ranch-wide theme will be maintained through a comprehensive system of walls and fences. Walls at the Village entries will be designed to accent the entries and establish the European inspired Monterey character. Entry monumentation and architectural walls will be comprised of a light stucco finish and will provide screening, sound attenuation, security and neighborhood identity. Community perimeter walls will be constructed of integral color mid-tone concrete block. An enhanced wall design is also proposed at key locations within the village core and at community entries. Plantable Retaining Walls are planned in three locations as described on Pages 28 to 37.





11. Village Structure

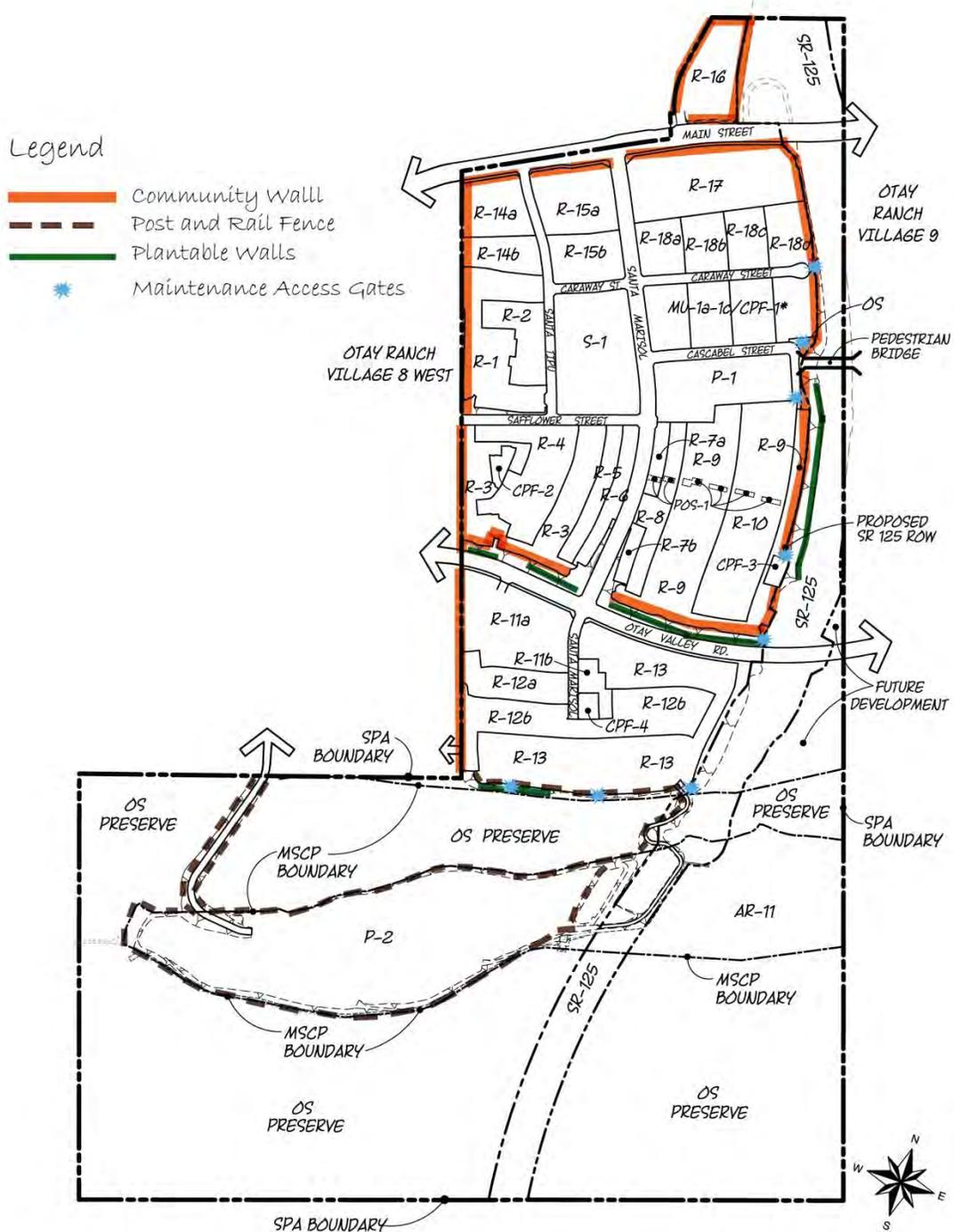
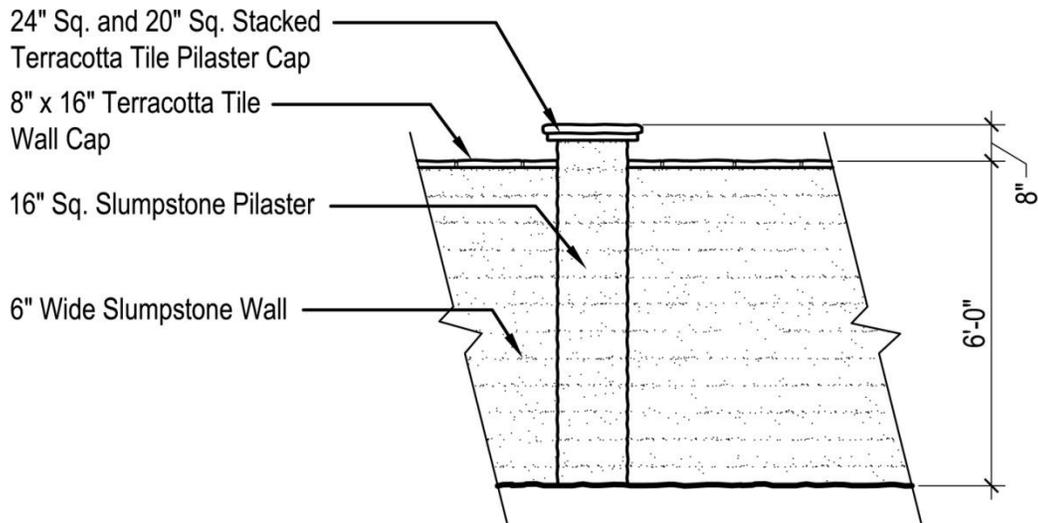


Exhibit 34
Fence and Wall Concept Plan



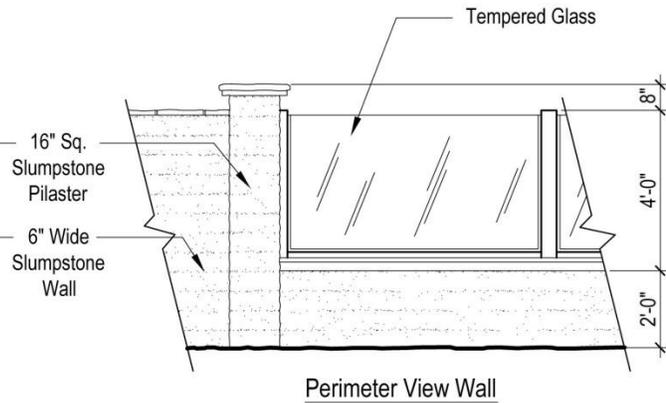
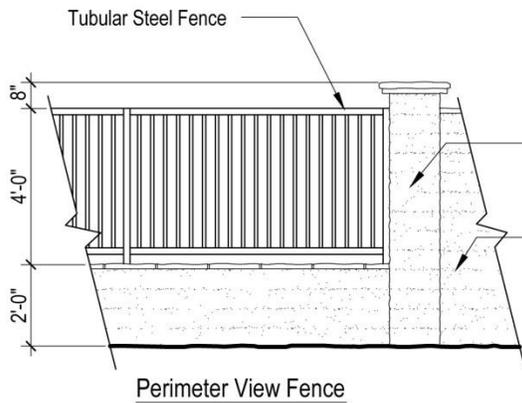
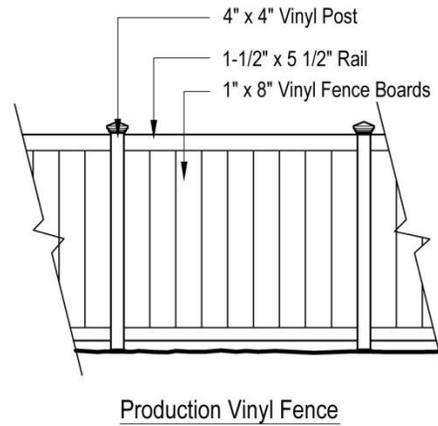
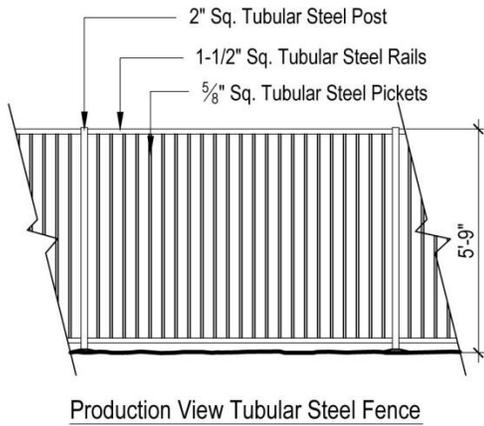
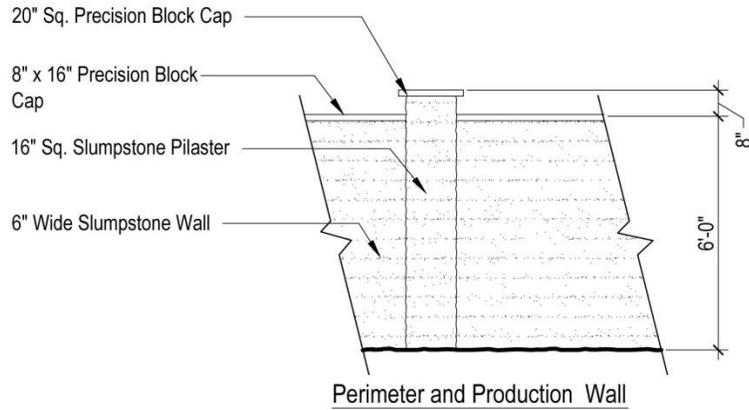
11. Village Structure



Enhanced Perimeter Pilaster and Wall



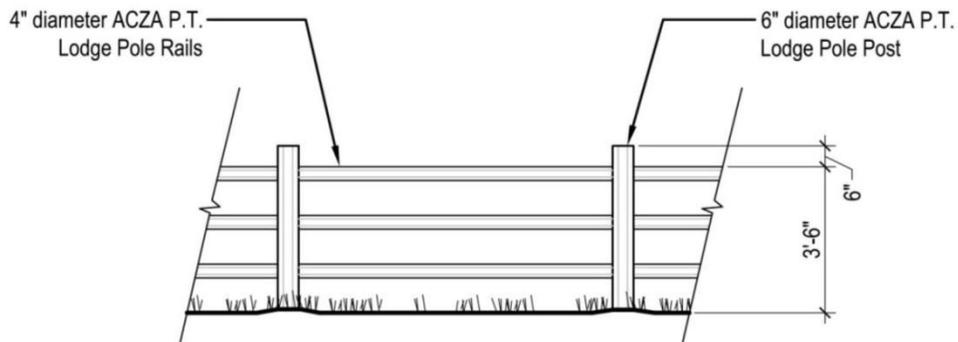
11. Village Structure



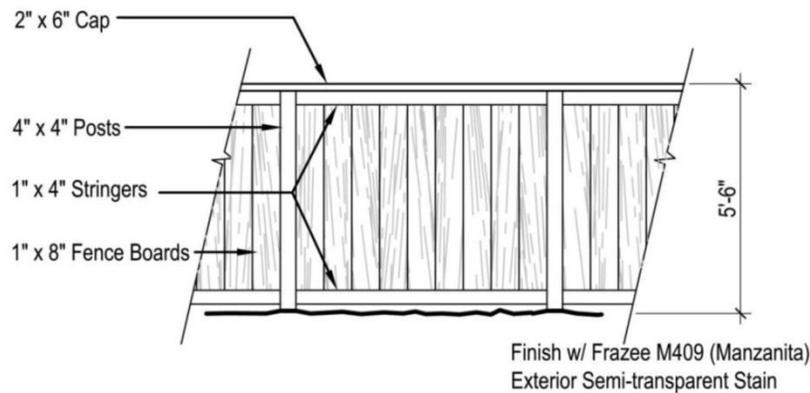
All block to be ORCO Block "La Paz" color or approved equal.
 All tubular steel fencing and hardware to be Frazee Paint color #AC093N Alligator or approved equal.
 All vinyl fencing color to be Tan or approved equal.



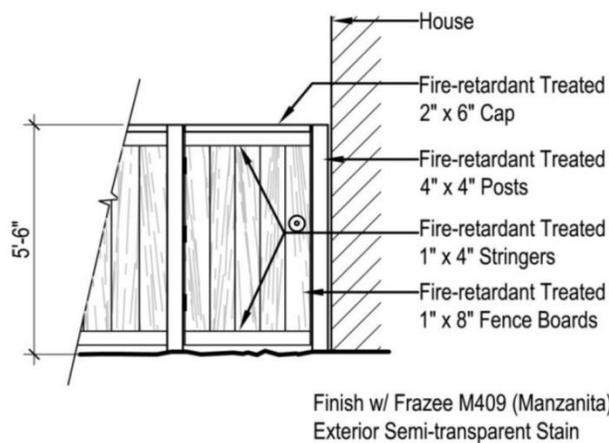
11. Village Structure



Trail Fencing



5'-6" High Side Yard Wood Fence



5'-6" High Fire-retardant Wood Fence Returns

Exhibit 35
Fence and Wall Details

Side yard fencing, including returns, are subject to the Village 8 East Fire Protection Plan requirements.



11. Village Structure

H. Lighting Concepts

The village lighting design concept focuses on the quality of light along specific corridors and areas. Light standards must have a distinctive character to relate to the corridors they serve.



Lighting along pedestrian corridors must be more human in scale, closer spaced and lower than is typically found on an urban street. Light standards should be manufactured of high-quality materials that are visually pleasing. The base, pole and light fixture must be attractive and suitable to the design theme of the village. Street light and Village Pathway fixtures, within the Village Core, shown below are conceptual. Final fixture design will be determined in the Village 8 East Master Precise Plan. The objectives for exterior lighting are as follows:

- ❖ To contribute to the safe and efficient use of all public and private areas in the village.
- ❖ To increase the perception of personal and property safety.
- ❖ To complement and reinforce the architectural and landscape character of all public and private spaces.
- ❖ To contribute to the ease of way finding through the village.
- ❖ To meet all applicable public and environmental standards, including energy conservation.
- ❖ To provide a consistent quality of lighting throughout the village.
- ❖ To avoid adverse impacts such as excessive glare and light spill.
- ❖ To reinforce the identity of each component of the village, including private and public space improvements.
- ❖ To avoid adverse impacts to sensitive biological resources within the adjacent Otay Ranch Preserve by directing light away from Preserve areas through the placement and shielding of light fixtures.
- ❖ Special accent lighting may be proposed within the mixed use commercial, CPF sites and school site (See Exhibit 33). Special accent lighting may include architectural, pathway and/or lighting on signage. All special accent lighting proposed within the 100' Preserve Edge must be shielded and directed away from the Preserve to minimize/avoid light





11. Village Structure

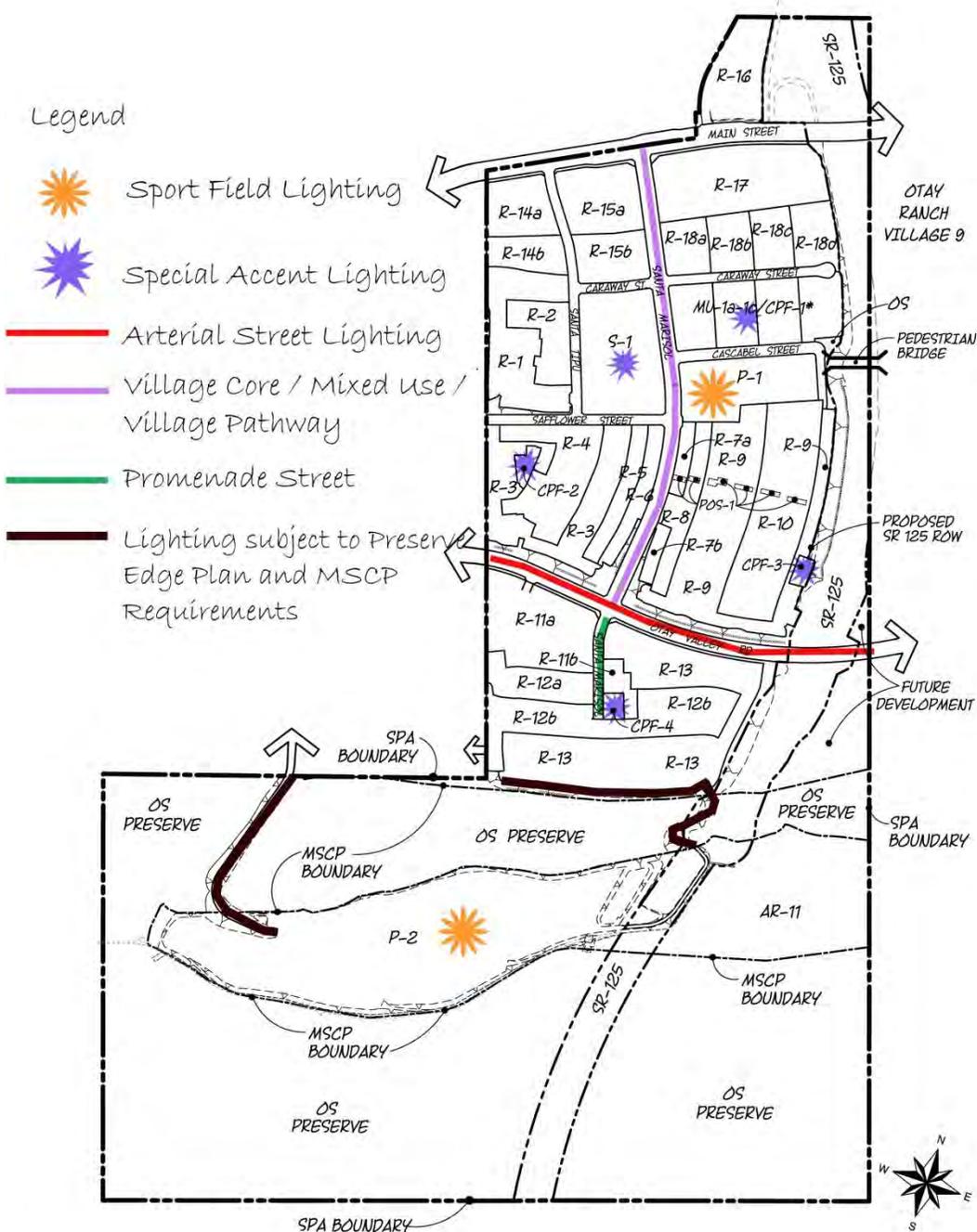
spillage into Preserve areas. Detailed lighting plans will be provided at the improvement/site plan level.

- ❖ Sport field, sport court, parking lot and architectural lighting are planned with public parks, including Neighborhood Park, P-1 and Community Park P-2. Lighting within public parks must be shielded to prevent light spillage into adjacent MSCP Preserve area and other adjacent land uses. See “Public Park Lighting” on Page 81_ for lighting requirements.





11. Village Structure



Note: Lighting within the Community Park and along the Community Park Entry Road and Community Park Paseo is subject to MSCP Adjacency Guidelines. Special accent lighting to be determined in conjunction with improvement/site plans.

Exhibit 36
Lighting Concept Plan



11. Village Structure

1. Secondary Village Entry Street Lighting

Street lighting will be from the opposite side of the street from the pathway. The pathway lighting will be illuminated by a pedestrian scale theme light source.

Pole:

Custom color concrete, approximately 22 feet tall for street lights and painted metal theme character 12 feet tall for pathway lights.

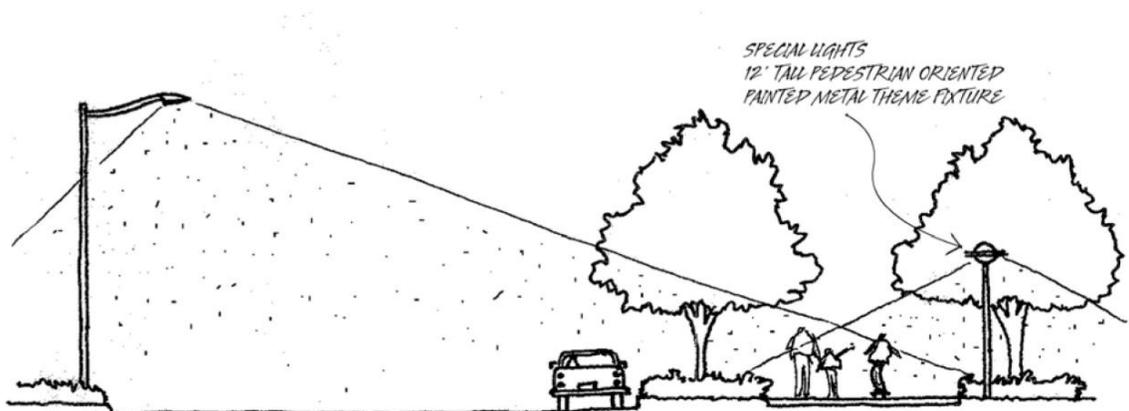
Fixture Type:

Street lights – conventional with special color fixture and custom color concrete pole.

Pathway lights – design and color complimentary to the Village design theme.

Lamp Type:

LED Lamp





11. Village Structure

2. Residential Streets (Promenade) Lighting

Promenade Streets serve automobile, pedestrian and/or bicycle traffic. Street lighting will be located on the opposite side of the street from the promenade walk. Pedestrian scale lighting will be located next to the promenade walk.

Pole:

Custom color concrete, approximately 22 feet tall for street lights and painted metal theme character 12 feet tall for pathway lights.

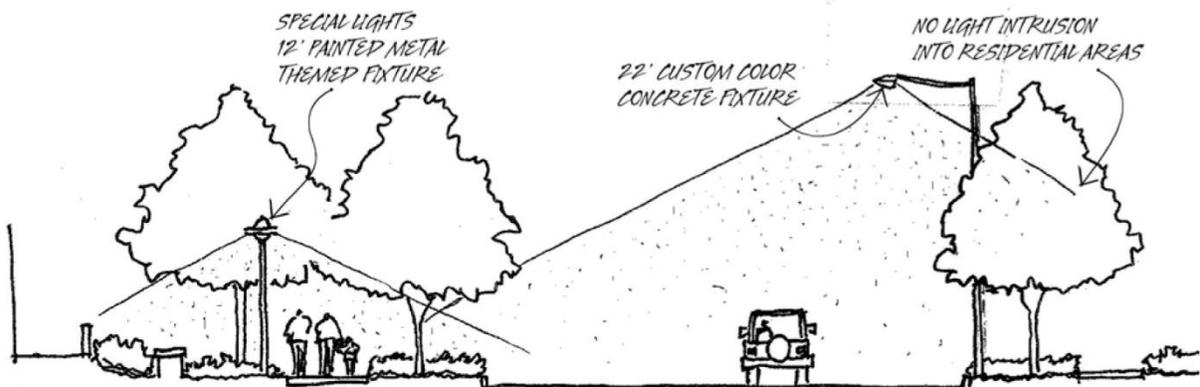
Fixture Type:

Cut-off feature for glare control for both lights.

Standard "Cobra Style" with cut off shield for street lights. Theme fixture for pedestrian path lights with shield.

Lamp Type:

LED Lamp





11. Village Structure

3. Parkway Residential Street Lighting

Residential streets are semi-urban roads with a pedestrian scale. The streets have homes on one or both sides, with pedestrian walks and on-street parallel parking.

Pole:

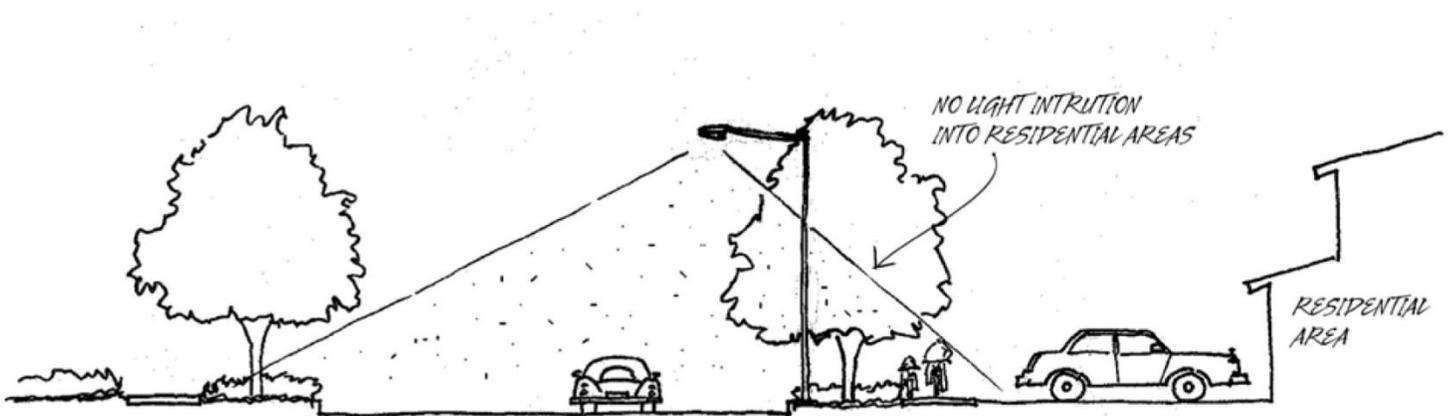
Pre-cast custom color concrete approximately 22 feet tall.

Fixture Type:

Cut-off feature for glare control, either pole top or single davit mount.

Lamp Type:

LED Lamp

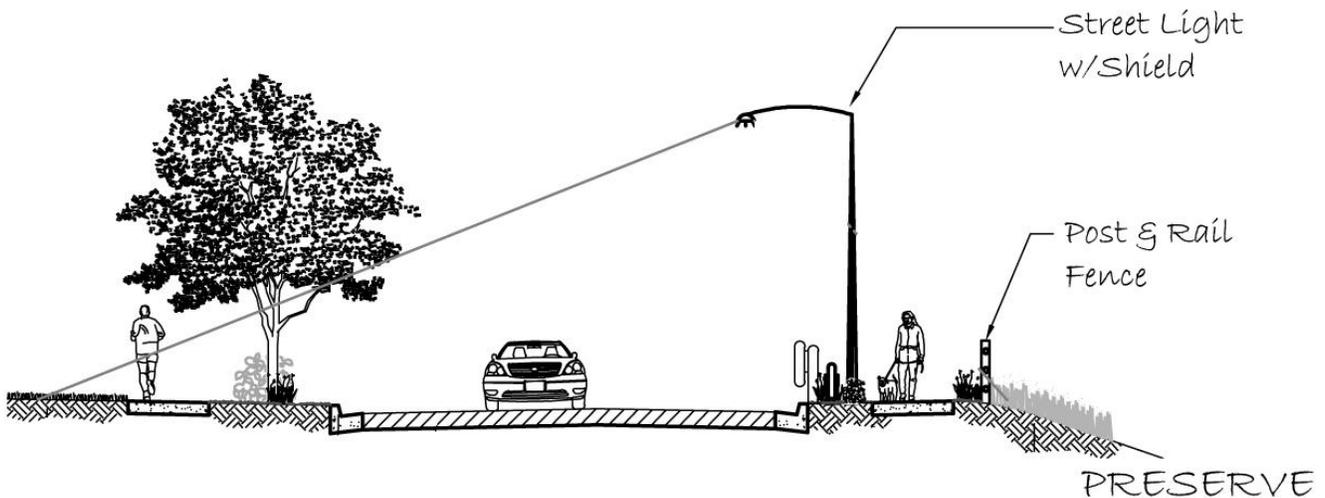




11. Village Structure

4. Lighting within 100' Preserve Edge

Lighting is proposed along the Modified Residential Street located within the 100' Preserve Edge. This single-loaded street has a home on one side of the street, with pedestrian walks on both sides of the street and on-street parallel parking permitted in front of homes. Light fixtures must be shielded to minimize light spillage (see example below) into Preserve areas. In addition, street lights must be installed on the south side of the single-loaded street, closest to the Preserve area with light directed away from the Preserve. See Page 79 for Parkway Residential Street Light details.

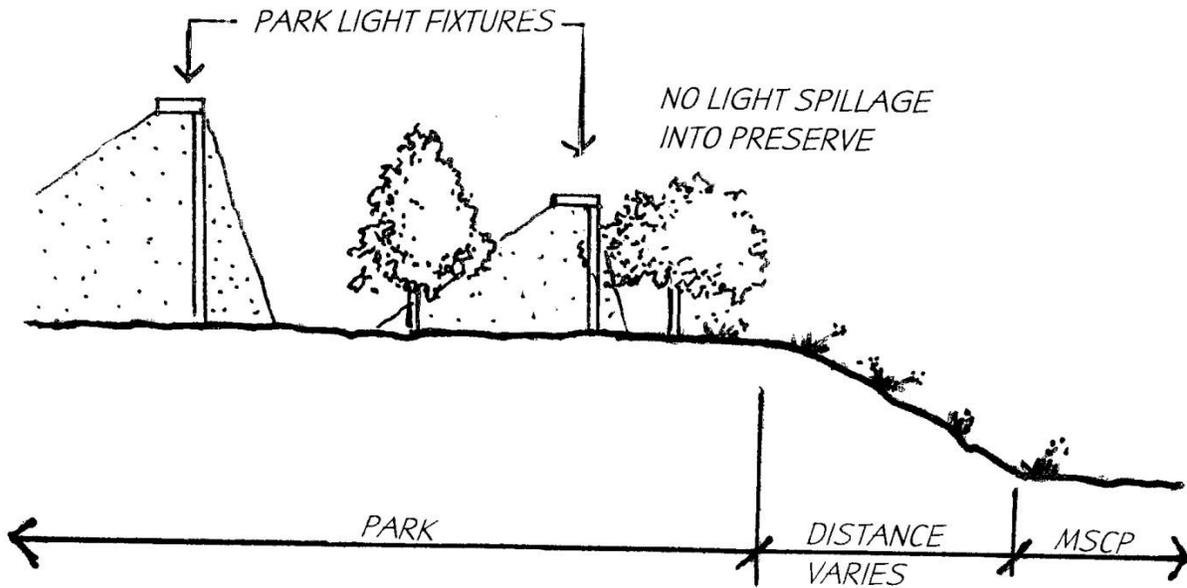




11. Village Structure

5. Public Park Lighting

Lighting is planned within the P-1 Neighborhood Park and P-2 Community Park. Sport Court and field lighting will be provided to accommodate night-time use of sports fields and courts within public parks. In addition to sport court and field lighting, pathway/sidewalk, parking lot and architectural lighting may also occur within public parks. Light fixtures must be shielded to minimize light spillage into Preserve areas and other adjacent land uses. Specific lighting fixtures and lamps will be determined during the park master planning process.





11. Village Structure

6. Parking Lot Lighting

Parking lot lighting is consistent throughout the village, in terms of fixture height, spacing, light source and performance characteristics. Fixture style may differ between projects if necessary. Parking lots should be adequately lighted with pole mounted fixtures. Parking lot lighting adjacent to residential uses should be located to minimize light intrusion and be adequately shielded.

Pole:

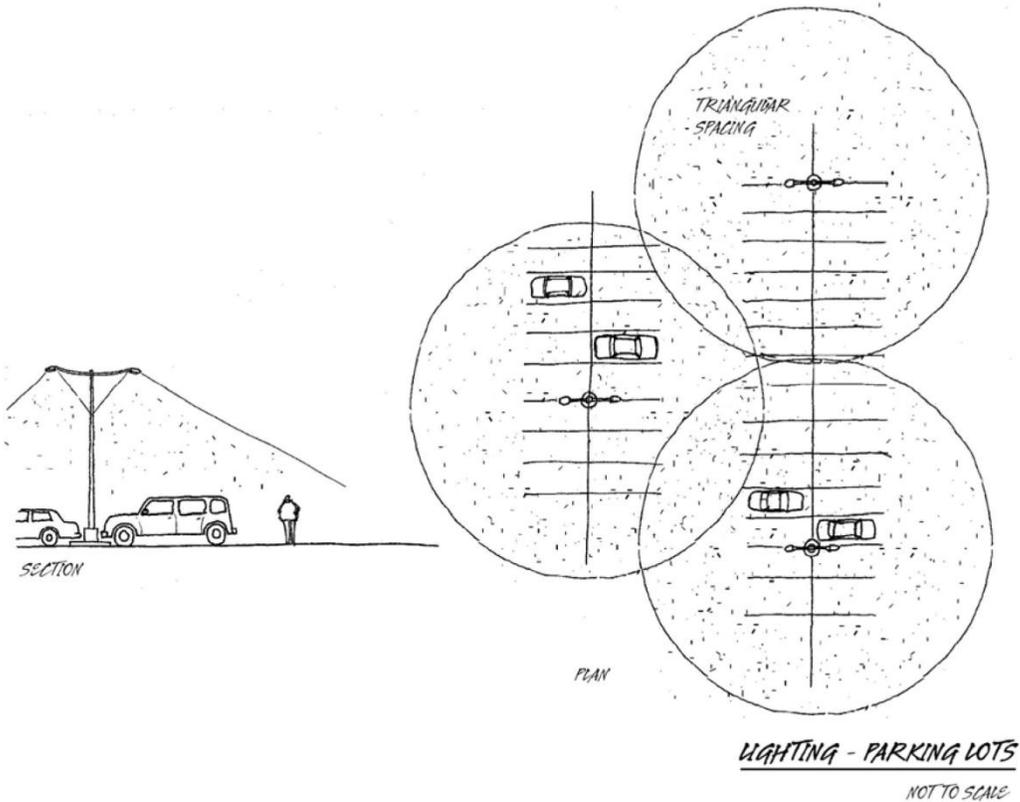
Painted metal, 20 feet tall, triangularly spaced.

Fixture Type:

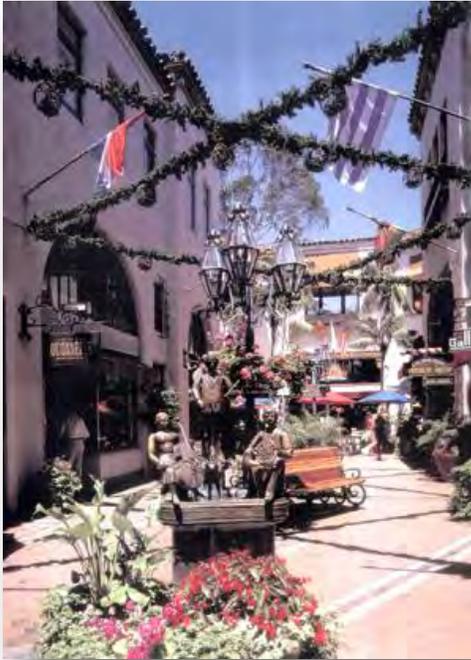
Single or double mount, full cut-off fixtures.

Lamp Type:

LED Lamp



III. Village Core Guidelines



- A. Village Core Design Concept
- B. Village Design Features



III. Village Core Guidelines

A. Village Core Design Concept

The primary feature of the village is the Village Core. The village core is composed of a variety of land uses that form the social, commercial and recreational focus for the village. The land uses that form the Village 8 East core are a neighborhood park, an elementary school, mixed-use commercial and a variety of higher density residential housing types. The design objectives for creating the Village Core are:

- ❖ Create a sense of place with a highly identifiable character.
- ❖ Create a pedestrian friendly environment with activity, enclosure and comfort in specific areas.
- ❖ Maximize connections to the Village Core from secondary area residential development with pedestrian and bicycle routes.
- ❖ Implement a "Main Street" concept for the commercial/mixed-use area.
- ❖ Balance parking and vehicle access needs of commercial uses with the pedestrian focus within the village.
- ❖ Encourage a unified architectural style within the commercial core that can accommodate pedestrian oriented urban design concepts consistent with the village character.

In order to achieve these objectives, a conceptual plan has been developed. The plan addresses the arrangement and connection of uses in the Village Core and conceptually depicts the siting of buildings and parking. The unique character intended within the Village Core precludes the use of fixed or mandated design solutions. Instead, the critical elements of the Village Core, general character statements and identification of important design and site planning features are utilized to convey a qualitative description.



Additionally, design flexibility is necessary to respond to changing market conditions that may occur between initial project planning and final building.

A Village Core Master Precise Plan(s) will be prepared subsequent to this SPA/Design Plan approval. The Master Precise Plan(s) will expand on the design concepts and themes of this document and provide more detailed guidelines for architecture, signage, lighting, street furnishings and landscape.



III. Village Core Guidelines

B. Village Design Features

This section highlights important features of the Village Core Concept Plan and provides guidelines in four design areas: site planning and building orientation, pedestrian and vehicular access, urban character (landscape and/or hardscape) and lighting, signing and street furnishings.





III. Village Core Guidelines



Exhibit 37
Village Core Concept Plan



III. Village Core Guidelines

1. Site Planning and Building Orientation

- ❖ Community serving developments including the elementary school are encouraged to orient building entrances to the main circulation streets. Parking, service and utilitarian uses should be located internally to the sites or where they can be screened from public view. Parking within the public park should be sited to facilitate visual surveillance from the public street.



- ❖ Mixed use/commercial building entrances should be located along the retail street edge and should be closely spaced to

increase articulation and interest along the pedestrian walk. Design emphasis on the entries improves the street scene and helps distinguish individual shops in multi-tenant buildings. Storefronts should incorporate display windows to create interest and encourage window shopping along the pedestrian walk. Uses that are not conducive to such exposure should be located away from the street-level shopping corridor.

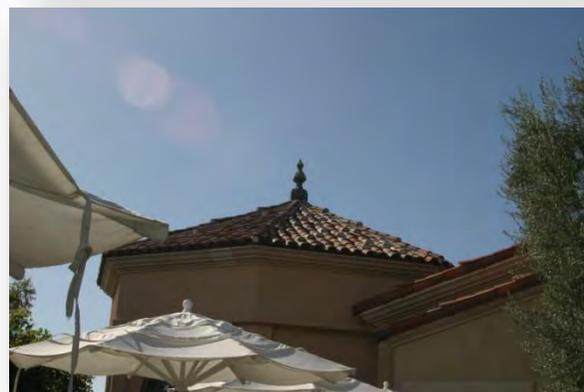


- ❖ Shaded areas and a sense of enclosure will encourage visitors to linger and enjoy the defined areas within the Village Core. Features such as canopies, arcades and roof overhangs can achieve these objectives and also provide weather protection when necessary.



III. Village Core Guidelines

- ❖ In general, the exterior building elevations should incorporate a range of scale defining elements that relate larger building masses to the pedestrian scale. Examples include columns, archways, doorways, upper floor windows and balconies.

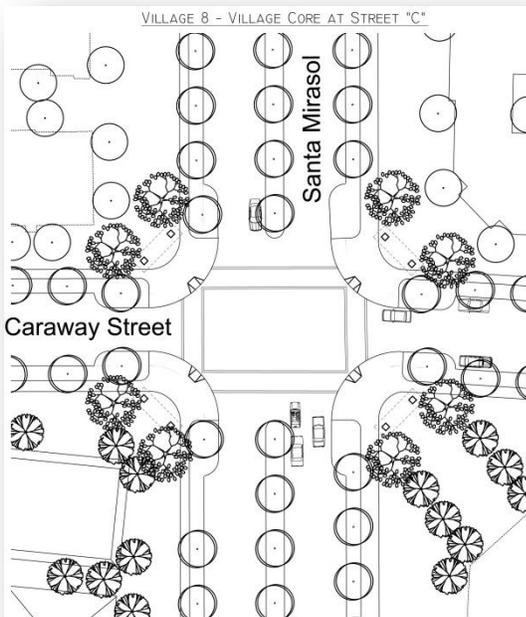




III. Village Core Guidelines

2. Pedestrian and Vehicular Access

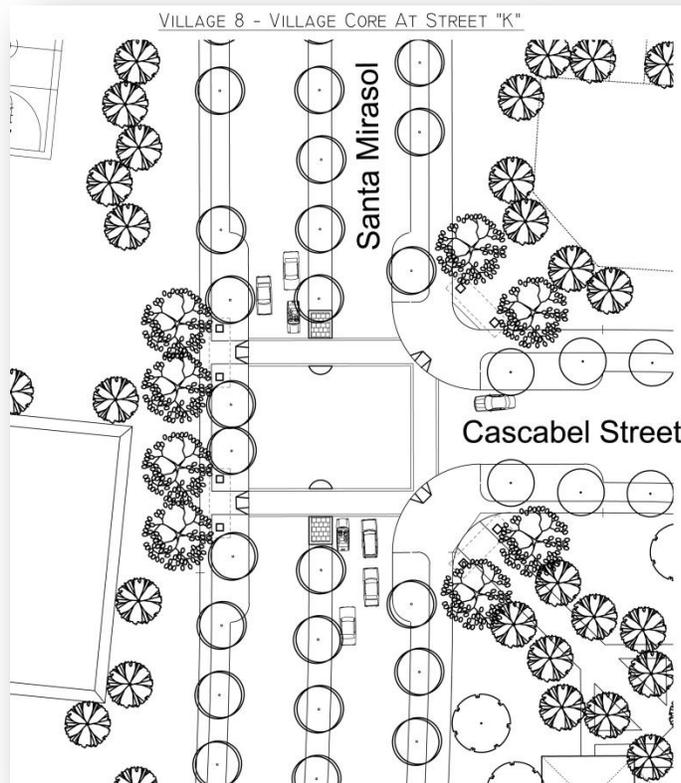
- ❖ Vehicle access should be clearly subordinated to pedestrian access through street design that incorporates narrow travel lanes and minimal driveways and curb cuts. Parking lots should be located behind buildings which front onto pedestrian-oriented streets.
- ❖ Broad sidewalks should be located along pedestrian streets to allow groups to comfortably pass each other. Frequent opportunities to sit, relax and observe should be provided with the inclusion of benches, steps, planters and low walls within and adjacent to the pedestrian walk.





III. Village Core Guidelines

- ❖ Pedestrian and bicycle routes should be maximized and well marked.
- ❖ A sense of arrival in the village core is created along Santa Mirasol through the village core, where the Mixed Use, Elementary School and Public Park are located. Special paving, lighting, street furnishings, public gathering space, enhanced landscaping and strong architectural treatments in the Mixed Use area, elementary school and neighborhood park will invite residents and visitors into the village core for commercial, recreational and educational activities. Grades within the Village Core have been softened to further enhance the pedestrian experience and accommodate walking throughout the village.





III. Village Core Guidelines

3. Landscaping Design Guidelines

A. General Site Landscape Guidelines



❖ Design landscape and open space areas shall be an integral part of the overall site plan design, with a style and amenity level consistent with the surrounding environment and preserve edge.

❖ Trees shall be used to define and enclose exterior spaces and to provide physical protection from the sun and wind.

❖ Street tree planting shall comply with the City of Chula Vista Shade Tree Policy Number 576-19. The objective is to maximize shade cover to the greatest extent possible.

❖ The design of landscaped open space areas shall enhance the building design, create meaningful viewsheds and provide buffers and transitions between adjacent uses.

- ❖ All landscaping within the 100' Preserve Edge is subject to the Village 8 East Preserve Edge Plan.
- ❖ Trees, shrubs and vines shall be used to conceal walls, building elevations and parking facilities.
- ❖ Plant materials shall not interfere with security lighting or restrict access to emergency equipment such as fire hydrants or fire alarm boxes
- ❖ Any structures surrounding mailboxes should match the style of the homes/business where they are located.
- ❖ The pedestrian ground plane should be well defined with a hard surface that is textured or accented to identify focal areas.
- ❖ Grade separations should use structures rather than landscape banks to emphasize the urban character of the village and to serve as seating areas.



❖ Landscaping should reinforce the urban character of the area and reflect ordered, formal plantings rather than random, natural appearing materials. Trees should be incorporated into the



III. Village Core Guidelines

pedestrian path, planted flush to ground level with overhead branches to create overhead canopies.

B. Surface Parking Area Landscape Standards

- ❖ Surface parking lots shall be landscaped and maintained with a combination of trees, shrubs and groundcover.
- ❖ Surface parking lots shall utilize “Orchard Style” tree planting for shade and screening purposes. Island finger planters shall include at least 2 trees (one tree on each end of the island) and shall be at least 8 feet in width and 18 feet in length.
- ❖ Trees shall be distributed throughout the surface parking area.
- ❖ Ensure through tree choice and maintenance that the lowest tree branches are more than eight feet above the finish grade at the base of the tree to prevent damage from and to automobiles, pedestrians and bicyclists.
- ❖ Shade trees shall be provided for all new parking lots that will achieve 50% canopy cover over the parking stall areas five to 15 years after planting, pursuant to Chula Vista Shade Tree Policy Number 576-19 (May 22, 2012)



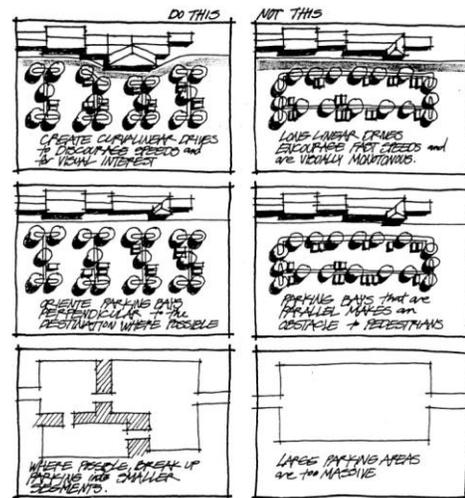
C. Landscape Paving Design Guidelines

These guidelines for paving apply to pedestrian-oriented areas within the Village. Pedestrian pavements may include, but are not limited to, sidewalks, paths, walkways, courtyards and plazas. Enhanced paving may be utilized within key vehicular areas as well.



- ❖ Paved surfaces intended for pedestrian and/or bicycle use shall have the following qualities:

- A surface texture rough enough to





III. Village Core Guidelines

prevent slipping, but smooth enough to prevent stumbling;

- Maintenance-free and/or low maintenance;
- Stain-resistant;
- Fade resistant; and
- Non-reflective

❖ The following pedestrian paving materials meet these criteria:

- Colored concrete; broom finished; salt finished, heavy sandblasted and top cast (exposed aggregate).
- Stamped and saw-cut concrete and tile, provided pavers do not have joints or score lines that catch high heels or cause tripping.

❖ Other pedestrian paving surfaces which do not meet these criteria may be used, provided that the limitations of the material have been considered:

- Decomposed granite (not suitable for use where disabled access should be provided);
- Loose gravel (not suitable for use where disabled access should be provided or where heavy pedestrian traffic is expected);
- White or very light colored paving (not suitable where glare from surface will affect pedestrian safety);
- Asphalt (not suitable where asphalt is likely to become soft on hot days); and
- Wood boardwalk paving (not suitable where heels might catch in cracks between the boards).





III. Village Core Guidelines

4. Lighting, Signing and Street Furnishings

- ❖ The mixed-use/commercial retail street should be well lit to encourage evening use. Street lighting fixtures should relate to the pedestrian scale.
- ❖ Architectural accent lighting is encouraged.
- ❖ Illumination of walkway/trail connections should be provided through the use of low intensity fixtures for safety and comfort. The lighting pattern and intensity should become more intense at path intersections and vehicular crossings.
- ❖ Within building groups, architectural and accent lighting should be indirect and subtle. Increased lighting levels should highlight pedestrian areas to clearly define the pedestrian path. Service area lighting should be contained within the service area boundaries/enclosure. Lighting should be designed to minimize glare and intrusion into neighboring land uses.
- ❖ A Comprehensive Sign Program will be developed to establish specific design parameters for all signage and related theme lighting and street furnishings within the Village Core. Signage should inform and direct but not dominate the visual character of the area.



IV. Residential Guidelines



A. Single Family Residential Guidelines

B. Multi-Family Residential Guidelines



V. Residential Guidelines

A. Single Family Residential Guidelines

These guidelines address the design elements that contribute to the Village planning concepts for pedestrian-oriented design. Guidelines are provided for architectural styles, façade elements, garage location and design and landscape themes.

1. Architecture

The Village 8 East Design Plan is influenced by European architectural styles. Residential architectural styles including Mediterranean, Spanish California Craftsman and Monterey have been selected as examples of styles that complement the



European design theme. These styles are attractive, compatible with one another, and can be easily integrated into the individual style and scale of each neighborhood. It is important to note that these styles are intended for modern adaptation, not recreation of historic homes. The architecture is expected to be somewhat simplified, yet still maintain the unique characteristics that exemplify the style. The following examples of European architectural styles and their individual elements are provided to guide builders/architects during preparation of architectural elevations. A brief description of the architectural styles is provided in this section with pedestrian-oriented elements appropriate to each style.

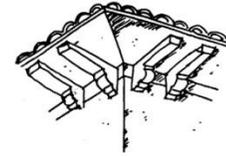


IV. Residential Guidelines

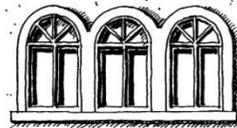
A. Mediterranean

The Mediterranean style is noted for low-pitched hipped roofs typically covered by ceramic tiles and designed with broadly overhanging boxed eaves; arches above doors, first story windows or porches; entrances accented by small classical columns or pilasters smaller; and less elaborate second story windows. Pedestrian features of the Mediterranean style may include:

- ❖ Recessed entry
- ❖ Full length first story windows facing the street
- ❖ Porches with massive square piers as porch supports
- ❖ Second story balconies



Roof Brace with Frieze Board



Series of Arched Windows with Fan Transom



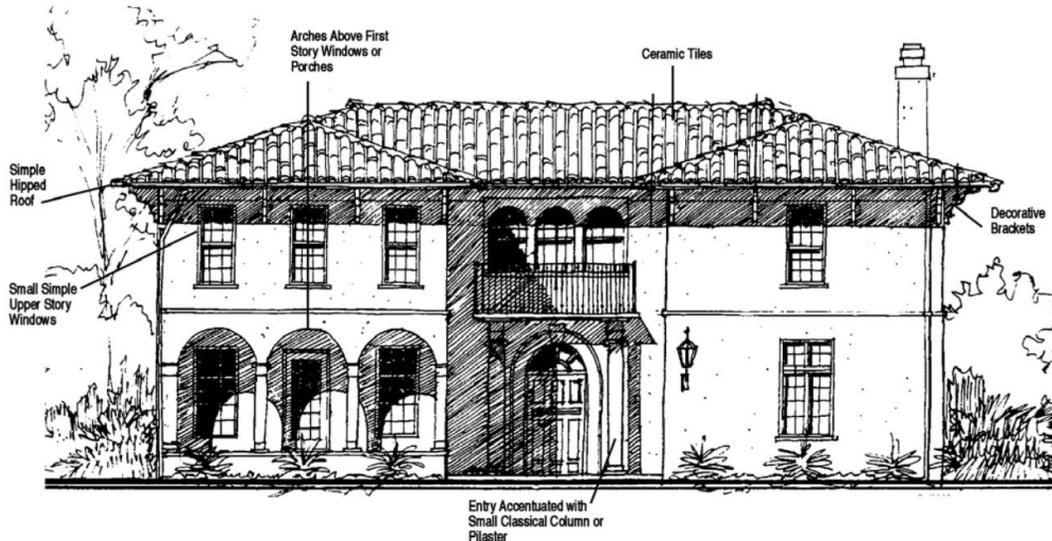
Aligned Window and Door Units with Casing, Metal Rail, Banding



Palladian Composition Entry



Decorative Lamp



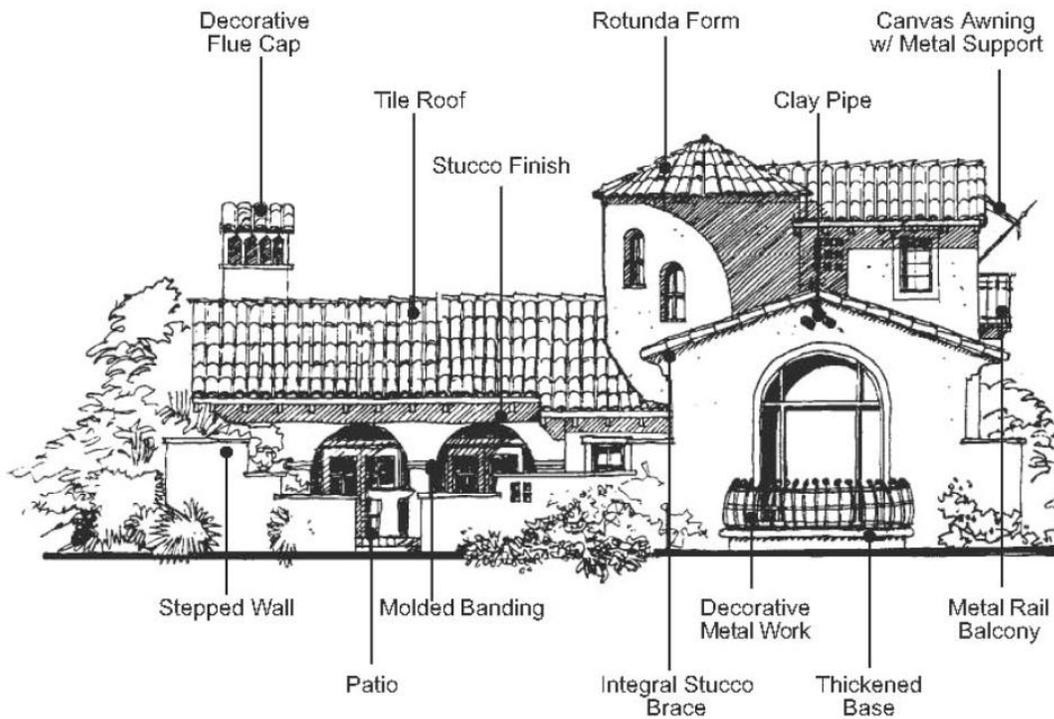
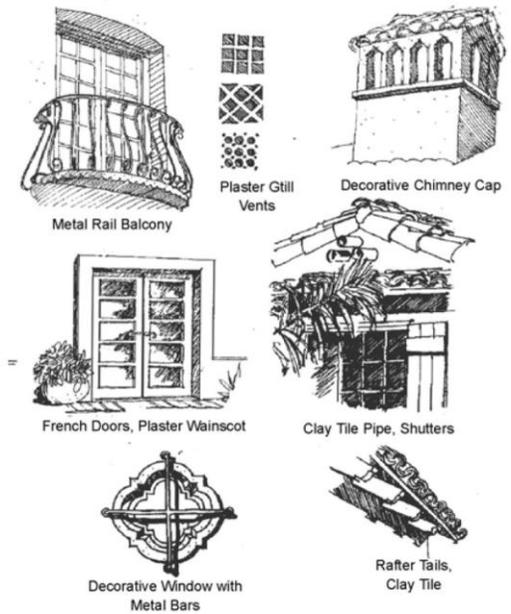


IV. Residential Guidelines

B. Spanish

The Spanish style includes elements ranging from Moorish to Spanish and Mission Revival architecture. The building massing is varied and decorative elements are incorporated to add interest and character. Pedestrian oriented features of the Spanish Eclectic style may include:

- ❖ Courtyard patio entries.
- ❖ Porches supported by arched forms.
- ❖ Front facing windows, often one large arched window.





IV. Residential Guidelines

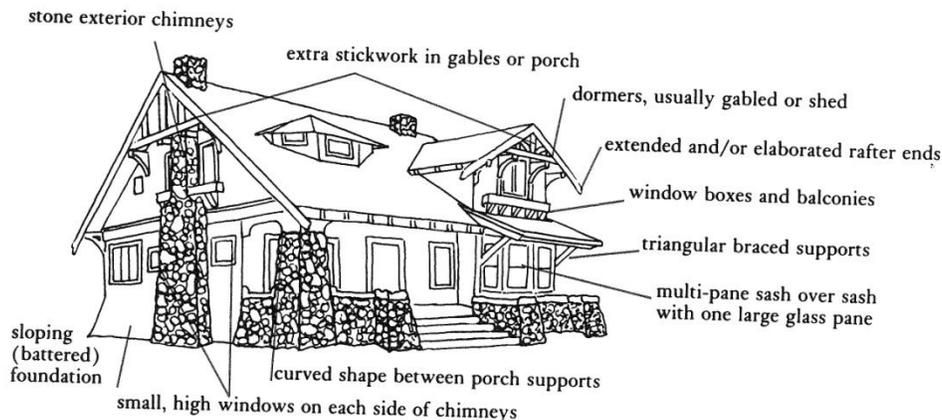
C. California Craftsman



Craftsman architecture was the dominant style for smaller houses built throughout the country during between 1905 and the early 1920s. The Craftsman style originated in southern California and most landmark examples are concentrated there. Like vernacular examples of the contemporaneous Prairie style, it quickly spread throughout the country.

Craftsman homes were typically single-story structures featuring low-pitch roofs with wide eaves to shade expansive front porches. The structure consisted almost entirely of wood framing and shingles with a stone foundation. The philosophy was to combine natural elements, such as wood and stone, with the functional aspects of a home.

The modern interpretation of the California Craftsman architectural style may incorporate a low-pitched, gabled roof (occasionally hipped) with wide, unenclosed eave overhangs, exposed roof rafters, decorative (false) beams or braces under gables, porches either full or partial width with roof supported by tapered square columns or pedestals frequently extend to ground level. Wood clapboard, wood shingles, stone, brick, concrete block and stucco are commonly used in Craftsman architecture.





IV. Residential Guidelines

D. Monterey

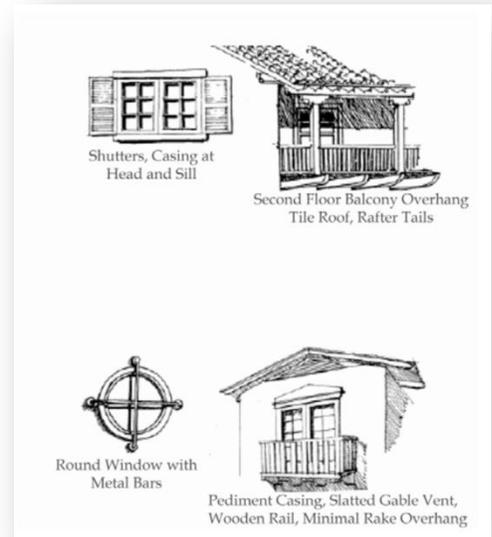
The Monterey architectural style is a free revival of the Anglo-influenced Spanish Colonial homes of Northern California. These blended Spanish adopted construction with pitched-roof, mass-plan English shapes brought to California from New England. The revival version similarly fuses Spanish Eclectic and Colonial Revival Details.



Roofs are usually covered with wooden shingles but are occasionally tiled. Wall cladding materials are stucco, brick or wood. The first and second stories frequently have different cladding materials, with wood over brick being the most common pattern. Door and window surrounds may mimic the

Territorial examples of their Spanish Colonial prototypes; paired windows and false shutters

are common. Balconies are dominant architectural features, comprised on cast iron or wood detailing.



roof usually of wood shingles or ceramic tiles



full-length windows opening onto balcony

first and second stories of different materials

door and window surrounds absent or of simple Colonial form

December 2, 2014

Village 8 East Design Plan • Page

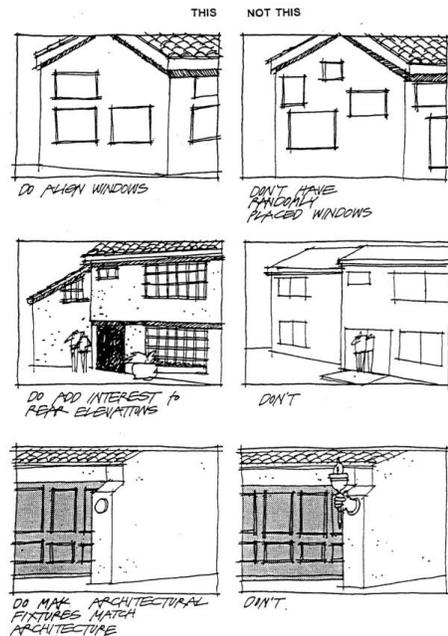
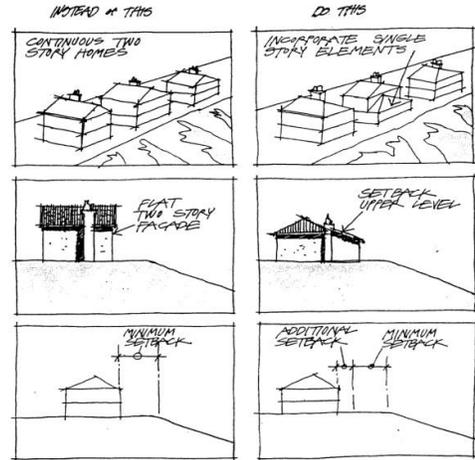


IV. Residential Guidelines

2. Pedestrian-Oriented Design

Pedestrian-oriented neighborhood design emphasizes a sense of neighborliness and community through aesthetically pleasing site planning and architecture. Essential elements include attractive architecture, inviting entries and a minimization of utilitarian areas facing the street. The structure of a neighborhood must be understood to better promote its pedestrian-orientation. The area between the street and residence contains a hierarchy of public to private spaces. The street, sidewalk and parkway are perceived as public, common neighborhood use areas. Residential front yards provide a transition space between the public spaces of the sidewalk and street, and the private spaces of the home. The residential entry is the final demarcation area between public and private spaces. The design of residential neighborhoods can complement that orientation by borrowing elements from

traditional neighborhoods, such as porches, and minimizing the influence of the automobile. The following sections describe three primary areas of design that will facilitate the creation of pedestrian-oriented neighborhoods: site planning, façade elements and garage and driveway design.





IV. Residential Guidelines

3. Site Planning

Appropriate site planning and building plotting are fundamental to creating a pedestrian-oriented neighborhood. Variety is the key to creating a vibrant neighborhood and promoting individual residential identity. Site planning and building plotting in single-family residential neighborhoods should be based upon the following criteria:

- ❖ Single-family detached residential lots and setbacks shall encourage variety in the design, orientation and placement of homes, wherever practical.



- ❖ Front yard building setbacks shall be varied, where possible, to avoid a monotonous pattern of houses.
- ❖ Where slopes in side yards allow for varied side yard setbacks, provide more useful private open space in side yards and avoid a monotonous pattern of houses.
- ❖ A minimum of three housing plans shall be provided for compatibility with different lot configurations (interior and corner lots) and variety of designs for entry and garage designs.
- ❖ Side entry floor plans may be used on corner lots, provided that the entry is clearly defined and the front elevation includes front-facing bay windows, porches or other pedestrian-oriented design features.
- ❖ Housing plans used on corner lots shall provide for architectural features, such as porches or entry trellises to wrap around the street-facing corner.
- ❖ Production wall fencing shall be integrated into the design of corner lots to provide for reduced wall length and other enhancements to side yards.



IV. Residential Guidelines

- ❖ Where the rear of a lot abuts a street, the design shall provide for a privacy wall and landscaping consistent with the village streetscape theme and enhanced architectural features.



- ❖ Grade differentials within neighborhoods shall be used to add variety and enhance the sense of open space between residences.

- ❖ Housing plans shall provide a variety of designs for garage locations and treatments.



- ❖ Housing plans shall provide for a variety of designs for entry features.

4. Building/Lot Schematics

The following illustrations are options for site planning and building plotting on various sized lots. These are possible prototypical concepts and are not intended to constrain more creative solutions. The examples provide minimum setbacks and do not address special lot configurations, such as non-perpendicular lot lines, allowances for easement and slopes or other constraints.

Corner Lots

Homes built on corner lots are often the most visible within the neighborhood. Due to the visibility, the architectural treatment of corner lot homes define the character of the neighborhoods. It is important for each neighborhood to include one house plan that can be used in both interior and corner designs. Variety in architectural styles and treatments should also be included to create interest and individual home identity for corner lots.





IV. Residential Guidelines

Architectural treatments for corner lots include “wrap around” architecture such as porches, siding, roof treatments, door and window trim and other embellishments. These features enhance the front façade of the home and continue with equal emphasis on the forward side of the house. Variation in the wall planes or a single component of building mass may be oriented toward the corner. Entries, windows, garages, landscaped trellises and decorative privacy walls may also be located toward the corner or the side of the house.

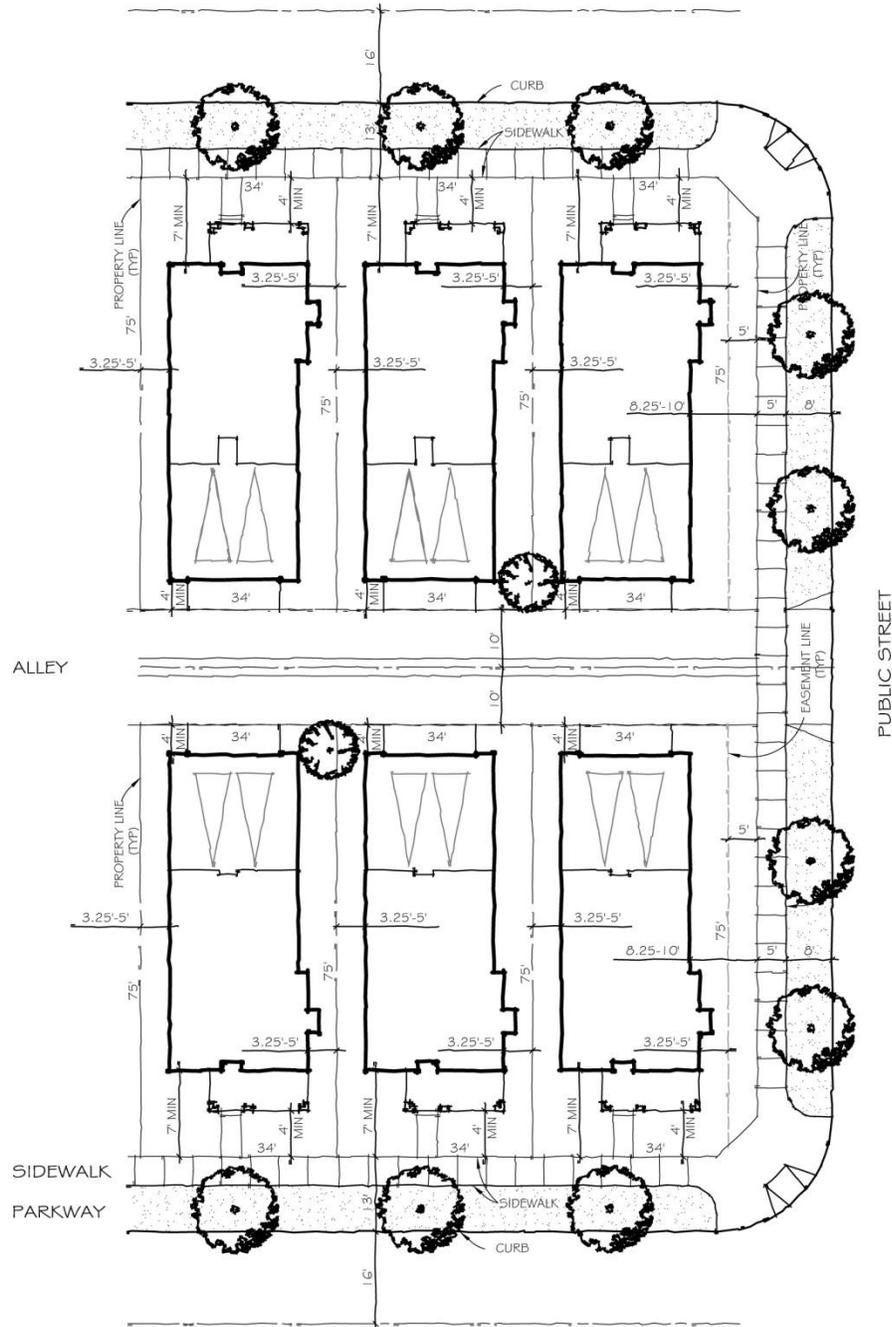


Alley Plotting Guidelines

- ❖ Optimizes architecture on the street frontage.
 - ❖ Garages via alley at the rear elevation.
 - ❖ Provides for undulated building massing and varied setbacks appropriate to architectural style.
 - ❖ Provides for varied roof pitches and directions.
-
- ❖ Orients front doors and entries toward street where possible.
 - ❖ Provides for private, usable rear yards.
 - ❖ Curb separated sidewalks provides a traditional tree-lined foreground for homes.



IV. Residential Guidelines



NOTE:
ALL YARD DIMENSIONS ARE MINIMUMS

Exhibit 38
34'X75' / 34'X83' Typical Alley Plotting



IV. Residential Guidelines

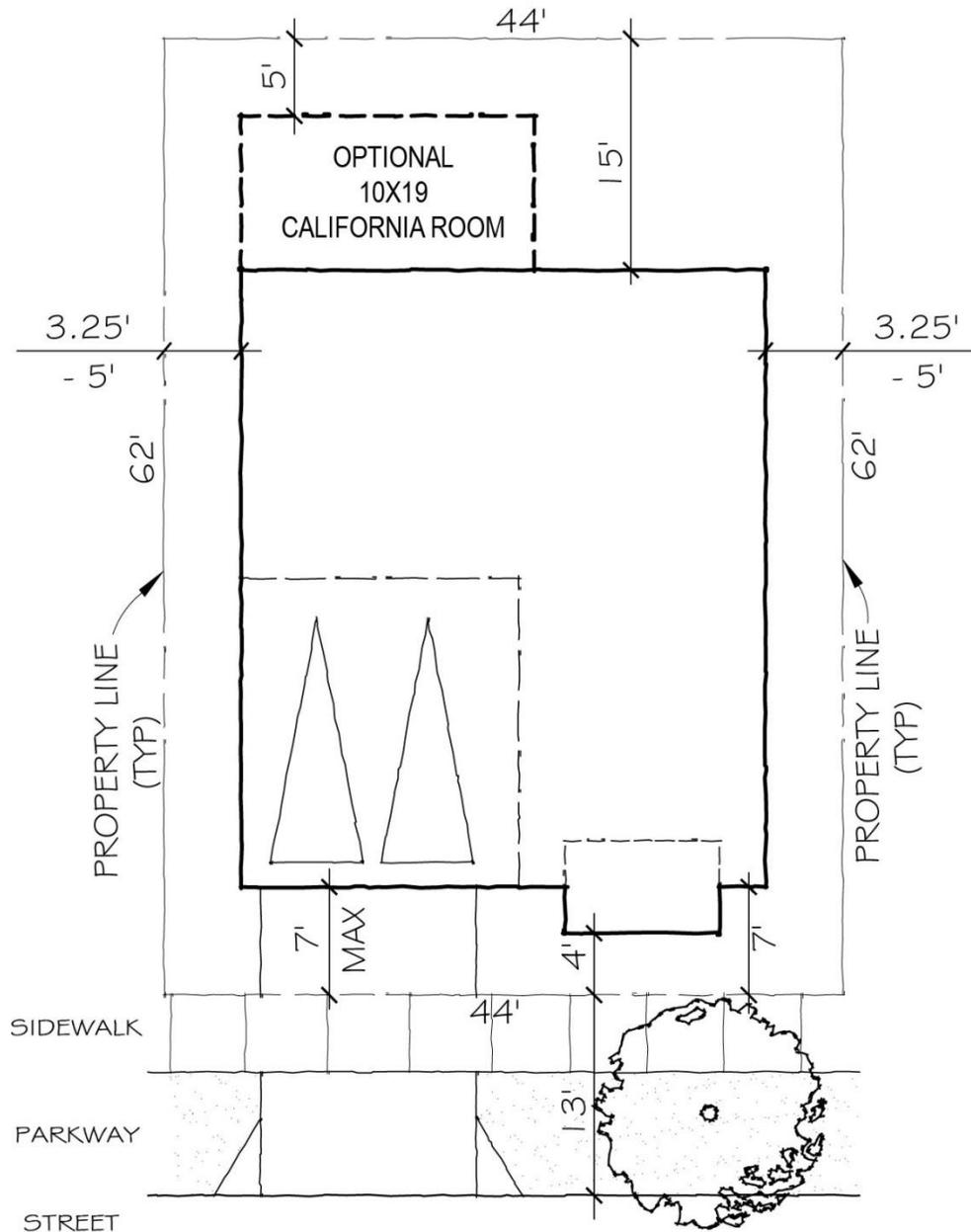
Single Family Plotting Guidelines:

- ❖ Optimizes architecture on the street frontage.
- ❖ De-emphasizes garages through varied plotting design and/or architectural garage treatments.
- ❖ Provides for undulated building massing and varied setbacks appropriate to architectural style.
- ❖ Provides for varied roof pitches and directions.
- ❖ Orients front doors and entries toward street where possible.
- ❖ Provides for private, usable rear yards/driveway side yard.
- ❖ Curb separated sidewalks provides a traditional tree-lined foreground for homes.
- ❖ Garage Plotting Options
 - 2 or 3 car garages
 - Shallow recessed
 - Deep recessed
 - Side entry
 - Split
 - Tandem





IV. Residential Guidelines

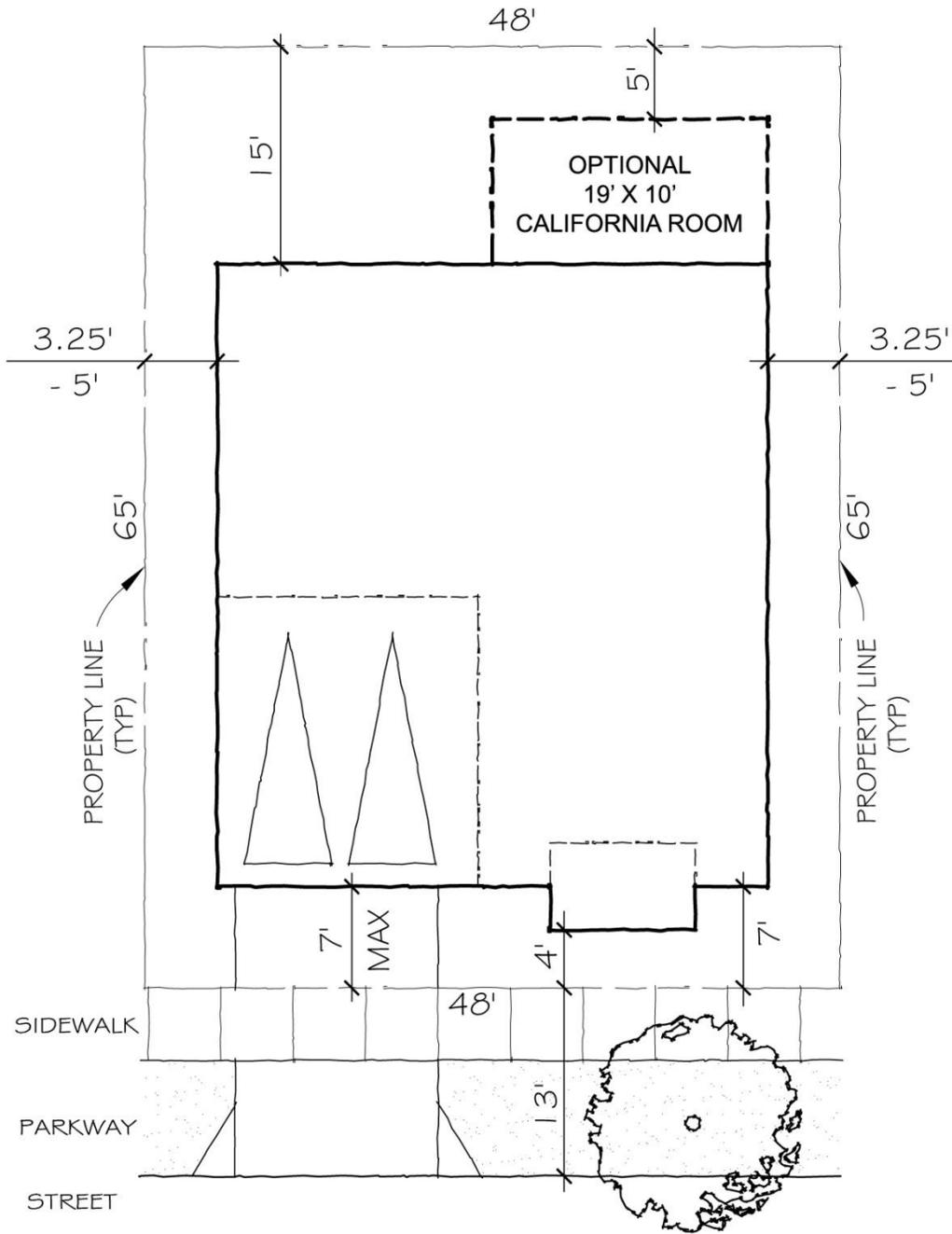


NOTE:
ALL YARD DIMENSIONS ARE MINIMUMS

Exhibit 40
44'X62' Typical Single Family Plotting



IV. Residential Guidelines

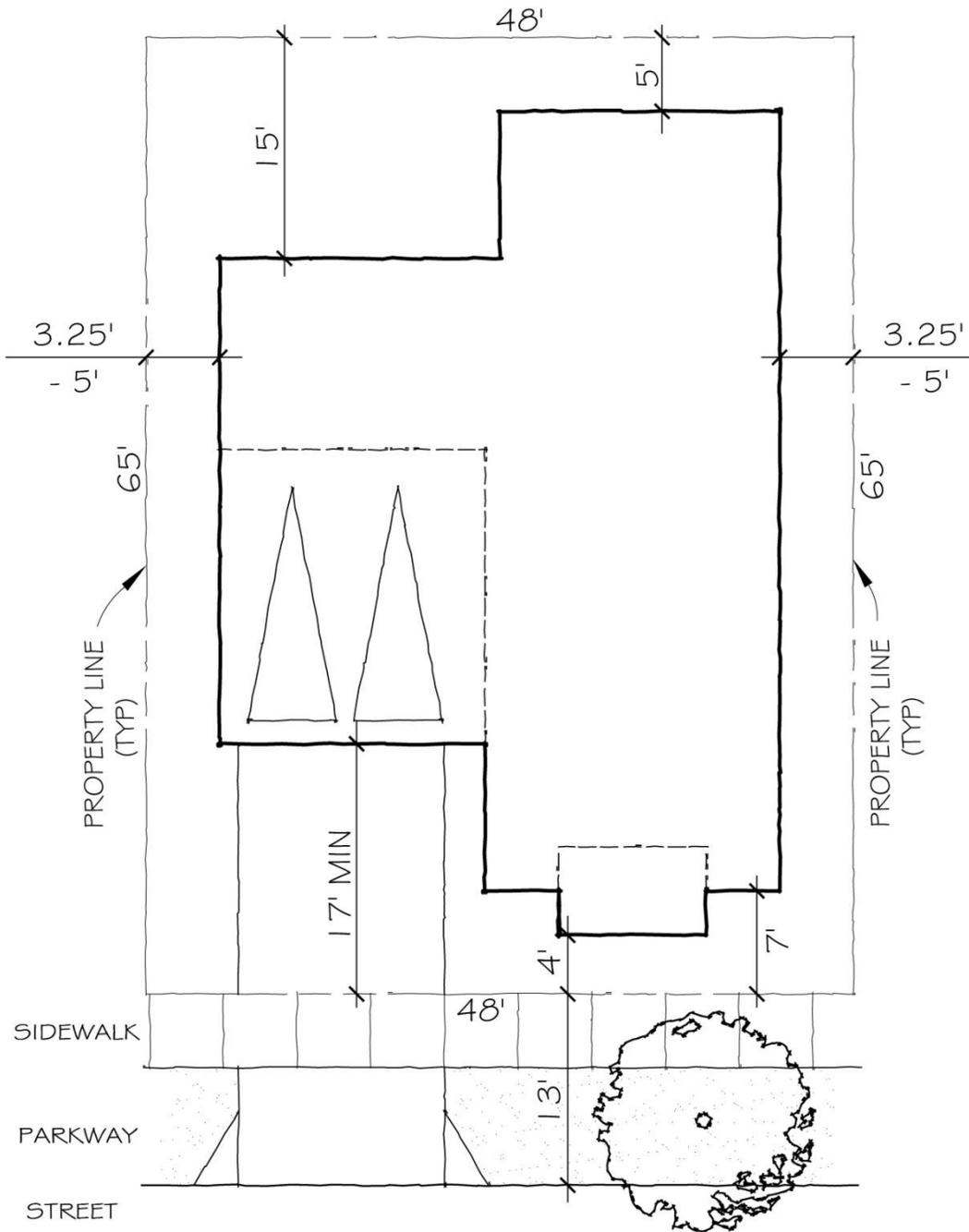


NOTE:
ALL YARD DIMENSIONS ARE MINIMUMS

Exhibit 41
48'X65' Typical Single Family Plotting "A"



IV. Residential Guidelines

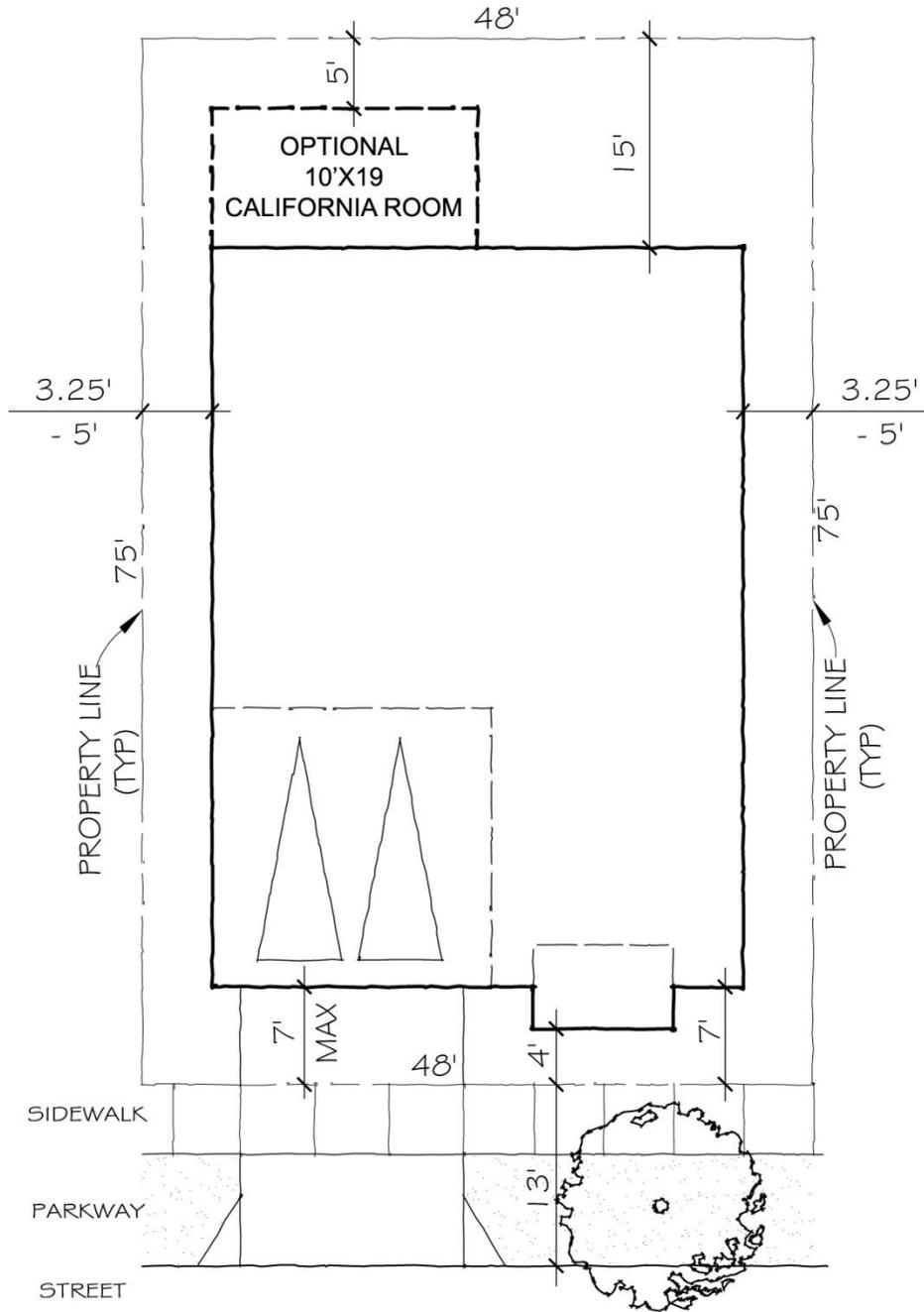


NOTE:
ALL YARD DIMENSIONS ARE MINIMUMS

Exhibit 42
48'X65' Typical Single Family Plotting "B"



IV. Residential Guidelines



NOTE:
ALL YARD DIMENSIONS ARE MINIMUMS

Exhibit 43
48'X75' Typical Single Family Plotting "A"



IV. Residential Guidelines

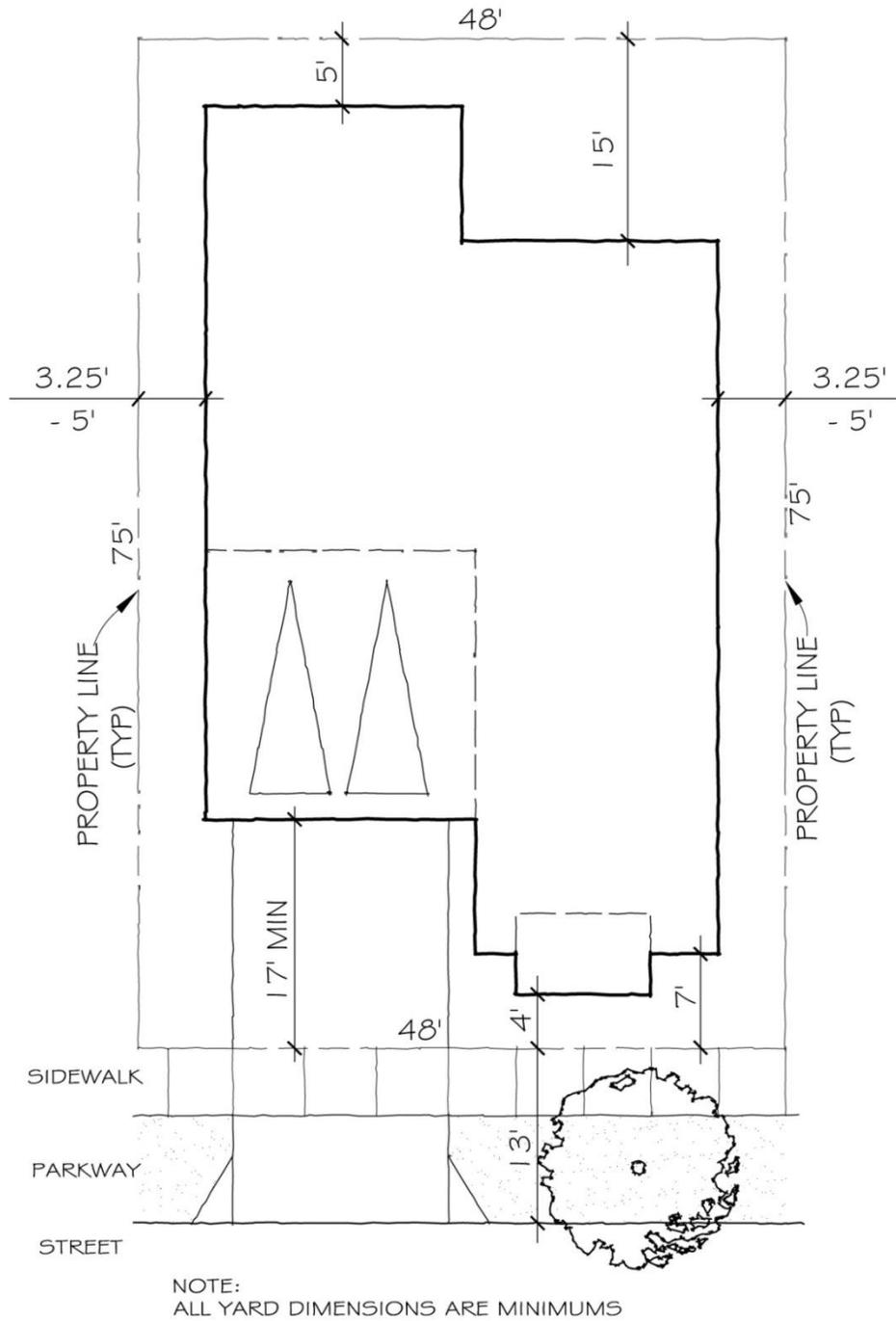


Exhibit 44



IV. Residential Guidelines

48'X75' Typical Single Family Plotting "B"

5. Facade Elements

Residential building facades should be attractively designed with varied features for individual identity and neighborhood interest. Façade features should be pedestrian-oriented to provide a connection between the public street and sidewalk and the private residence. Façade treatments may include:

- ❖ Variation in architectural style.
- ❖ Undulating building mass and roof planes.
- ❖ Vertical and horizontal stepped massing.
- ❖ Visually minimized garages.
- ❖ Entry features such as doors, windows, porches, patios, courtyards and trellises oriented towards the street and appropriate to the architectural style.
- ❖ Facades that are visible from public view areas (open spaces, streets, parks, etc.) shall be articulated to avoid monotony.

6. Garages and Driveways

The pedestrian-orientation of a neighborhood places emphasis on the home and front yard rather than the garage. This section describes building massing and plotting techniques, as well as specific solutions for garage placement and façade design. Designers are encouraged to explore additional methods to meet the objective of minimizing the visual dominance of garages in neighborhoods. Basic guidelines for garage design are:

- ❖ Minimize the impact of garages facing the street by techniques such as varying garage door patterns and utilizing deep recessed doors, varying colors, splitting one large door into two single doors, and integrating door windows and coach lights.
- ❖ Vary the garage setbacks; the preferred design is for the garage wall to be set back farther than the front wall of the home.
- ❖ Provide variety through the use of alternative garage configurations such as split, swing-in, and mid to deep recess garage.



IV. Residential Guidelines

- ❖ Do not place front facing garages forward of front building wall.
- ❖ Vary the garage setback from the back of sidewalk.

A. Multi-Family Residential Guidelines

1. Architectural Theme

The multi-family residential neighborhoods are located within the Village 8 East core area. As a fundamental component of the village core, the architecture of the multi-family development is focused primarily on the European architectural design theme. Preferred architectural styles include Mediterranean, Spanish, California Craftsman and Monterey.

Multi-family residential in Village 8 East may include a variety of housing types, ranging from small lot, detached homes, to medium to high-density townhouses and flats. These guidelines address the design elements that contribute to the Village planning concepts: pedestrian-oriented



design, façade elements, parking and garage location and design and landscape themes. Specific building architectural styles are not mandated but should be complementary to the European architectural design theme for the Village.

The pedestrian-oriented Village concept is enhanced by the intensity of multi-family development in the Village Core located in proximity to public transit, shopping, and community facilities. It is anticipated that residents of multi-family developments will take

advantage of the available opportunities to walk to schools, parks and shopping areas. Pedestrian access and amenities are fundamental components of the Village. The siting, access, entries and architecture of multi-family development should complement the pedestrian orientation of the Village.

Multi-story attached developments, such as townhomes and apartments are the primary focus of the guidelines in this section. The small lot, detached residential developments within the multi-family category shall adhere to the guidelines for single-family residential development.



IV. Residential Guidelines

2. Site Planning and Building Plotting

The site planning and plotting of multi-family residential buildings will contribute to the pedestrian-oriented Village concept. Site planning which focuses on the pedestrian includes designs that orient entries toward Village streets and minimize views to garages and parking areas. The following guidelines are provided for siting and building plotting of multi-family developments.



- ❖ Developments fronting onto Village Pathway and Promenade streets shall be oriented toward the street with reduced setbacks, multiple entries and pedestrian connections to ground floor units.
- ❖ Buildings should be oriented to create outdoor rooms, such as courtyards, connected by landscaped walkways in the European Architecture-inspired Village design theme.
- ❖ Building orientation should consider indoor and outdoor privacy, noise, solar access and overall aesthetic appearance.
- ❖ Where grade differentials occur between the street and a development, the differential may be used to create separation between the public street and private living space. Interesting entries incorporating steps, porches or landings may be integrated into the design.
- ❖ Developments adjacent to major streets surrounding the Village and adjacent to Village Entry Streets may be buffered with sound and privacy walls. Walls and view fences located along village entry streets shall incorporate inviting entry openings for both pedestrians and cars.



IV. Residential Guidelines

- ❖ Building architecture that is visible beyond sound and privacy walls shall be well-articulated with pedestrian-oriented features, such as second story windows and balconies.
- ❖ On village streets within the core area, the use of solid masonry walls should be minimized and used primarily between buildings to screen parking areas or to enclose private entries and courtyards.
- ❖ A wide variety of housing types are suitable for Village 8 East and creative site planning solutions are encouraged. The following exhibits illustrate site planning and building plotting for town home, court yard and apartment developments. These examples are not intended to be all-inclusive or restrictive. Minimum setbacks may be reduced or modified through the Design Review process. That process provides for consideration of unique site planning and architectural solutions for multi-family housing.
- ❖ Site planning for multi-family neighborhoods adjacent to the Preserve are subject to MSCP adjacency guidelines, the Preserve Edge Plan and Fire Protection Plan. Any uses proposed within the 100' Preserve Edge will be reviewed in conjunction with the Major Design Review process and are subject to review and approval of the Development Services Director.

Multi-Family Site Planning guidelines include the following:

- ❖ Optimizes architecture on the street frontage.
- ❖ Garages located in alleys or parking courts.
- ❖ Provides for undulated building massing and varied setbacks appropriate to architectural style.
- ❖ Provides for varied roof pitches and directions.
- ❖ Orients entries toward street or interior pedestrian courtyards or walkways.
- ❖ Provides for private open space.
- ❖ Garage Plotting Options
 - Alley entry
 - Internal Street





IV. Residential Guidelines

- Tandem
- Carport

3. Facade Elements

Multi-family residential development should be designed to promote variety and enhance the human-scaled pedestrian activity of the Village. The following guidelines suggest methods for creating vital, interesting architecture:

- ❖ Developments should be unique, but share fundamental architectural characteristics consistent with the Village theme.
- ❖ Building elevations that are visible from public view areas (all Village streets, surrounding arterial streets and public open spaces) shall be articulated with elements such as wall offsets, balconies, and windows, appropriate to the architectural style.



- ❖ The architectural style along the same street or within an individual development shall be compatible through the use of similar building heights, materials, window or door style, detailing, porches, arcades, overhangs, roofing or color.
- ❖ Varied building elements, roof pitches, and setbacks should be employed to avoid monotony.
- ❖ Each development shall provide a well-articulated, identifiable pedestrian entry oriented toward the village street.
- ❖ Distinctive building elements shall be oriented toward the corners of prominent village core and entry street intersections.
- ❖ Street facing facades shall incorporate a range of scale-defining elements that relate larger building masses to the scale of the pedestrian. Elements may include trellises, columns, archways, doorways, porches or patios and upper floor balconies and windows.
- ❖ Individual residential unit entries shall be oriented towards the village streets wherever possible.
- ❖ Internal residential units shall be connected to the village streets by courtyards or landscaped walkways wherever possible.



IV. Residential Guidelines

- ❖ Stairs shall be sensitively designed and integrated into the overall building design.
- ❖ Utilitarian areas, including parking, loading, mechanical equipment and trash enclosures, shall be screened from view from public views to the extent possible.

4. Parking, Carport and Garage Design

Views of parking areas, carports and garages should be minimized to create the pedestrian-oriented Village. The following guidelines provide direction for location and design of multi-family parking facilities:

- ❖ Parking and vehicular access shall be located to the rear or within each development and separated from the pedestrian-oriented street frontage.
- ❖ Site planning and architectural treatments, such as offsets, should be used to minimize the appearance of garage corridors.
- ❖ Carports and freestanding garages shall be architecturally treated and designed to match the architectural style of residential buildings.
- ❖ All surface and covered parking within multi-family areas shall be separated from Village streets, tops or toes of slopes, patios or courtyards with a landscaped buffer. The buffer shall include screening elements such as low walls or masses of shrubs to screen headlights and glare from reflective car surfaces.

5. Landscape

Landscape in multi-family developments shall adhere to the Chula Vista Design Manual and Landscape Manual. The front and side yard landscaping shall be complementary to the streetscape and adhere to the overall Village design theme. The interiors of multifamily residential projects shall provide for common and private outdoor spaces that are functional and aesthetically pleasing. Interior landscapes are encouraged to maintain the tranquil, courtyard style landscapes established by the Village design theme. The following guidelines are for multi-family landscapes:

- ❖ The landscape is to be comprised of trees, shrubs, vines, and ground covers that are consistent with the overall Village theme.



IV. Residential Guidelines

- ❖ Tree plantings in the front yard areas shall be varied to provide interest in the landscape.
- ❖ Side and rear yard areas shall be landscaped to soften the architecture and provide privacy for residential units.
- ❖ The landscape should be simple, bold and easy to maintain which incorporates many drought-tolerant non-toxic plant materials.
- ❖ Landscape elements on multi-family parcels visible from the public right-of-way should blend with and appear to be an extension of the public right-of-way landscaping.
- ❖ All permanently landscaped areas shall be irrigated with permanent underground irrigation systems.
- ❖ Transformer and cable box locations are to be carefully planned and coordinated with both the utility company and the landscape architect. Transformers and cable boxes should be located to be unobtrusive and screened from view with plantings where possible.
- ❖ Mailboxes and mailbox structures are to be designed to complement the architectural style of the development for which they are intended. Ganged mailboxes are to be used with a maximum of 4 boxes per cluster. Only Postmaster approved boxes will be allowed.
- ❖ Trash enclosures shall be designed to complement the architectural style of the development for which they are intended. Provisions for trash and recycling shall be in conformance with the Chula Vista Municipal Code.
- ❖ Large expanses of asphalt paving shall be avoided and the appearance softened by landscape screening where possible.

Typical Plotting for the following multi-family products that may be developed within Village 8 East are provided:

- ❖ 2-Story Townhomes
- ❖ 3-Story Flats
- ❖ 3-Story Townhomes
- ❖ 5-Story Wrap



IV. Residential Guidelines

- ❖ 4-Story Podium



IV. Residential Guidelines

Two and Three Story Townhouses (15 – 22 DUs/ac)

Design Characteristics:

- ❖ Optimizes architecture on street frontage
- ❖ Garages located in alleys or parking courts
- ❖ Undulated building massing
- ❖ Varied roof pitches and directions
- ❖ Orients entries toward street or interior pedestrian green courts or walkways
- ❖ Private open space
- ❖ Internal pedestrian network connecting to public walkways
- ❖ Architectural relief at internal walkways

Garage Options:

- ❖ Alley Entry
- ❖ Internal Private Street
- ❖ Tandem
- ❖ Carport



IV. Residential Guidelines

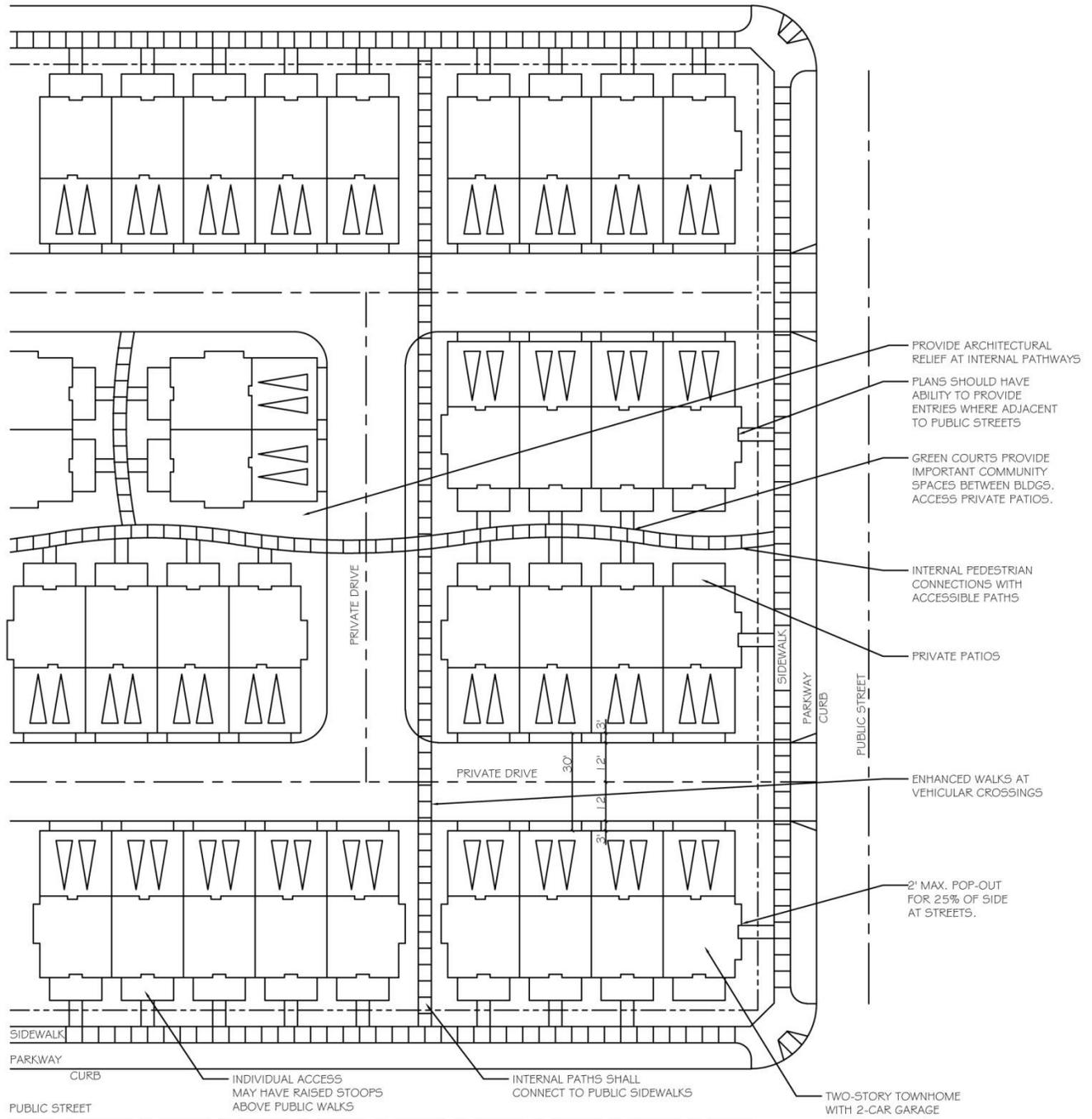


Exhibit 45
Typical Multi-Family Plotting "Two-Story Townhome"



IV. Residential Guidelines

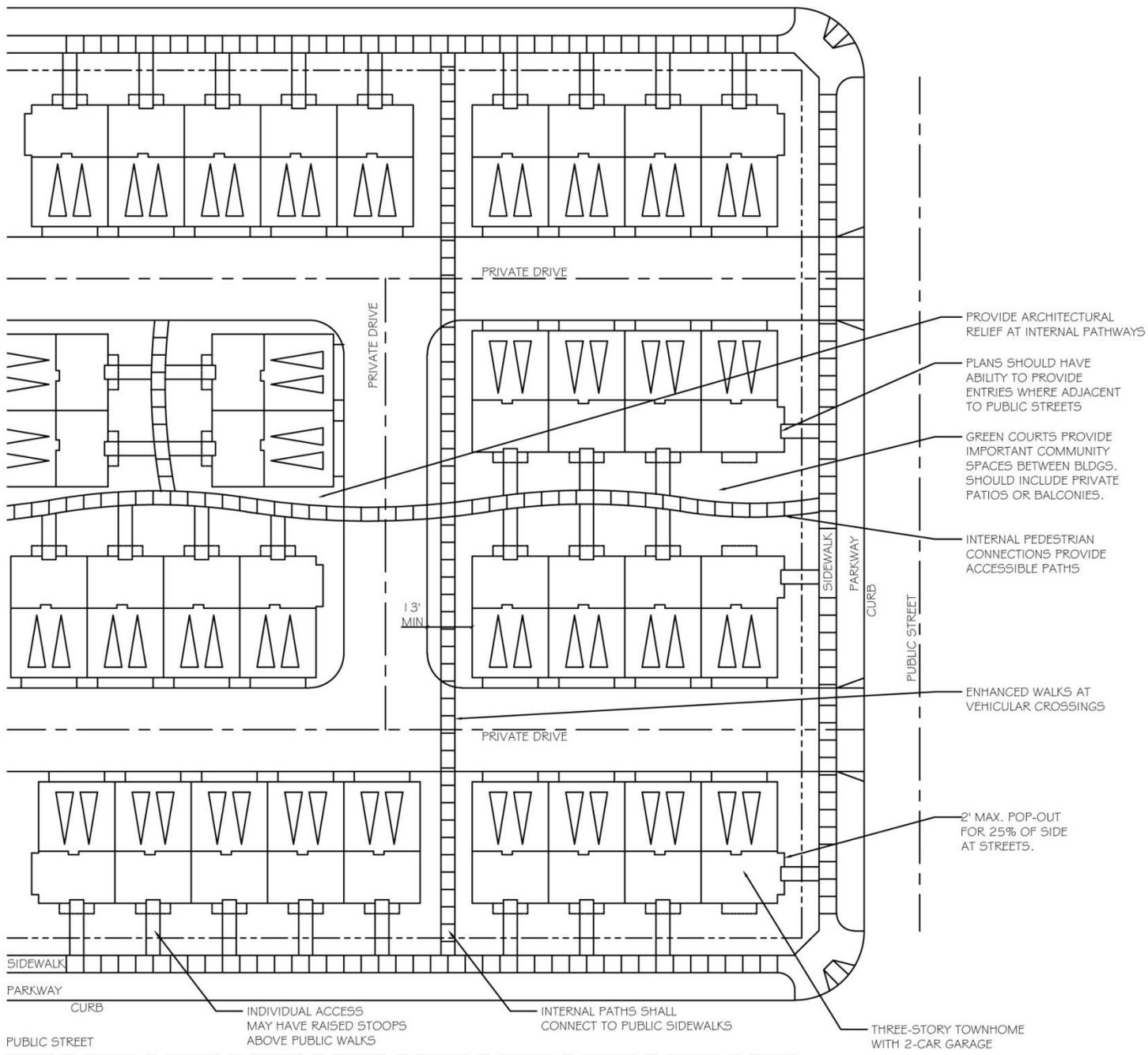


Exhibit 46
Typical Multi-Family Plotting "Three-Story Townhome"



IV. Residential Guidelines

Three Story Stacked Flats (25 – 30 DUs/ac)

Design Characteristics:

- ❖ Optimizes architecture on street frontage
- ❖ Undulated building massing
- ❖ Varied roof pitches and directions
- ❖ Residential entries, porches and balconies oriented toward street or interior pedestrian green courts or walkways
- ❖ Private open space and common useable open space
- ❖ Internal pedestrian network connecting to public walkways
- ❖ Architectural relief at internal walkways

Garage Options:

- ❖ Alley/Parking Court Entry
- ❖ Internal Private Street
- ❖ Tandem
- ❖ Carport
- ❖ Garages screen from public street



IV. Residential Guidelines

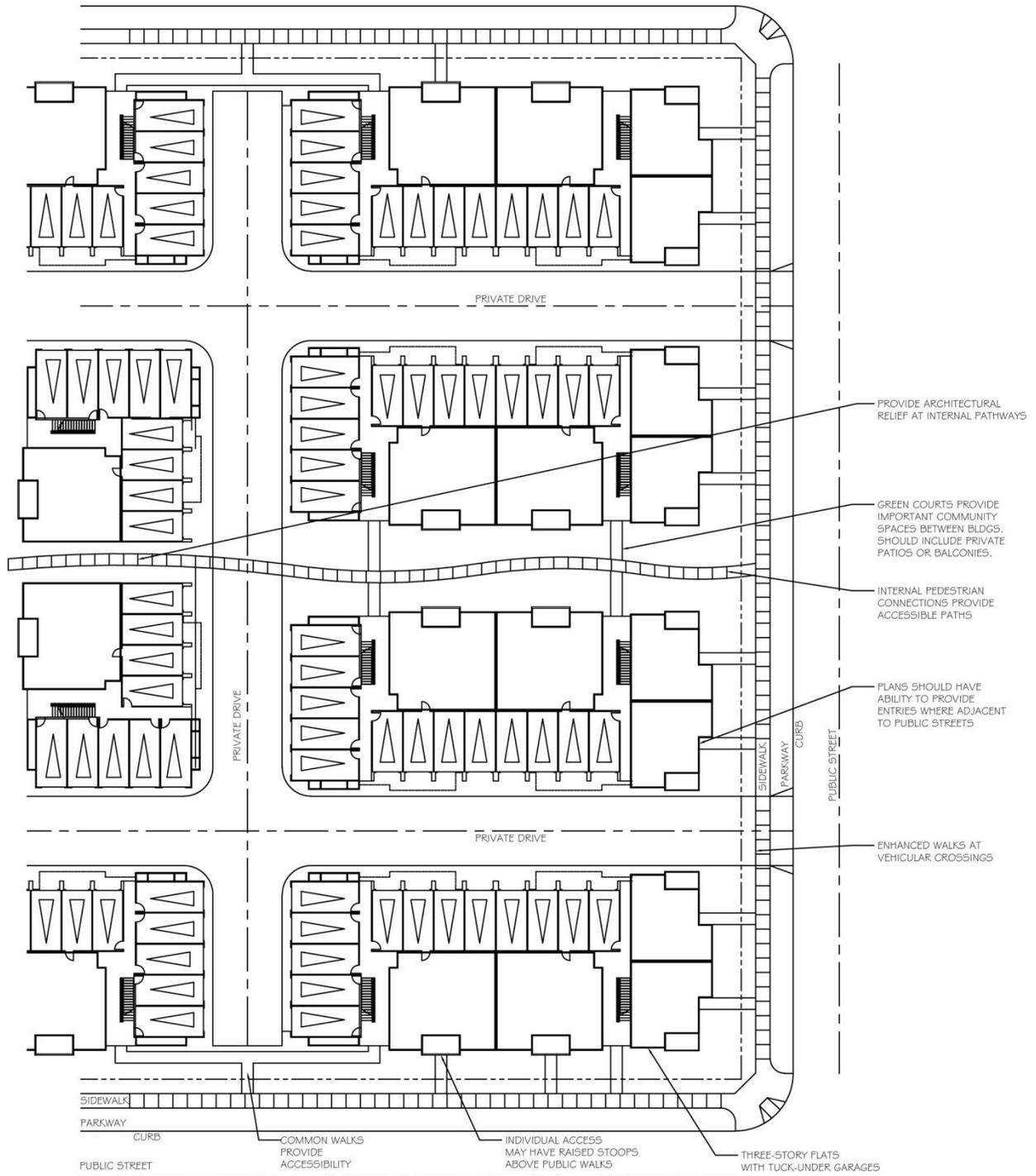


Exhibit 47
Typical Multi-Family Plotting “Three-Story Flats”



IV. Residential Guidelines

Five Story Wrap Multi-Family (40-50 DUs/ac)

Design Characteristics:

- ❖ Five story residential buildings at street level
- ❖ Optimizes architecture on street frontage
- ❖ Undulated building massing
- ❖ Varied roof pitches and directions
- ❖ Residential entries, porches and balconies oriented toward street
- ❖ Private open space and common useable open space
- ❖ Internal pedestrian network connecting to public walkways
- ❖ Typical ground level recreation amenity with residences above

Garage:

- ❖ Four or five level parking structure
- ❖ Screened from public view



IV. Residential Guidelines

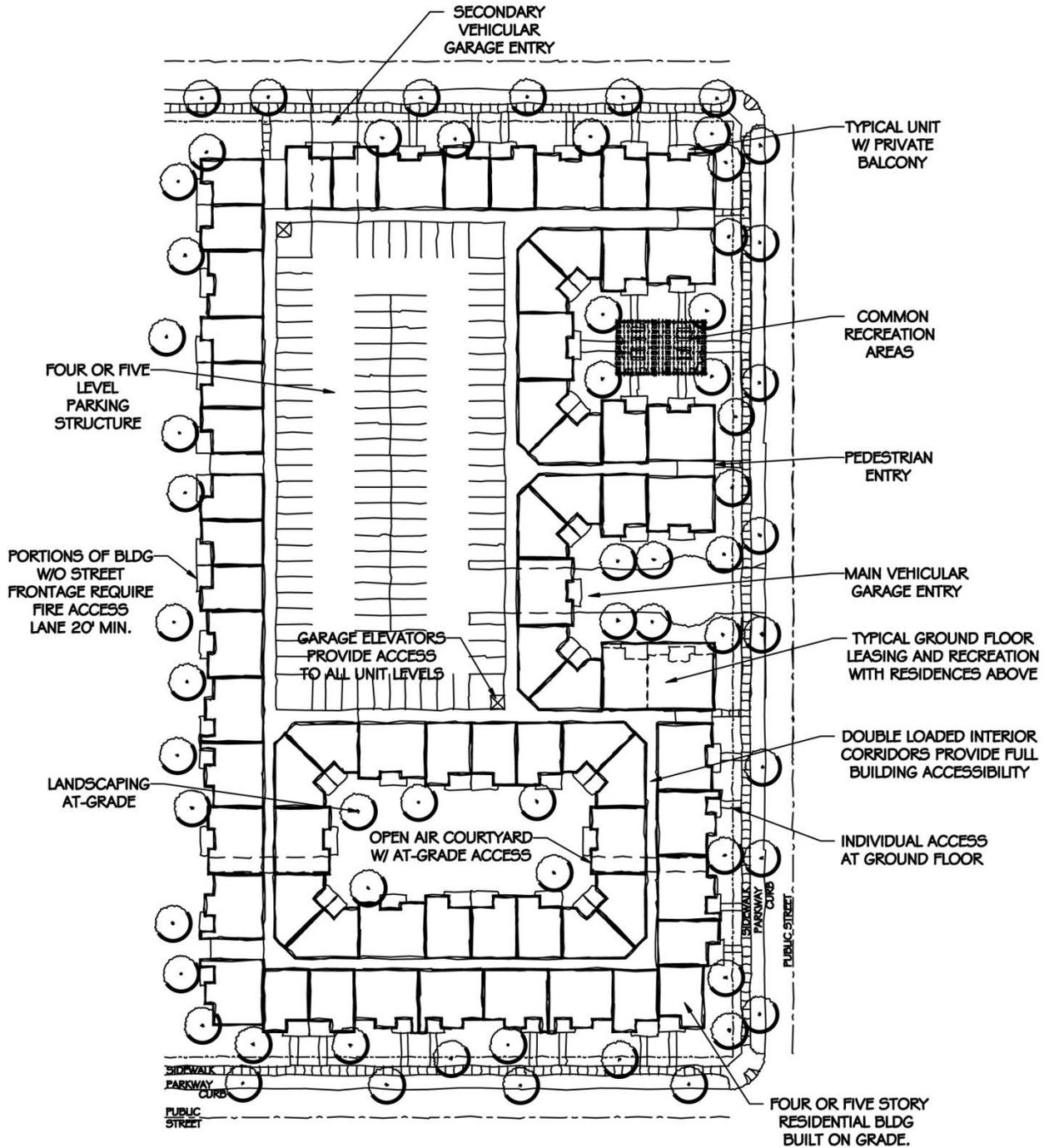


Exhibit 48

Typical Multi-Family Plotting "Five Story Wrap"



IV. Residential Guidelines

Four Story Podium Multi-Family (50+ DUs/ac)

Design Characteristics:

- ❖ Three or four story residential buildings over one or two level parking structure
- ❖ Optimizes architecture on street frontage
- ❖ Undulated building massing
- ❖ Varied roof pitches and directions
- ❖ Residential entries, porches and balconies oriented toward street
- ❖ Private open space and common useable open space
- ❖ Internal pedestrian network connecting to public walkways
- ❖ On-site recreational amenities
- ❖ On-site leasing offices

Garage:

- ❖ Semi-subterranean Parking Structure



IV. Residential Guidelines

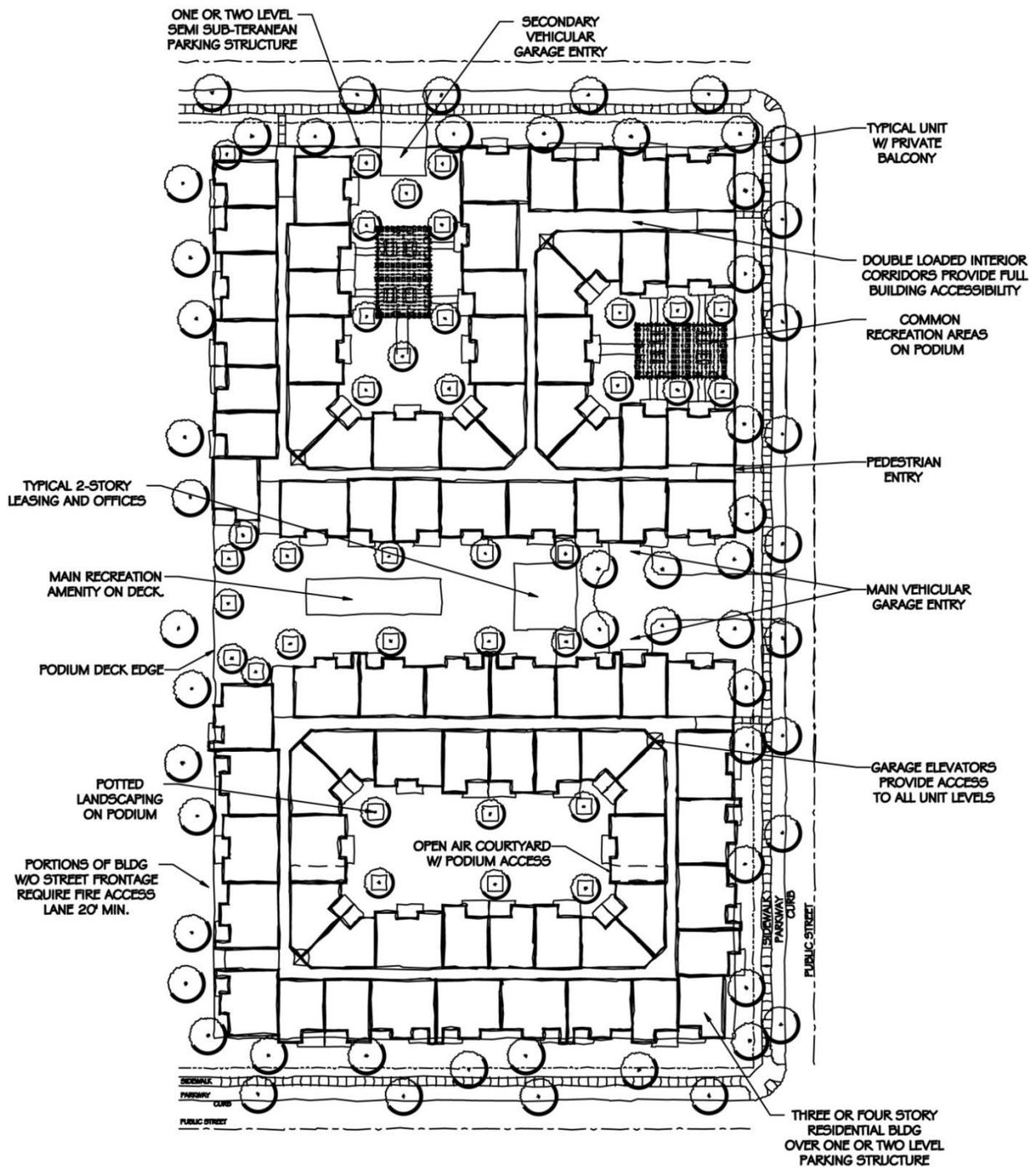


Exhibit 49
Typical Multi Family Plotting "Four Story Podium"



IV. Residential Guidelines

V. Crime Deterrence

Design Guidelines



- A. Overview
- B. Natural Surveillance
- C. Natural Territorial Reinforcement
- D. Natural Access Control
- E. Community Based Organizations



V. Crime Deterrence Design Guidelines

A. Overview

Both safety and security are key components of a quality lifestyle. Proper design and effective use of the built environment can reduce the fear and incidence of crime and thereby improve the overall quality of life. Safety must be incorporated into the community design by creating friendly streetscapes, facilities and a perceivable social infrastructure. Crime Prevention through Environmental Design (CPTED) offers a framework that complements the Otay Ranch neo-traditional principals for planning, designing and building a safer community and to creating livable communities. This approach to crime prevention is much more far-reaching than dead bolts on doors and locks on windows. CPTED principles can be applied easily and inexpensively to new communities and have been successfully implemented across the nation. Creating a design that eliminates or reduces criminal behavior and at the same time encourages people to “keep an eye out” for each other is the key to crime prevention. The CPTED strategies and design objectives for the Resort Village include:

B. Natural Surveillance

Natural Surveillance is a design concept directed primarily at keeping intruders easily observable. Promoted by features that maximize visibility of people, parking areas and building entrances; doors and windows that look out onto streets and parking areas; pedestrian friendly sidewalks and streets; front porches; and adequate nighttime lighting. Natural Surveillance design objectives include:

- To the maximum extent practicable, locate high activity uses to the front of buildings.
- Place windows overlooking sidewalks and parking lots.
- Leave window shades open.
- Use passing vehicular traffic as a surveillance asset.
- Create landscape designs that provide surveillance and avoid screening, especially in proximity to walkways and designated points of entry and opportunistic points of entry.
- Use the shortest, least sight-limiting fence appropriate for the situation.





V. Crime Deterrence Design Guidelines

- When creating lighting design, avoid poorly placed lights that create blind spots for potential observers and miss critical areas. Ensure potential problem areas are well lit (pathways, stairs, entrances/exits, parking areas, ATMs, phone kiosks, mailboxes, bus stops, children's play areas, recreation areas, pools, laundry rooms, storage areas, dumpster and recycling areas, etc.)
- Avoid too-bright security lighting that creates blinding glare and/or deep shadows, hindering the view for potential observers. Eyes adapt to night lighting and have trouble adjusting to severe lighting disparities. Using lower intensity lights often requires more fixtures.
- Use shielded or cut-off luminaries to control glare.
- Place lighting along pathways and other pedestrian use areas at proper heights for lighting the faces of the people in the space.

C. Natural Territorial Reinforcement

Territorial reinforcement promotes social control through increased definition of space and improved proprietary concern. An environment designed to clearly delineate private space accomplishes two things. First, it creates a sense of ownership. Owners have a vested interest and are more likely to challenge intruders or report them to the police. Second, the sense of owned space creates an environment where “strangers” or “intruders” stand out and are more easily identified. By using buildings, fences, pavement, signs, lighting and landscape to express ownership and define public, semi-public and private space, natural territorial reinforcement occurs. Natural Territorial Reinforcement design objectives include:

- Maintain premises and landscaping such that it communicates an alert and active presence occupying the space.
- Provide trees in residential areas. Research results indicate that outdoor residential spaces with more trees are seen as significantly more attractive, safer, and more likely to be used than similar spaces without trees.
- Restrict private activities to defined private areas.
- Display security system signage at access points.



V. Crime Deterrence Design Guidelines

- Place amenities such as seating or refreshments in common areas in a commercial mixed use setting to attract larger numbers of desired users.
- Schedule activities in common areas to increase proper uses, attract more people and increase the perception that these areas are controlled.

Territorial reinforcement measures make the normal user feel safe and make the potential offender aware of a substantial risk of apprehension or scrutiny.

D. Natural Access Control

Natural access control limits the opportunity for crime by taking steps to clearly differentiate between public and private space. By selectively placing entrances and exits, fencing, lighting and landscape to limit access or control flow, natural access control occurs. Natural Access Control design objectives include:

- Use a single, clearly identifiable point of entry.
- Use structures to divert visitors to reception areas.
- Use low, thorny bushes beneath ground level windows.
- Avoid design features that provide access to roofs and upper levels.
- In the front yard, use waist-level, fencing along residential property lines wherever possible to control access and encourage surveillance.
- Use a locking gate between front and backyards.
- Use shoulder-level, open type fencing along lateral residential property lines between side yards. They should be sufficiently unencumbered with landscaping to promote social interaction between neighbors.
- Use substantial, high, closed fencing between backyards and a public alley.

Natural access control is used to complement mechanical and operational access control measures, such as target hardening.



V. Crime Deterrence Design Guidelines

E. Community Based Organizations

In the final analysis, government, planners and builders can only create the physical environment within which a neighborhood operates. Over time, neighbors own the neighborhood and they are responsible for the neighborhood character sense of community and safety. A community based formal and/or informal organization can play the decisive role. Implementation of a safe community requires constant attention to the changing needs of the residents. A Master Homeowner's Association (or similar community organization) is the natural catalyst to bring residents together in a productive atmosphere of community involvement. Activities, clubs, events and services including a monthly newsletter, holiday displays, sports programs, etc. can facilitate interaction and reinforce relationships. The following design guidelines should be considered for the Resort Village:



- The neighborhood is designed with human scale foremost
- Neighborhood design fosters interaction
- Neighborhood design creates a sense of ownership and responsibility
- Real and symbolic resident control within the neighborhood can be provided through signage, paving, landscaping and street furnishings

Attachment “A”
“Approved Plant List”

**UNIVERSITY VILLAGES
VILLAGE 8 EAST
APPROVED MASTER PLANT LIST
DECEMBER 2014**

FUEL MODIFICATION ZONE 1

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>NOTES</u>
------------------------------	---------------------------	---------------------

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation. Notes provided below must be adhered to and planting must be implemented in accordance with the Chula Vista Fire Department’s fuel modification guidelines summarized in the Village 8 East Fire Protection Plan.

Trees:

Heteromeles arbutifolia	Toyon	May be planted within Fuel Management Zone 1 up to 10% of the plant palette mix. No single mass shall exceed 400 sf. These shall be spaced such that the nearest shrub is no closer than the tallest shrub height (at maturity)
Metrosideros exelsus (un-cut leader)	New Zealand Christmas Tree	
Plantanus racemosa	California Sycamore	
Quercus agrifolia	Coast Live Oak	
Rhus lancea	African Sumac	Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)

Shrubs, Cacti & Groundcovers:

Acalypha californica	California Copperleaf	
Agave Shawii	Coastal Agave	
Arctostphylos ‘Emerald Carpet’	Emerald Carpet	
Baccharis Pilularis	Coyote Brush	Only local native shrub species will be utilized. No cultivars shall be permitted.
Bloomeria Crocea	Common goldstar	
Ceanothus verrocosus	Wartystem Ceanothus	Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>NOTES</u>
Comarostaphylis diversifolia	Summer Holly	
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster	
Cotoneaster horizontalis	Rock Cottoneaster	
Cylindropuntia prolifera	Coast Cholla	
Dudleya pulverulenta	Chalk Lettuce	
Enciella californica	California Encelia	
Epilobium californicum	California Fushcia	
Euphorbia misera	Cliff Spurge	
Galvezia speciosa	Bush Snapdragon	
Helianthemum scoprium	Sun Rose	
Isomeris arborea	Bladder Pod	
Iva hayesiana	San Diego Marsh Elder	
Lupinus succulentus	Arroyo Lupine	
Lycium californicum	Box Thorn	
Malachothamnus fasciculatus	Chaparrel Bushmallow	
Malamosa laurina	Hollyleaf Cherry	
Nassella pulchra	Purple Needlegrass	
Opuntia littoralis	Coastal Prickly Pear Cactus	Plants must be locally sourced
Opuntia oricola	No Common Name	Plants must be locally sourced
Rhamnus crocea	Redberry	
Rhus Integrifolia	Lemonade Berry Fuschia Flowering	
Ribes speciosum	Gooseberry	
Salvia apiana	White Sage	May be planted in limited quantities and must be properly spaced. <i>S. mellifera</i> is a prohibited species
Simmondsia chinesnsis	Jojoba	May be planted in limited quantities and must be properly spaced
Sisyrinchium bellum	Blue-Eyed Grass	
Thymus serphyllum 'Reiters'	Creeping Thyme	Restricted to 30% of area at time of planting. Use in irrigated areas only
Yucca schidigera	Mojave Yucca	
Yucca whipplei	Our Lord's Candle	

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>NOTES</u>
Hydroseed Mix:		
Baccharis Pilularis	Coyote Brush	Only local native shrub species will be utilized. No cultivars shall be permitted.
Ceanothus verrocokus	Wartystem Ceanothus	Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)
Enciella californica	California Encelia	
Hazardia squarrosa	Sawtooth Goldenfields	
Isomeris arborea	Bladder Pod	
Iva hayesiana	San Diego Marsh Elder	
Layia platyglossa	Tidy tips	
Lupinus succulentus	Arroyo Lupine	
Malachothamnus fasciculatus	Chaparrel Bushmallow	
Malamosa laurina	Hollyleaf Cherry	
Nassella pulchra	Purple Needlegrass	
Phacelia campanularia	California Blue Bells	
Rhamnus crocea	Redberry	
Rhus Integrifolia	Lemonade Berry	
Salvia apiana	White Sage	
Sisyrinchium bellum	Blue-Eyed Grass	
Viguiera laciniata	San Diego Sunflower	
Yucca whipplei	Our Lord's Candle	
Hydroseed Mix (Plantable Retaining Walls):		
Baccharis Pilularis	Coyote Brush	Only local native shrub species will be utilized. No cultivars shall be permitted.
Camissonia cheiranthifolia	Beach Evening Primrose	
Ceanothus verrocokus	Wartystem Ceanothus	Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)
Clarkia bottae	Botta's Clarkia	
Eriophyllum confertiflorum	Golden Yarrow	
Hazardia squarrosa	Sawtooth Goldenfields	
Lasthenia californica	California Gold Rush	
Mimulus aurantiacus	Sticky Monkey Flower	Plants must be locally sourced

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>NOTES</u>
Salvia apiana	White Sage	May be planted in limited quantities and must be properly spaced. <i>S. mellifera</i> is a prohibited species
Sisyrinchium bellum	Western Blue-Eyed Grass	
Viguiera laciniata	San Diego Sunflower	
Yucca whipplei	Our Lord's Candle	

FUEL MODIFICATION ZONE 2

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>NOTES</u>
Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation		

Trees:

Quercus agrifolia	Coast Live Oak	
-------------------	----------------	--

Shrubs, Cacti & Groundcovers:

Acalypha californica	California Copperleaf	
Agave shawii	Coastal Agave	
Aristida pupurea	Purple Three-Awn	
Chlorogalum parviflorum	Smallflower Soap Plant	
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster	
Cylindropuntia prolifera	Coast Cholla	
Deinandra fasciculata	Fascicled Tarplant	
Dodonaea viscosa	Hop Bush	Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)
Dudleya pulverulenta	Chalk Lettuce	
Encelia californica	Coastal Sunflower	
Epilobium californicum	California Fuschia	
Euphorbia misera	Cliff Spurge	

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>NOTES</u>
Grindelia robusta	Gum Plant	
Helianthemum scoparium	Sun Rose	
Isomeris arborea	Bladderpod	
Lupinus succulentus	Arroyo Lupine	
Lycium californicum	Box Thorn	
Malachothamnus fasciculatus	Chaparrel Bushmallow	
Mirabilis californica	Wishbone Bush	
Nassella pulchra	Purple Needlegrass	
Opuntia littoralis	Coastal Prickly Pear Cactus	Plants must be locally sourced
Opuntia oricola	No Common Name	Plants must be locally sourced
Prunus ilicifolia	Hollyleaf Cherry	
Rhamnus crocea	Redberry	
Rhus integrifolia	Lemonade Berry	
Ribes speciosum	Fuschia Flowering Gooseberry	
Salvia apiana	White Sage	May be planted in limited quantities and must be properly spaced. <i>S. mellifera</i> is a prohibited species
Simmondsia chinensis	Jojoba	
Sisyrinchium bellum	Western Blue-Eyed Grass	
Yucca schidigera	Mojave Yucca	
Yucca whipplei	Foothill Yucca	
Hydroseed Mix:		
Bloomeria crocea	Common Goldstar	
Encelia californica	Coastal Sunflower	
Eriophyllum confertiflorum	Golden Yarrow	
Gnaphalium bicolor	Bicolor Cudweed	
Hazardia squarrosa	Sawtooth Goldenfields	
Heteromeles arbutifolia	Toyon	
Isomeris arborea	Bladderpod	
Isocoma menziesii	Coast Goldenbush	
Lasthenia californica	Goldfields	
Layia platyglossa	Tidy tips	
Lupinus bicolor	Miniature Lupine	
Lupinus succulentus	Arroyo Lupine	

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>NOTES</u>
Nassella pulchera	Purple Needlegrass	
Phacelia campanularia	California Blue Bells	
Plantago erecta	Dot-Seed Plantain	
Rhamnus crocea	Redberry	
Rhus integrifolia	Lemonade Berry	
Salvia apiana	White Sage	May be planted in limited quantities and must be properly spaced. <i>S. mellifera</i> is a prohibited species

Sisyrinchium bellum	Blue-Eyed Grass
Sphaeralcea ambigua	Desert Mallow
Viguiera laciniata	San Diego Sunflower
Yucca whipplei	Foothill Yucca

Hydroseed Mix (Plantable Retaining Walls - irrigated):

Clarkia bottae	Botta's Clarkia
Eriophyllum confertiflorum	Golden Yarrow
Eschscholzia californica	California Poppy
Hazardia squarrosa	Sawtooth Goldenfields
Lasthenia californica	Goldfields
Mimulus aurantiacus ⁴	Sticky Money Flower
Sisyrinchium bellum	Blue-Eyed Grass
Viguiera laciniata	San Diego Sunflower