

# **Otay Ranch Village Eleven**

## **II.4 Village Design Plan**

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**Brookfield Shea Otay, LLC**  
12865 Pointe Del Mar  
Suite 200  
Del Mar, California 92014-3859  
(858) 481-8500  
Contact: Adam Pevney

**Project Applicant:**

**Brookfield Shea Otay, LLC.**

**John Norman, Project Manager**

12865 Pointe Del Mar, Suite 200  
Del Mar, California 92014-3859  
(858)481-8500

**Prepared By:**

**Planning:**

**Teresa Barker Planning &  
Landscape Architecture**

Teresa Barker, ASLA, Principal  
(619) 501-9157

**Landscape Architecture and Planning:**

**Land Concern, Ltd.**

Rob Sawyer, ASLA, Principal  
Andrew Bowden, ASLA, Senior Associate  
(949) 250-4822

**Civil Engineering & Planning:**

**Hunsaker & Associates**

Dave Hammar, President  
Lex Williman, AICP Director of Planning  
Ron Grunow, Project Manager  
(858) 558-4500

**Architecture and Planning:**

**William Hezmalhalch Architects, Inc.**

Will Haynes, Principal  
Alan Fishman, Community Planning Manager  
David Viggiano, Community Design Manager  
(949) 250-0607

**SECTION II.4 - VILLAGE ELEVEN DESIGN PLAN**

**TABLE OF CONTENTS**

**II.4.1 Introduction**

- II.4.1.1 Design Plan Document ..... 1-1
- II.4.1.2 Design Context..... 1-2
- II.4.1.3 Design Theme ..... 1-7

**II.4.2 Overall Village Design**

- II.4.2.1 Landform..... 2-1
- II.4.2.2 Monument and Entry Feature ..... 2-21
- II.4.2.3 Streetscapes..... 2-31
- II.4.2.4 Parks & Private Recreation Facilities ..... 2-48
- II.4.2.5 Pedestrian, Bicycle and Cart Paths ..... 2-61
- II.4.2.6 Street Furnishings ..... 2-64
- II.4.2.7 Lighting..... 2-66
- II.4.2.8 Walls and Fencing..... 2-68
- II.4.2.9 Art and Cultural Facilities..... 2-76
- II.4.2.10 Accessibility..... 2-76

**II.4.3 Village Core Design**

- II.4.3.1 Architectural Theme ..... 3-1
- II.4.3.2 Site Planning ..... 3-12
- II.4.3.3 Landscape ..... 3-18
- II.4.3.4 Lighting..... 3-22
- II.4.3.5 Street Furnishings ..... 3-23
- II.4.3.6 Signage..... 3-23

**II.4.4 Single Family Residential Design**

- II.4.4.1 Architectural Themes..... 4-1
- II.4.4.2 Pedestrian-oriented Design ..... 4-14
  - Façade Elements ..... 4-14
  - Garages and Driveways ..... 4-16
  - Corner Lots ..... 4-21
  - Single Story Elements..... 4-21
  - Site Planning and Building Plotting..... 4-24
  - Building Lot Schematics..... 4-24

**II.4.5 Multifamily Residential Design**

- II.4.5.1 Architectural Themes..... 5-1
- II.4.5.2 Pedestrian-oriented Design..... 5-5
  - Façade Elements ..... 5-5
  - Parking, Carport and Garage Design ..... 5-8
  - Site Planning and Building Plotting..... 5-10
  - Building Lot Schematics..... 5-10
- II.4.5.3 Landscape ..... 5-25

**II.4.6 Landscape Design**

- II.4.6.1 Slope Planting and Erosion Control..... 6-1
- II.4.6.2 Brush Management/Fuel Modification Plan..... 6-2
- II.4.6.3 Irrigation ..... 6-2
- II.4.6.4 Street Planting Standards..... 6-3
- II.4.6.5 Landscape Maintenance Standards ..... 6-3
- II.4.6.6 Plant Palettes..... 6-5

**II.4.7 Design Review Process**

- II.4.7.1 Introduction..... 7-1
- II.4.7.2 Master Developer Review..... 7-1
- II.4.7.3 Zoning Administrator Review ..... 7-1
- II.4.7.4 Design Review Committee Review ..... 7-2
- II.4.7.5 Appeals ..... 7-2

**APPENDIX GDP Compliance**

**LIST OF FIGURES**

**Introduction**

II.4.1.2-1 Vicinity Map ..... 1- 2  
 II.4.1.2-2 Village Eleven SPA Land Use Plan..... 1- 6  
 II.4.1.3-1 Community Images..... 1-11  
 II.4.1.3-2 Residential Images..... 1-13

**Overall Village Design**

II.4.2.1-1 Slope Analysis ..... 2-2  
 II.4.2.1-2 Conceptual Grading Plan..... 2-5  
 II.4.2.1-3 Contour Grading Techniques..... 2-8  
 II.4.2.1-4 Slope Landscape ..... 2-9  
 II.4.2.1-5 Slope Locations..... 2-12  
 II.4.2.1-6 Section A - Olympic Parkway Typical Slope Conditions ..... 2-13  
 II.4.2.1-7 Section B - Olympic Parkway Typical Slope Conditions..... 2-14  
 II.4.2.1-8 Section C - Hunte Parkway Typical Slope Conditions..... 2-15  
 II.4.2.1-9 Section D - Hunte Parkway Typical Slope Conditions..... 2-16  
 II.4.2.1-10 Section E - EastLake Parkway Typical Slope Conditions..... 2-17  
 II.4.2.1-11 Section F - SDG&E/SDCWA Easement Typical Slope Conditions ..... 2-18  
 II.4.2.1-12 Section G - SDG&E/SDCWA Easement Typical Slope Conditions..... 2-19  
 II.4.2.1-13 Section H - Residential Neighborhoods Typical Slope Conditions..... 2-20  
 II.4.2.2-1 Monument and Entry Locations..... 2-21  
 II.4.2.2-2 Otay Ranch Minor Community Monument..... 2-24  
 II.4.2.2-3 Primary Village Monument ..... 2-25  
 II.4.2.2-4 Secondary Village Monument ..... 2-26  
 II.4.2.2-5 Primary Village Entry..... 2-27  
 II.4.2.2-6 Secondary Village Entry ..... 2-28  
 II.4.2.2-7 Neighborhood Entry Monument..... 2-29  
 II.4.2.2-8 Pedestrian Path Feature..... 2-30  
 II.4.2.3-1 Circulation Plan ..... 2-35  
 II.4.2.3-2 Prime Arterials..... 2-37  
 II.4.2.3-3 6-Lane Major Street..... 2-38  
 II.4.2.3-4 Village Entry Streets..... 2-39  
 II.4.2.3-5 Secondary Village Entry Streets With Medians ..... 2-40  
 II.4.2.3-6 Residential Promenade Streets..... 2-41  
 II.4.2.3-7 Village Core Promenade Streets..... 2-42  
 II.4.2.3-8 Village Core Streets..... 2-43  
 II.4.2.3-9 Residential Streets..... 2-44  
 II.4.2.3-10 Roundabouts ..... 2-45  
 II.4.2.3-11 Traffic Circles..... 2-46  
 II.4.2.3-12 Neckdowns..... 2-47  
 II.4.2.4-1 Parks and Trails Plan ..... 2-51  
 II.4.2.4-2 Town Square (P-4) Concept Plan ..... 2-53  
 II.4.2.4-3 Pubic Neighborhood Park (P-1) Concept Plan ..... 2-55

II.4.2.4-4	Village Core Private Pedestrian Park (P-3) Concept Plan .....	2-57
II.4.2.4-5	Eastern Village Private Pedestrian Park (P-2) Concept Plan .....	2-59
II.4.2.5-1	Paseos and Trails .....	2-63
II.4.2.6-1	Street Furnishings .....	2-64
II.4.2.6-2	Street Furnishings .....	2-65
II.4.2.7-1	Lighting .....	2-67
II.4.2.8-1	Walls and Fencing Concept Plan .....	2-71
II.4.2.8-2	Perimeter Walls and Fencing Concept .....	2-73
II.4.2.8-3	Production Walls and Fencing Concept .....	2-74
II.4.2.8-3	Wood Rear and Side Yard Fencing Concept .....	2-75

### **Village Core Design**

II.4.3.1-1	Irving Gill Community Facilities .....	3-3
II.4.3.1-2	Irving Gill-Influenced Architecture .....	3-5
II.4.3.1-3	La Jolla Woman's Club by Irving Gill .....	3-7
II.4.3.1-4	Commercial Architectural Features .....	3-10
II.4.3.1-5	Community Purpose Facility Architecture .....	3-11
II.4.3.2-1	Village Core Concept Plan .....	3-13
II.4.3.2-2	Mixed-Use Commercial Concept Plan .....	3-15
II.4.3.2-3	Community Purpose Facility Concept Plan .....	3-16
II.4.3.2-4	Elementary School Concept Plan .....	3-17
II.4.3.3-1	Landscape Amenities .....	3-19
II.4.3.3-2	Parking Lot Landscaping .....	3-21
II.4.3.6-1	Commercial Sign Design Examples .....	3-24

### **Single Family Residential Design**

II.4.4.1-1	Inspiration Imagery- Cottage .....	4-3
II.4.4.1-2	Inspiration Imagery – Craftsman .....	4-5
II.4.4.1-3	Inspiration Imagery – Monterey .....	4-7
II.4.4.1-4	Inspiration Imagery – Prairie .....	4-9
II.4.4.1-5	Inspiration Imagery – Spanish Eclectic .....	4-11
II.4.4.1-6	Inspiration Imagery – Spanish Mission .....	4-13
II.4.4.2-1	Pedestrian –Oriented and Façade Design Elements .....	4-15
II.4.4.2-2	Garage Design Options Concept .....	4-17
II.4.4.2-3	Garage Design Options Concept .....	4-18
II.4.4.2-4	Garage Design Option Concept .....	4-19
II.4.4.2-5	Garage Design Options Concept .....	4-20
II.4.4.2-6	Corner Lot Design Options Concept .....	4-22
II.4.4.2-7	Corner Lot Design Options Concept .....	4-23
II.4.4.2-8	60 x 100 Lot – Shallow Recessed Tandem Garage Concept .....	4-26
II.4.4.2-9	60 x 100 Lot – Mid Recessed Tandem Garage Concept .....	4-27
II.4.4.2-10	60 x 100 Lot - 2 Side Entry, 1 Front Entry Garage Concept .....	4-28
II.4.4.2-11	60 x 100 Lot - 1 Side Entry, 2 Front Entry Garage Concept .....	4-29
II.4.4.2-12	60 x 100 Lot – Shallow Recessed 3 Car Garage Concept .....	4-30

II.4.4.2-13	50 x 100 Lot – Mid Recessed 3 Car Tandem Garage Concept.....	4-32
II.4.4.2-14	50 x 100 Lot – Deep Recessed 3 Car Tandem Garage Concept.....	4-33
II.4.4.2-15	50 x 100 Lot –2 Side Entry, 1 Front Entry Garage Concept.....	4-34
II.4.4.2-16	50 x 100 Lot –1 Side Entry, 2 Front Entry Garage Concept.....	4-35
II.4.4.2-17	50 x 90 Lot – Deep Recessed Garage Concept.....	4-37
II.4.4.2-18	50 x 90 Lot – Shallow Recessed 3 Car Tandem Garage Concept .....	4-38
II.4.4.2-19	50 x 90 Lot – 1 Side Entry, 2 Front Entry Garage Concept.....	4-39
II.4.4.2-20	45 x 100 Lot – Deep Recessed Garage Concept.....	4-41
II.4.4.2-21	45 x 100 Lot – Shallow Recessed Garage Concept.....	4-42
II.4.4.2-22	45 x 90 Lot – Deep Recessed Garage Concept.....	4-44
II.4.4.2-23	45 x 90 Lot – Shallow Recessed Garage Concept .....	4-45
II.4.4.2-24	40 x 90 Lot – Two Pack Layout Zero Lot Line Configuration Concept ..	4-47
II.4.4.2-25	40 x 90 Lot – Zero Lot Line Configuration Concept.....	4-48
II.4.4.2-26	40 x 85 Lot – Two Pack Layout Z Configuration Concept .....	4-50
II.4.4.2-27	40 x 85 Lot – Zero Lot Line Configuration Concept.....	4-51

### Multi-Family Residential Design

II.4.5.1-1	Inspiration Imagery – Courtyard and Small Lot.....	5-2
II.4.5.1-2	Inspiration Imagery – Medium to Medium High Density .....	5-3
II.4.5.1-3	Inspiration Imagery – Medium High to High Density.....	5-4
II.4.5.2-1	Pedestrian –oriented Design Elements.....	5-7
II.4.5.2-2	Garage Design Options .....	5-9
II.4.5.2-3	40 x 70 Small Lot Alley Entry 2-Car Garage Concept.....	5-12
II.4.5.2-4	40 x 70 Small Lot Front Entry 2-Car Garage Concept.....	5-13
II.4.5.2-5	50 x 55 Small Lot Front Entry 2-Car Garage Concept.....	5-14
II.4.5.2-6	Small Lot Alley Loaded Courtyard Cluster Concept.....	5-15
II.4.5.2-7	12.5 - 15 du/ac 2-Story Courtyard Townhomes Concept .....	5-17
II.4.5.2-8	12.5 - 15 du/ac 2-Story Common Green Townhomes Concept.....	5-18
II.4.5.2-9	15 - 18 du/ac 2 and 3-Story Townhomes with Carriage Units or Flats Concept .....	5-20
II.4.5.2-10	15 - 18 du/ac 2 and 3 Story Townhomes and Flats Concept .....	5-21
II.4.5.2-11	18 du/ac 2 and 3 Story Townhomes and Flats Concept.....	5-23
II.4.5.2-12	25 du/ac 2 and 3 Story Stacked Flats Concept.....	5-24

*What idle or significant sentence will we write with brick and stone,  
wood, steel, and concrete upon the sensitive page of the earth?*

*- Irving Gill*

## **II.4.1 Introduction**

## **II.4.1 INTRODUCTION**

### **II.4.1.1 Design Plan Document**

The Otay Ranch General Development Plan (GDP) requires that a Village Design Plan be prepared for each village at the Sectional Planning Area (SPA) level of planning. The Village Design Plan guides planning and development by defining the intended character and design elements of the village. It provides guidance for developers and designers in creating the village and it will be used by the City of Chula Vista to evaluate the village design.

The guiding framework plan is the Otay Ranch GDP Overall Design Plan. The Overall Design Plan provides general design guidelines appropriate to the pedestrian and transit-oriented village concepts envisioned for the community. Village Design Plans for Villages One and Five also serve as a model for the Village Eleven Design Plan. Actual implementation of Villages One and Five has led to testing of the guidelines and further design refinements that are incorporated into this document. A companion document to the Village Eleven Design Plan is the Village Eleven Planned Community (PC) District Regulations. The PC District Regulations establish land use development standards and appropriate regulations (zoning) for all construction within the Village Eleven project area. A Village Eleven Core Master Precise Plan will also be prepared to provide addition design direction within the Village Core.

The Village Eleven Design Plan guides the design of sites, buildings and landscapes within the village to ensure that the quality of the adopted urban design and architectural concepts established for the overall Otay Ranch community are maintained. The design plan identifies a theme for Village Eleven and delineates that identity through streetscape and landscape design, signage programs, and architectural and lighting guidelines. The design plan also identifies the village core design concepts that will implement Otay Ranch's planned pedestrian orientation.

This introductory section of the Village Design Plan provides a description of the Village Eleven setting, an overview of the Otay Ranch GDP/Village Eleven SPA land use plan, and the design theme inspired by the unique characteristics of the village. Following sections describe the overall village design features and specific guidelines for the Village Core and land uses within the core, single family and multi-family residential design. A separate section provides landscape design guidelines and provides plant palettes for specific areas within the village. The final section describes the regulatory process for design review. A description of the Village Eleven design compliance with the Otay Ranch GDP is provided in the Appendix.

II.4.1.2 Design Context

Village Eleven consists of 489-acres located at the eastern edge of the Otay Valley Parcel of Otay Ranch. The location of the Village Eleven SPA within the overall Otay Ranch development is depicted in the vicinity map, Figure II.4.1.2-1. The Otay Ranch GDP and Village Eleven SPA provide the overall design framework for the village. The primary features that have influenced the design of Village Eleven are site topography, a San Diego Gas and Electric/San Diego County Water Authority (SDG&E/SDCWA) easement that bisects the site from north to south, surrounding land uses, and accommodation of the required land uses within the village.

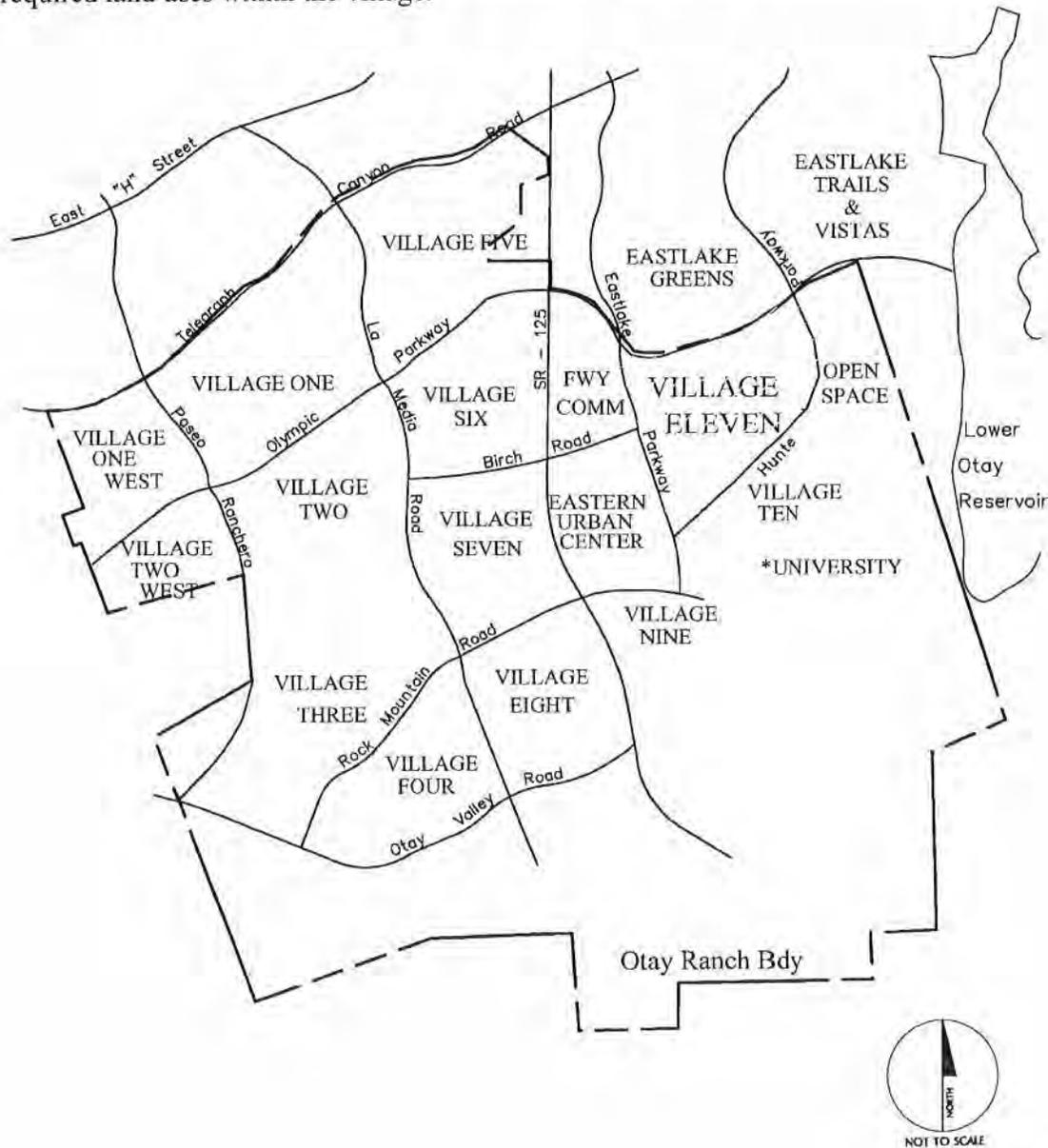


Figure II.4.1.-1 Vicinity Map

## **Topography**

The project site topography consists of gently rounded knolls in the highest elevations in the northwest and a series of ridges and canyons decreasing in elevation to the south and east. The grading design of Village Eleven is directed by the topography and also by the design of surrounding major streets, the SDG&E/SDCWA easement and site drainage considerations. These factors present a design challenge to meet two fundamental objectives:

- To minimize landform alteration and balance cut and fill.
- To minimize steep gradients to accommodate a pedestrian-oriented village.

To meet these objectives, the grading design for Village Eleven utilizes the flattest areas of the project site to accommodate large-area land uses including the village core, a junior high school and multi-family development sites. The steeper areas of the project site are designed in smaller, descending terraces, which can accommodate residential neighborhoods, create a sense of openness and provide walkable gradients on streets and paseos. A more detailed description of the site topography and grading design, including slope analysis and grading plans, is presented in Section II.4.2.1, Landform.

## **SDG&E/SDCWA Easement**

A dominant feature of the Village Eleven site is a 240-foot wide SDG&E/SDCWA easement area that bisects the site from northwest to southeast. The area accommodates numerous electric, gas and water utilities, which for the most part may not be relocated or modified. These elements within the easement severely limit the grading and circulation design of the village. Section II.4.2.1 describes how the village grading has been designed around the easement constraints.

## **Surrounding Land Uses**

A major consideration in determining the design of Village Eleven is compatibility with the surrounding land uses. Village Eleven is unique within Otay Ranch because the surrounding land uses are so varied. The most intensive development of Otay Ranch occurs immediately to the west in Planning Area 12, which includes Freeway Commercial (FC) and Eastern Urban Center (EUC) land use designations. These developments will include regional commercial and high-density residential development, as well as a rail transit line. In order to be compatible with these uses and to provide close access to the rail transit, the high-intensity village core and junior high school have been located in the western portion of the village.

In contrast to the land uses to the west of Village Eleven, Salt Creek, a significant component of the regional habitat preserve, is located to the east of the village. Directives of the preserve require separation and buffering to minimize lights, noise, urban runoff, and people from intruding into sensitive preserve areas. The design of Village Eleven locates the most compatible land use, single family residential, in the eastern portion of the village. Hunte Parkway and widened landscaped parkways provide a buffer between the village and the preserve.

To the northeast of Village Eleven is the existing single family residential neighborhood of EastLake Greens and future multi-family residential is proposed to the northwest. The design of Village Eleven locates similar, compatible residential uses along the northern portion of the site.

Future phases of the Otay Ranch community, in particular a university site, are planned for the adjacent property to the south. Secondary land uses for this area are Villages Nine and Ten. Compatible uses, including the junior high school, single and multi-family residential neighborhoods, have been located in the southern portion of Village Eleven.

### **Village Eleven Land Uses**

The design of Village Eleven will adhere to the goals of the Otay Ranch GDP to create a distinct, pedestrian-oriented residential community surrounding a village core. The community will be created by attracting village residents to the core for social, public service, shopping, recreation and public transit opportunities. Land uses that make up the village core include mixed-use/commercial, a community purpose facility, an elementary school, a town square, neighborhood and private recreation facilities and multi-family residential developments.

A variety of residential neighborhoods will surround the village core with densities decreasing in developments farther from the core. Multi-family residential will be located near the core and in the western portion of the village. The area east of the SDG&E/SDCWA will consist of single family residential neighborhoods. A private recreation facility is located in the eastern area to serve the area and to provide a focal point for that portion of the village. A junior high school will be located in the southwest corner of the village. This location directs outside vehicular access to the school to minimize potential traffic, noise and lighting impacts on Village Eleven neighborhoods.

### **Circulation**

Olympic Parkway, Birch Road and Rock Mountain Road will provide primary vehicular access to Village Eleven from the west. Each of these streets connects to future interchanges with SR-125 to the west. The primary north-south access will be provided by Eastlake Parkway. Secondary access to Village Eleven is provided from Hunte Parkway.

The circulation plan for Village Eleven provides entry street access from the surrounding major streets, located approximately 1200 feet apart, to allow for signalized intersections where required. Three primary entry streets lead directly to the village core. Secondary entries transition to internal village circulation streets. The internal circulation concept is to provide adequate access throughout the village, encourage access to the village core, provide alternate routes through the village to disperse traffic, and avoid “through” routes that increase traffic speeds. Traffic calming features, such as traffic circles and curb extensions may also be located in the circulation system at appropriate locations. All streets within Village Eleven are proposed for a maximum travel speed of 25 miles per hour. This reduced speed will allow bicycles and motorized carts to travel on village streets without designated travel lanes.

Pedestrian circulation in and around the village is provided within a hierarchy of trails. Regional Trails are located on the north side of Olympic Parkway and along Hunte Parkway. The Regional Trail located on the east side of Hunte Parkway adjacent to Salt Creek is within the Chula Vista Greenbelt, a city-wide open space system. The Regional Trail continues south and west along Hunte Parkway and becomes a component of the “Village Greenway,” a Regional Trail system linking villages and open spaces within Otay Ranch. Pedestrian bridges are an amenity of the trails system and are proposed to link Village Eleven with the EUC and the university. The sidewalks located within the parkways of all the surrounding major streets connect Village Eleven to the surrounding community. The “Village Pathway” is comprised of a paseo and sidewalks which provide a connection between the university site and the EUC through the Village Core. A second paseo is located within the east area of the village to provide an off-street path from neighborhoods to a centrally located recreation facility. The village streets are designed with sidewalks separated from the street by parkways and other features to enhance the pedestrian environment. Trails within the SDG&E/SDCWA easement may be allowed to provide additional community access through the village and village trails are proposed to cross the easement.

The surrounding land uses, village land use plan and circulation are illustrated in Figure II.4.1.2-2, the Village Eleven SPA Land Use Plan.

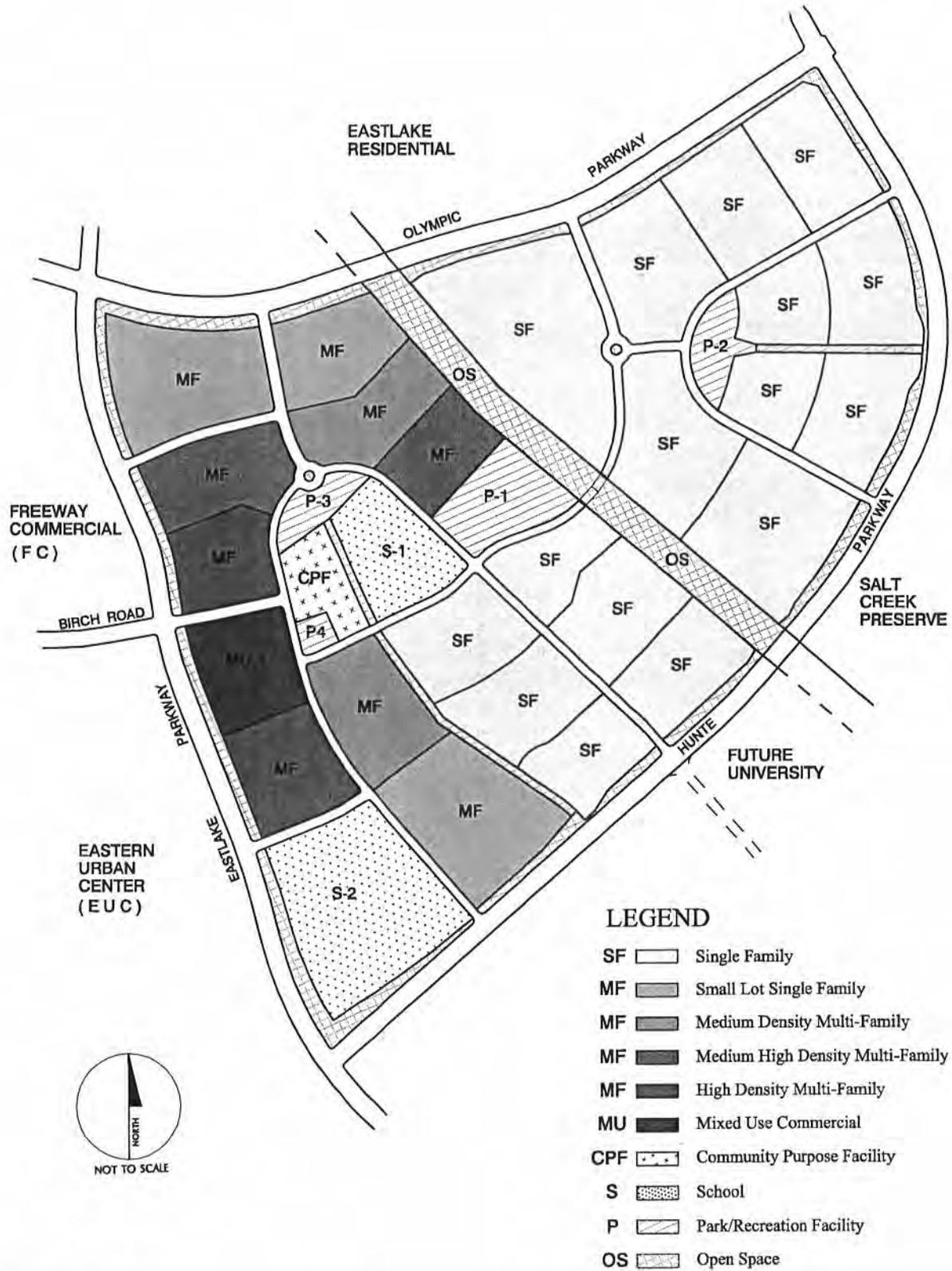


Figure II.4.1.2-2  
Village Eleven SPA Land Use Plan

### II.4.1.3 Design Theme

The previous description of the Village Eleven design context describes its unique location within Otay Ranch, physical setting, and land use plan. Those aspects of the site must be merged with design concepts to create a unique, pedestrian-oriented village within the larger Otay Ranch Community. A fundamental approach to creating the village is to consistently use a specific design theme that implements the elements of the Otay Ranch GDP Overall Design Plan. The common design theme unifies the village when it is applied to site planning, landscape, architecture, monuments and signage, walls and fencing, street furnishings and lighting. It is important to note that housing in Village Eleven will be in the mid-range of affordability and the accompanying amenities may not be extravagant. Affordability is an element that has been considered in selecting a village design theme.

#### Otay Ranch Design Theme

The Otay Ranch design theme references the scenic features of the area, including the Otay River Valley and distant mountains, and the historic ranch land use. The references to scenic features are maintained in Village Eleven through grading and site planning that optimizes views and land use compatibility with the surrounding natural areas. It is further maintained through a landscape concept plan that incorporates native trees, such as sycamores and oaks. The historic ranch references are also maintained through the landscape concept by inclusion of California pepper trees, which are symbolic of the missionary and Spanish rancho eras.

Historic ranch architecture responded to Southern California's Mediterranean climate and available building materials, through the use of simple forms, thick adobe walls and tile roofs. These elements of historic architecture are so suitable to this environment that they are still dominant today. An historic ranch architectural connection will be made in Village Eleven, not by direct reference to ranch architecture, but through the architecture and design concepts of noted San Diego architect, Irving Gill. Gill drew inspiration from early California architecture to create architecture that is unique to San Diego and the region. More detailed descriptions of Gill architectural concepts are provided in further discussion of the Village Design themes.

A specific design element, an Otay Ranch community monument, will be located at the intersection of Hunte and Olympic Parkways to identify the eastern entry into Otay Ranch. Elements of the Otay Ranch community monument will be repeated in other locations of Village Eleven as a unifying design element.

### **Pedestrian-Oriented Design**

Pedestrian-oriented design is the foundation of the Otay Ranch GDP village concept. The village concept combines residential neighborhoods with neighborhood-serving land uses, such as shops and offices, community purpose facilities, schools, parks and public transit. The goal of this concept is to reduce dependency on the automobile by providing for the daily needs of villagers in close proximity to their homes. A walkable environment is key to the concept.

The grading, land use and circulation plans of Village Eleven have been designed to promote pedestrian-oriented design. This Village Design Plan provides additional descriptions and guidelines for site planning, landscape and architecture that promote the pedestrian-oriented concepts. In the following sections, descriptions are provided of pedestrian-oriented design elements along village streets, in the village core and residential neighborhoods.

### **Village Design Theme**

A village design theme is necessary to unify the design elements and enhance the village concept. In researching a design theme, older neighborhoods in San Diego were studied to identify the elements that make them pedestrian-oriented. A notable aspect of older neighborhoods is the mix of architectural styles that were popular in the early part of this century. Also notable, is a unique San Diego style that emerged in that era. It referenced California Mission and Spanish Colonial architecture in simple, elegant architecture. One of the great San Diego architects who developed this unique style was Irving Gill. Because Gill's design concepts are still very applicable to our climate and architectural needs, they serve as the inspiration for the design theme of Village Eleven.

Originally a landscape architect, Gill embraced the San Diego climate and promoted architecture that created outdoor rooms. Gill's site planning of civic and institutional buildings created plazas and courtyards that he connected with shaded walkways. This site planning approach is the inspiration for the design of the Village Eleven Core. The intent is to interconnect the village core uses with defined outdoor rooms and walkways and promote the pedestrian orientation of the village.

Irving Gill's architectural concepts are appropriate to Otay Ranch and Village Eleven. Gill referenced elements of early California architecture, including simple forms, thick walls with smooth, white plaster finishes, arches, colonnades and red barrel tile roofs. However, he used those elements within an appropriate context, adapting them to modern building materials and techniques. Gill's architecture maintains an elegant simplicity appropriate to the public buildings and spaces within the village. The Irving Gill style is intended to be the inspiration for the mixed-use/commercial, community purpose facility, school, park and neighborhood recreation center architecture in the village. Adaptations of Irving Gill architecture may adhere to traditional stylistic elements, such a wood frame

windows and tile roofs, or they may stress the more contemporary aspects of strong geometric forms, plain stucco walls and flat roofs. Gill was also a proponent of affordability. His architecture demonstrates that enduring aesthetics can be achieved within a range of economic levels.

Irving Gill's use of pergolas and arcades provide inspiration for Village monuments and entry features. The forms and materials are compatible with the Otay Ranch theme elements. They also are adaptable to the design of street furnishings such as benches and lighting. These thematically designed elements will provide continuity and unification throughout the village.

The Irving Gill design reference will continue into the architectural design of residential neighborhoods. Since Gill also designed in many popular architectural styles of the period, a variety of San Diego styles including Craftsman, Prairie, Monterey and Spanish Colonial Revival, are encouraged to be used as inspiration for residential architecture.

The unique style of Irving Gill is illustrated in Figures II.4.1.3-1 and 2. The illustrations and photographs demonstrate Gill's skill in site planning and in creating timeless architecture.





Photo Credit: San Diego Museum of History

Figure II.4.1.3-1  
Community Images



Photo Credit: San Diego Museum of History

Figure II.4.1.3-2  
Residential Images

## **II.4.2 Overall Village Design**

## II.4.2 OVERALL VILLAGE DESIGN

### II.4.2.1 Landform

#### Topography and Existing Conditions

The property topography consists of gently rounded knolls in the highest elevations in the northwest and a series of ridges and canyons decreasing in elevation to the south and east. This varied topography is depicted in the Slope Analysis, Figure II.4.2.1-1. The overall elevation change from +677 to +440 feet (a differential of 237 feet) from the northwest to the south and southeast presents a challenge to designing the grading. In addition to the natural topography of the site, the SDG&E/SDCWA easement and surrounding street design contain fixed gradients that must be maintained with the village grading design.

The 240-foot wide SDG&E/SDCWA easement bisects the site from northwest to southeast. The area accommodates 230kv and 69kv power lines, 36-inch 800psi and 4-inch 400 psi gas mains, and 66 and 72-inch water mains. Virtually all of the utilities within the easement are fixed and relocation is not practicable to accommodate development of Village Eleven. For this reason, all village grading ends at the easement edge, except for the locations of the four road crossings, Olympic Parkway, Hunte Parkway and two interior village road crossings. The two road crossing sites are the only feasible locations as they cross at elevations that allow appropriate clearance over the underground lines and under the overhead utilities.

The surrounding road circulation system has been designed in conjunction with surrounding development. The grading plan for the village must meet a series of fixed perimeter elevations. These predetermined elevation points are the terminus of Hunte Parkway at Olympic Parkway and the SDG&E/SDCWA easement intersections with Olympic and Hunte Parkways. The alignment and gradients of EastLake Parkway have been designed jointly with the Freeway Commercial/Eastern Urban Center developer to accommodate compatible development elevations on the east and west of the Parkway. Essentially, only the two segments of Hunte Parkway between the major intersections and the easement have some gradient design flexibility. These street segments have been designed to conform to the natural topography, accommodate grading and drainage for the village and reduce the amount of manufactured slope facing towards the Salt Creek preserve area.

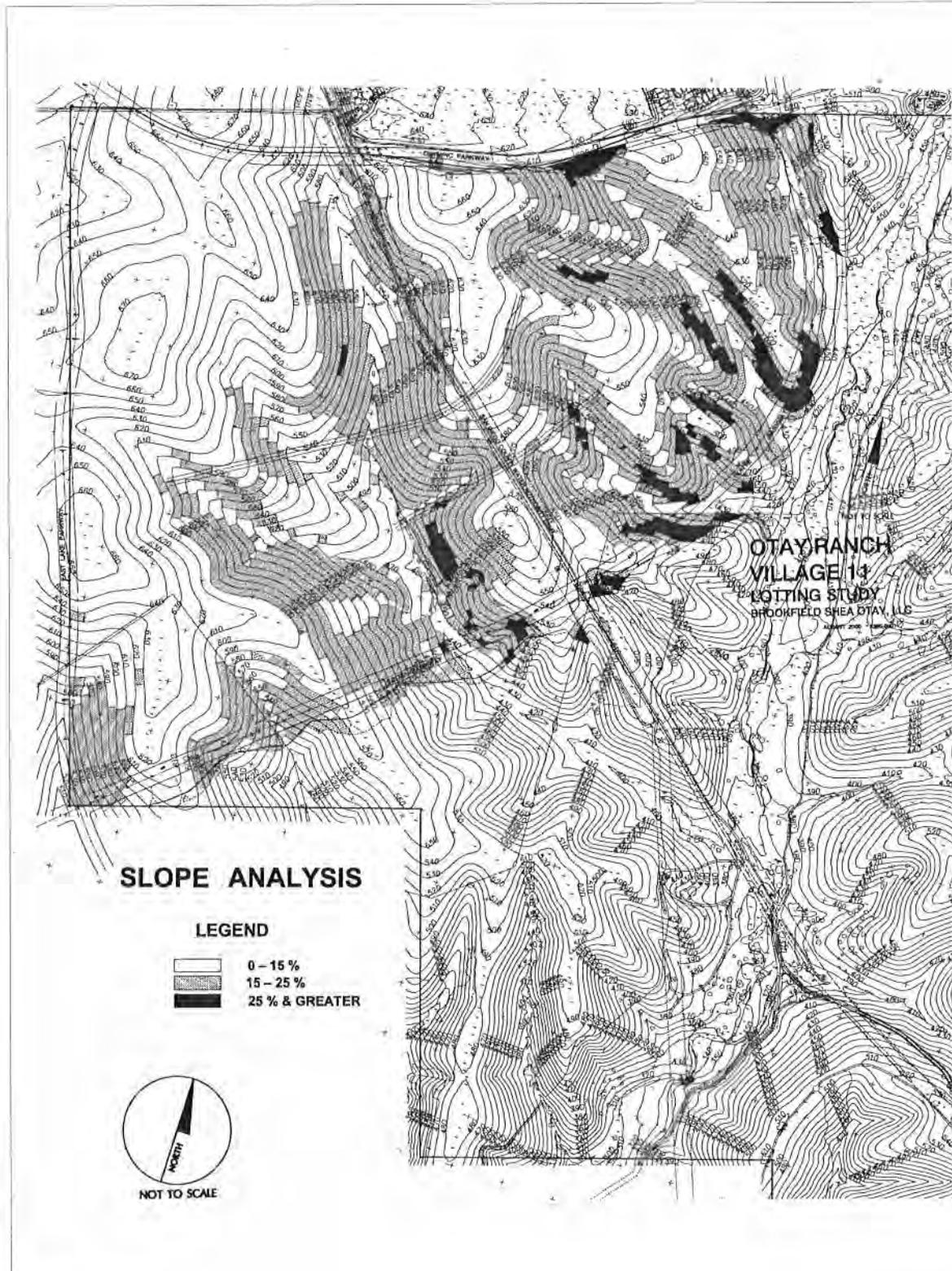


Figure II.4.2.1-1  
Slope Analysis

**Grading Concept**

In designing the grading of Village Eleven, the natural topography and fixed elevations must be merged with grading specific to the village. The grading design solution for Village Eleven incorporates the fixed elevations described above, and re-forms the natural topography to meet a balanced cut and fill with development pads suitable to the varied land uses within the village. In order to create a pedestrian-oriented village, streets and paseos have been designed at an 8.3% maximum gradient to the extent possible.

The grading design solution utilizes the existing flattest areas of the property to accommodate large-area land uses including the village core, a junior high school and multi-family development sites. The additional grade needed to create the large development areas is taken up in the remainder of the property. These steeper areas of the property are designed in smaller, descending terraces that can accommodate residential neighborhoods. The grading design of Village Eleven determined that terraced neighborhoods with slope heights averaging from 5 to 15 feet between residences would create a sense of openness and comfortable walking gradients on streets and paseos. In some areas, greater grade changes averaging between 15 and 25 feet and up to a maximum of 32 feet are necessary, but these have the advantage of providing both public and private views over rooftops to distant open spaces and mountains. Where high slopes are necessary, they have been located to use the vertical separation as a buffer between land uses or streets. Figure II.4.2.1-2 illustrates the grading design of Village Eleven.



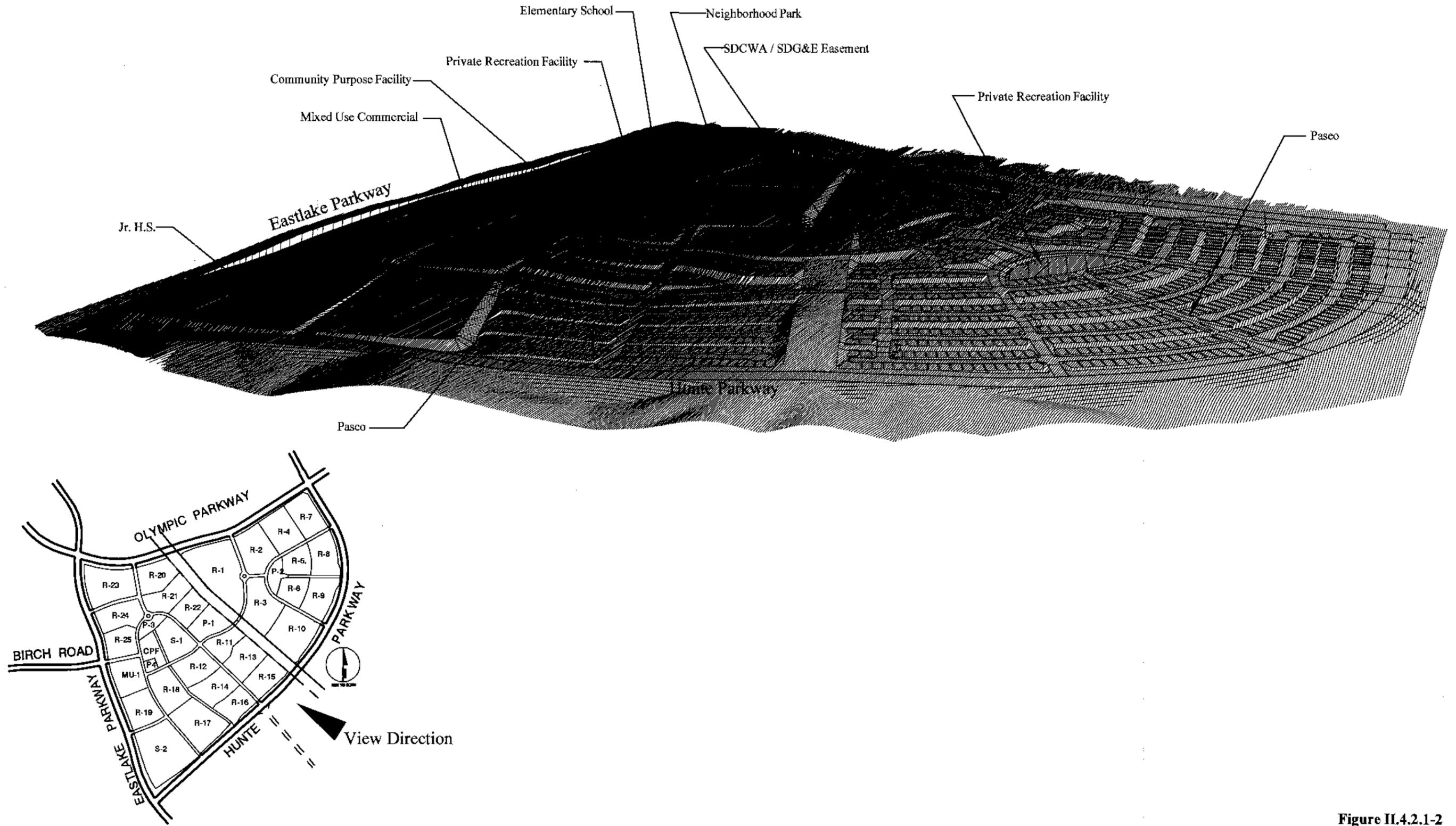


Figure II.4.2.1-2  
Conceptual Grading Plan

### Slope Design

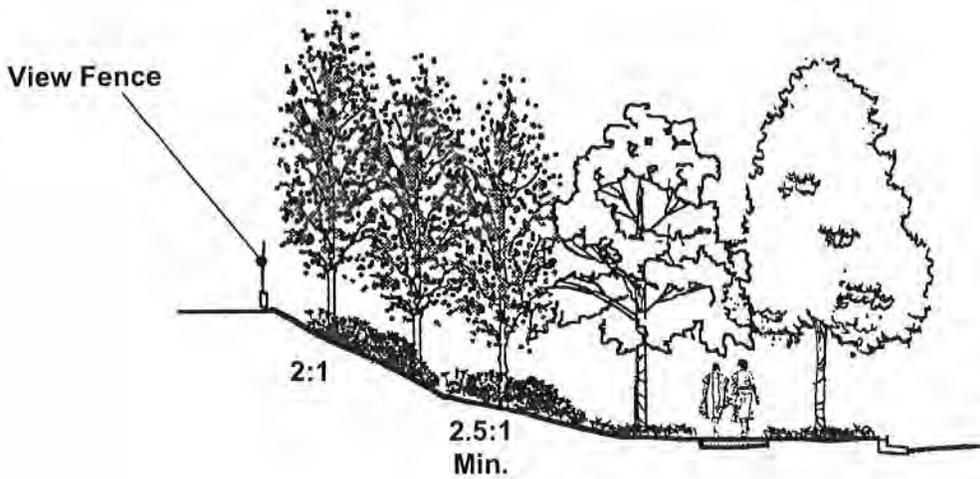
The grading plan for Village Eleven strives to minimize large and steep manufactured slopes. The Village Eleven design proposes to utilize landform grading techniques and landscaping to minimize the manufactured appearance of slopes. Guidelines to be used for grading and slope design are:

- Create elevation changes within the property that strive for a balance of cut and fill grading.
- Use grade changes to optimize views and a sense of spaciousness.
- Use grade changes between differing land uses where separation and buffering is desired.
- Avoid, wherever possible, creating slopes over 25 feet in height to minimize a sense of enclosure, particularly in residential rear yards.
- Use contour grading techniques, where appropriate, on slopes over 25 feet in height.
- Use varied-height trees, shrubs and groundcovers to undulate the surface of the slope.
- Minimize surface runoff and erosion potential by planting low water consumptive and drought tolerant plants.
- Use state-of the art erosion control, irrigation and water management practices to protect slopes.

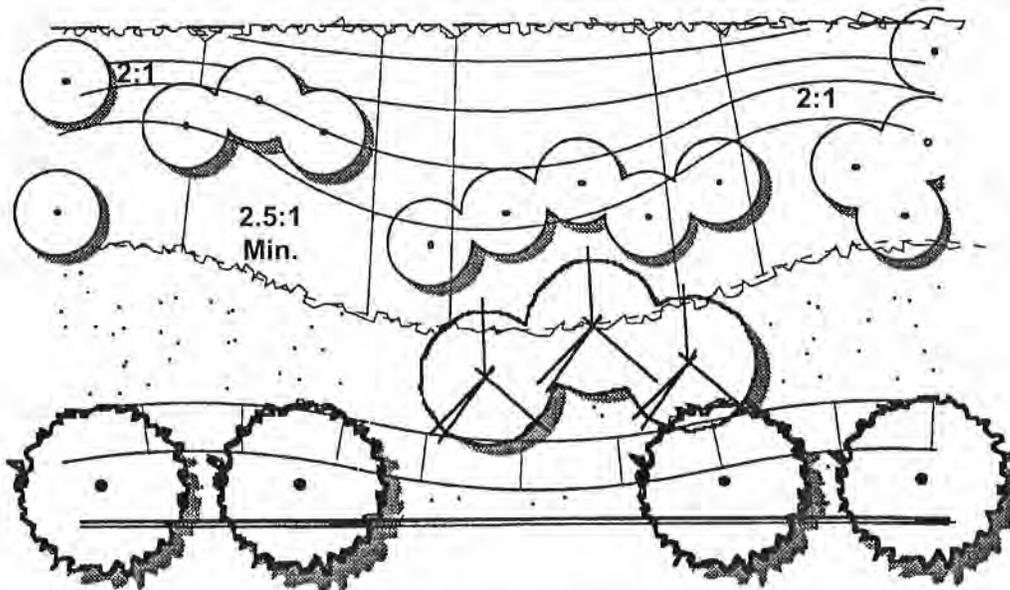
Landform grading will consist of varied or contoured slopes. Both vertical and horizontal undulation will be integrated in the design. Trails and benching, where required, will also contribute to variation in the slope plane. Figure II.4.2.1-3 illustrates both variable and contour grading concepts.

The primary treatment for creating aesthetically pleasing slopes within the village is through landscaping. Manufactured slopes will be planted with varied size trees, shrubs and groundcovers to create undulation on the slope face. Varied tree heights obscure the top of slopes and create skyline interest. Section II.4.6, Landscape, describes slope landscaping and provides appropriate plant palettes. Figure II.4.2.1-4 demonstrates that well-designed landscape can alleviate the appearance of a non-contoured 2:1 slope.

The Village Eleven Preliminary Landscape Master Plan, developed prior to the approval of any Final Map, will provide more detailed information on contour grading and landscape treatment of slopes.



SECTION  
EXAMPLE OF VARIABLE GRADED SLOPE



PLAN VIEW  
EXAMPLE OF CONTOUR GRADED SLOPE

Figure II.4.2.1-3  
Contour Grading Techniques



**Figure II.4.2.1-4**  
**Slope Landscape**

## Typical Slopes

The following are descriptions of typical slope conditions in Village Eleven. Figure II.4.2.1-5 illustrates the locations of various height slopes in the grading plan. Cross sections referenced on the plan are illustrated in Figures II.4.2.1-6 through 13.

### Olympic Parkway

Along Olympic Parkway, the development areas in Village Eleven are slightly above grade in the western portion of the site, at grade through the center and below grade in the eastern area. Figure II.4.2.1-6 illustrates the grade differential of approximately five feet that occurs in the western area of Olympic Parkway. Slopes in this area will be contoured to create a naturalistic appearance. Figure II.4.2.1-7 illustrates slopes in the eastern area. These are designed as 2:1 slopes averaging 20 feet in height. Slopes are incorporated into the 75-foot (average) buffer located between the street and the village development. The area adjacent to the roadway will be relatively flat to accommodate a meandering sidewalk separated from the roadway. Views from Olympic towards the village will be primarily of the landscaped parkway with a perimeter wall and residential rooftops in the background. From within the village, the residences will block views of the slopes.

### Hunte Parkway

In the eastern portion of the village, the development areas are at grade or a maximum of eight feet above the grade of Hunte Parkway. On the east side of Hunte Parkway, larger slopes occur between the roadway and the preserve boundary of Salt Creek. These slopes are proposed to be graded at a 2:1 ratio, without contour grading to avoid encroachment into the sensitive habitats of Salt Creek. These slopes will be planted with native plants in a design that blends with the natural setting and minimizes their manufactured appearance. A level area will be maintained at the edge of the roadway to accommodate a decomposed granite trail. Planting along the roadway and trail will be native-compatible. Figure II.4.2.1-8 illustrates the slope and parkway design.

In the western area of the village at the junior high school and adjacent residential sites, the development is above Hunte Parkway. Slopes in this area are the most visible from public view. These slopes will be contour graded and planted to soften their manufactured appearance. The slopes on the south side of Hunte Parkway along the future university site are temporary. These slopes will be hydroseeded for erosion control. Figure II.4.2.1-9 illustrates the slope and parkway design.

### EastLake Parkway

The slopes ranging from 25 to 50 feet in height in the southern portion of EastLake Parkway near the junior high school will be contour graded and landscaped similarly to those on Hunte Parkway. Slopes to the north vary above and below the grades of EastLake Parkway, with an average slope height of six feet. The slopes that are visible from Eastlake Parkway will be contoured to create a naturalistic appearance. Figure II.4.2.1-10 illustrates a typical slope condition along EastLake Parkway.

### SDG&E/SDCWA Easement

The grading plan for Village Eleven maintains all grading outside of the SDG&E/SDCWA Easement. The topography of the easement requires some adjacent slopes to be over 25 feet in height. These high slopes help create a buffer between village land uses and the utilitarian aspects of the easement. These slopes are designed at a ratio of 2:1. The manufactured appearance of the slopes will be alleviated by benches for trails that traverse the slopes and by landscaping. Dense landscaping with groves of trees will be located on the slopes to minimize views of the power lines and towers. Figures II.4.2.1-11 and 12 illustrate slope conditions adjacent to the easement.

### Residential Slopes

The slopes between residential building pads range in height from five to 25 feet. In a few areas slopes also rise to 30 feet. The typical two-story residential height is 24 feet, which blocks views of the slopes. Slopes between building pad terraces will be graded at a ratio of 2:1, with appropriate flat areas and drainages integrated at the tops and toes of slopes. All residential slopes will be planted for erosion control, screening and privacy. Tree planting on the slopes will be designed to optimize and frame views. Figure II.4.2.1-13 illustrates a typical slope condition.

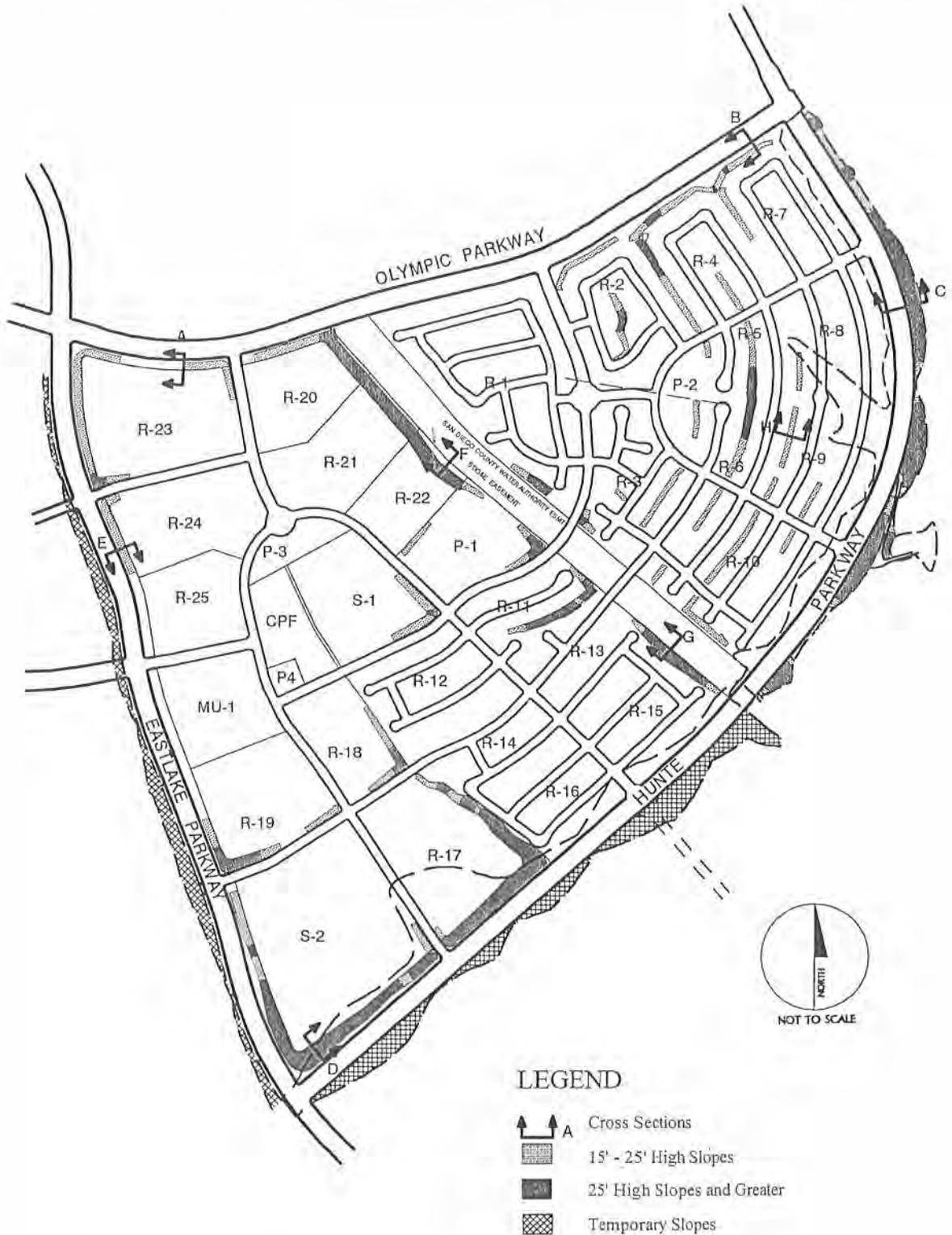
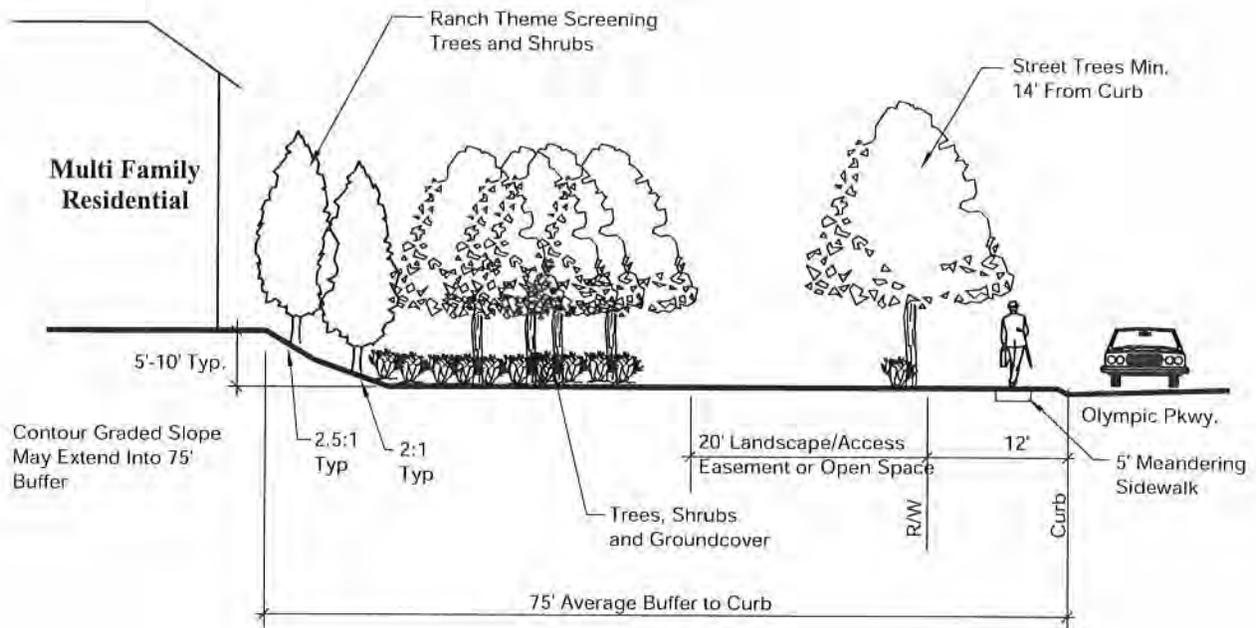
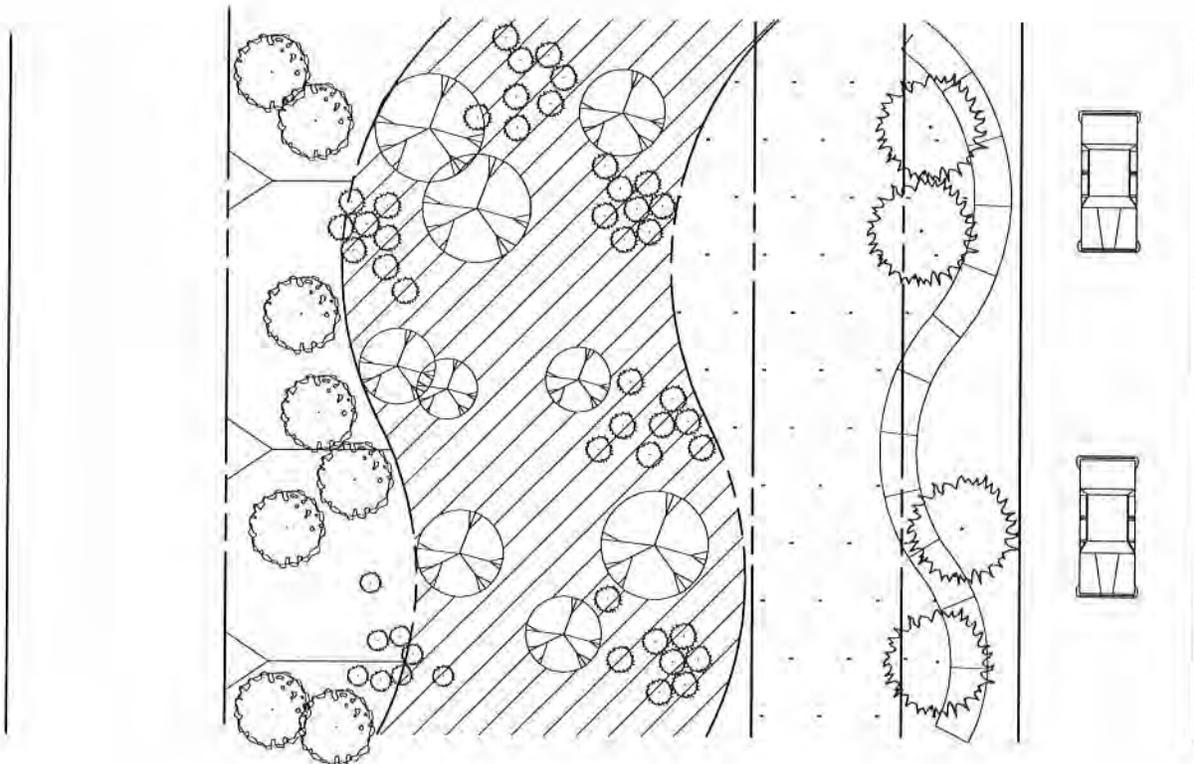


Figure II.4.2.1-5  
Manufactured Slope Locations

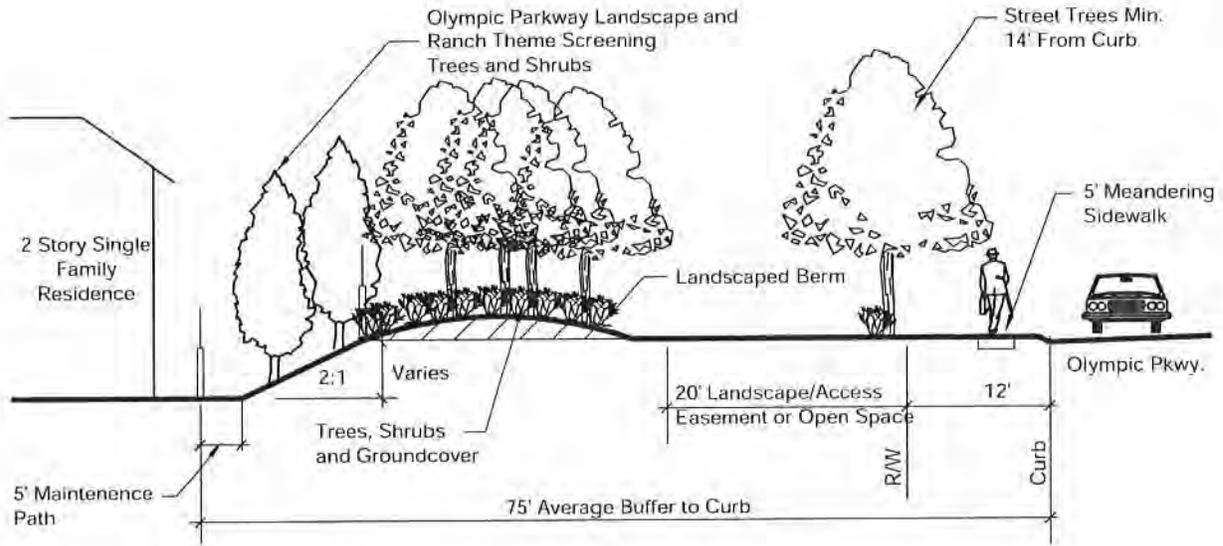


SECTION "A"

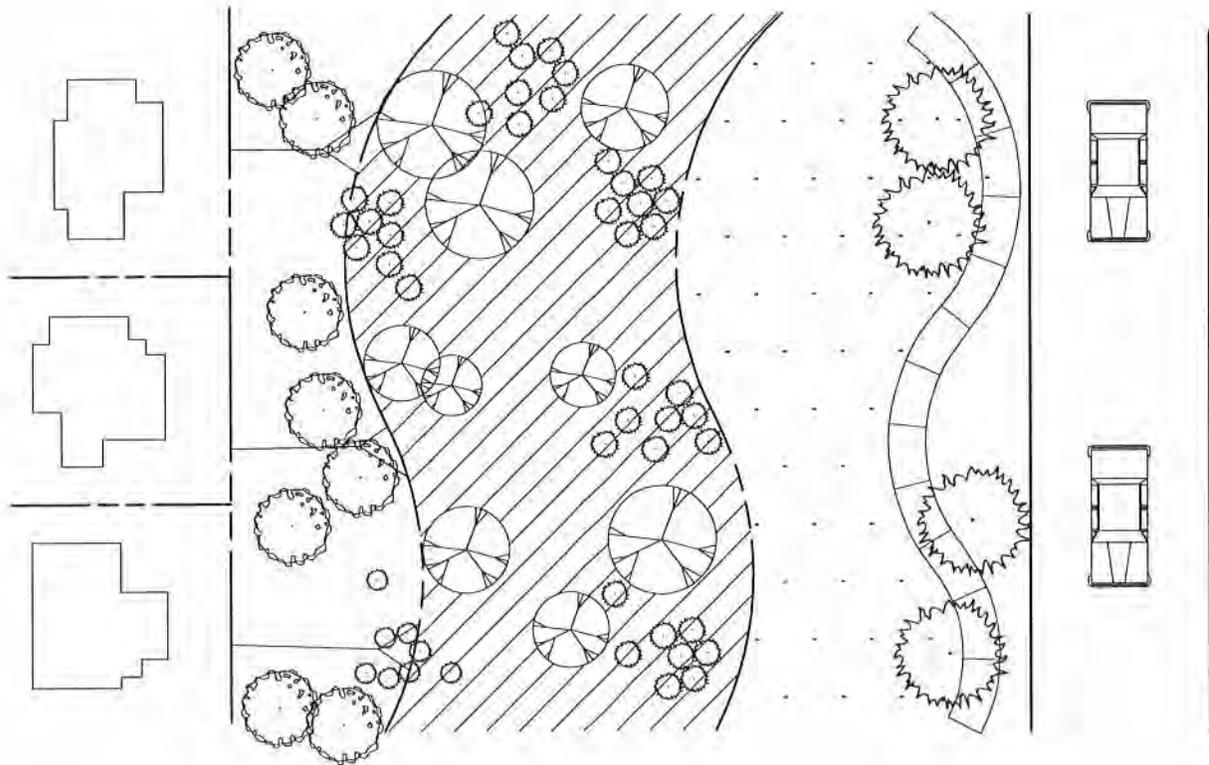


PLAN VIEW

Figure II.4.2.1-6  
Section A and Plan View  
Olympic Parkway - Typical Slope Condition

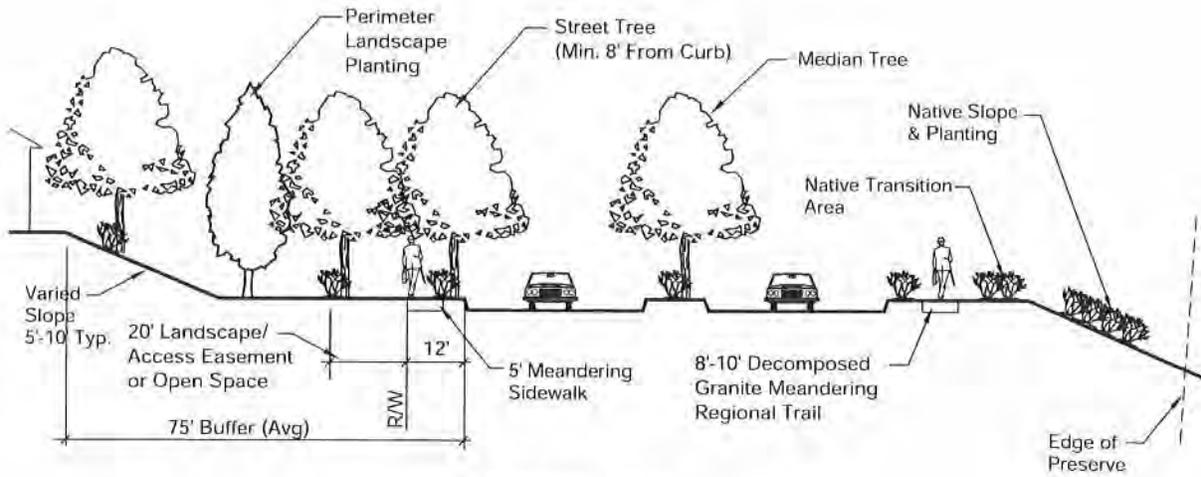


SECTION "B"



PLAN VIEW

Figure II.4.2.1-7  
Section B and Plan View  
Olympic Parkway - Typical Slope Condition



SECTION "C"

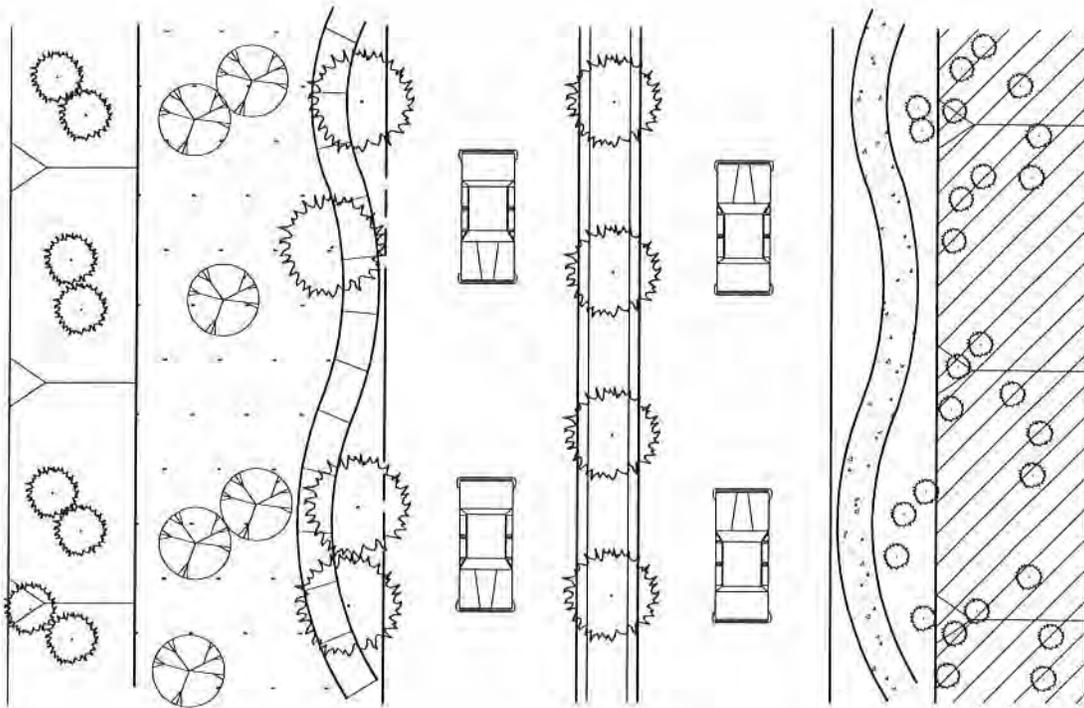
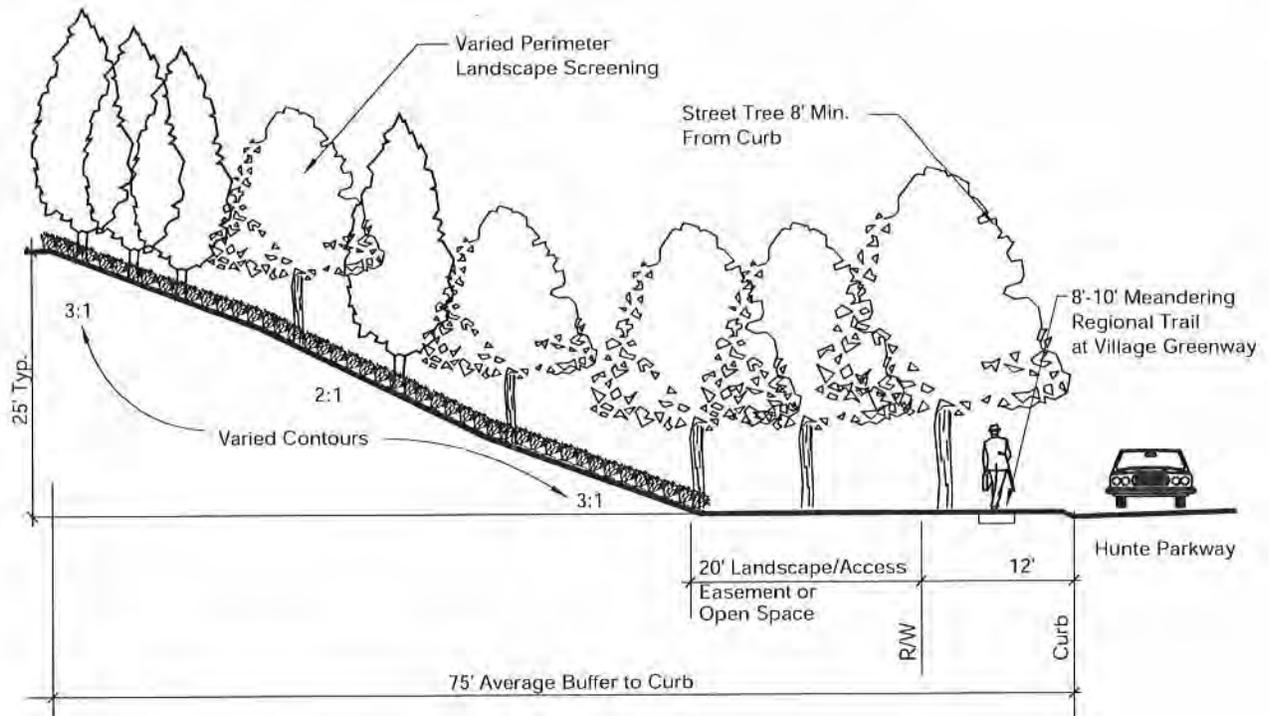
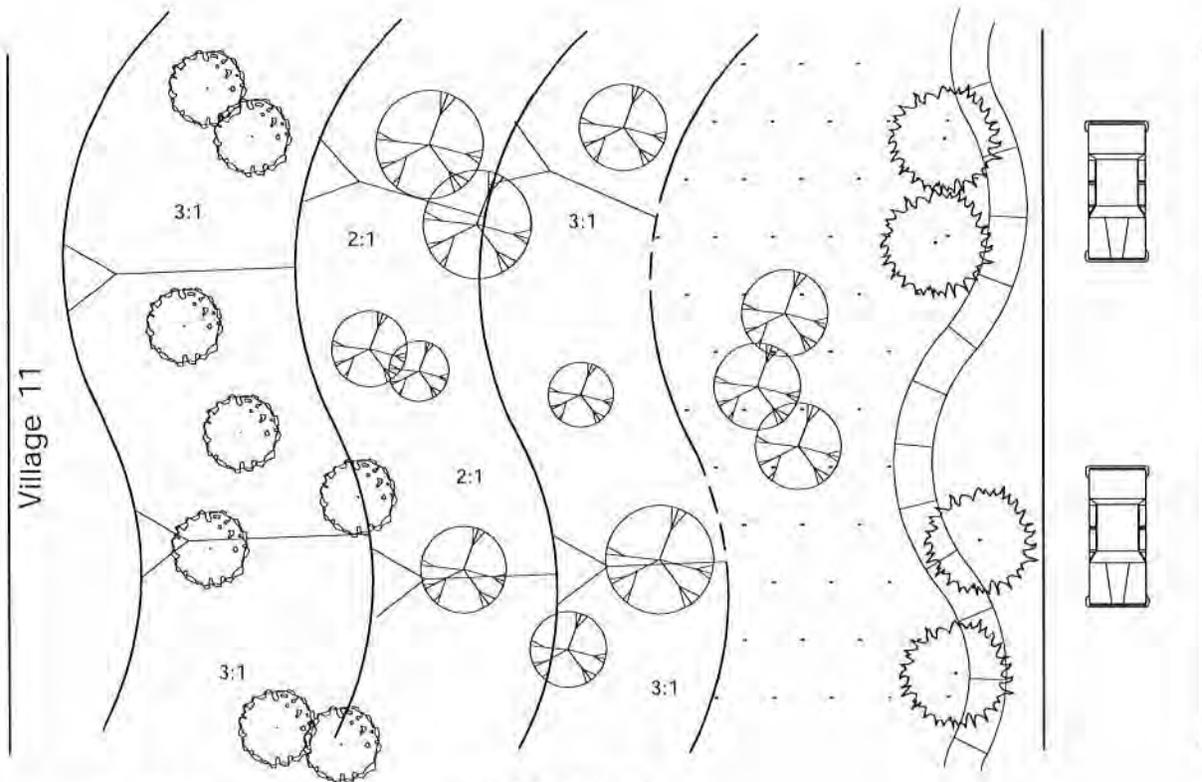


Figure II.4.2.1-8  
Section C and Plan View  
Hunte Parkway - Typical Slope Condition

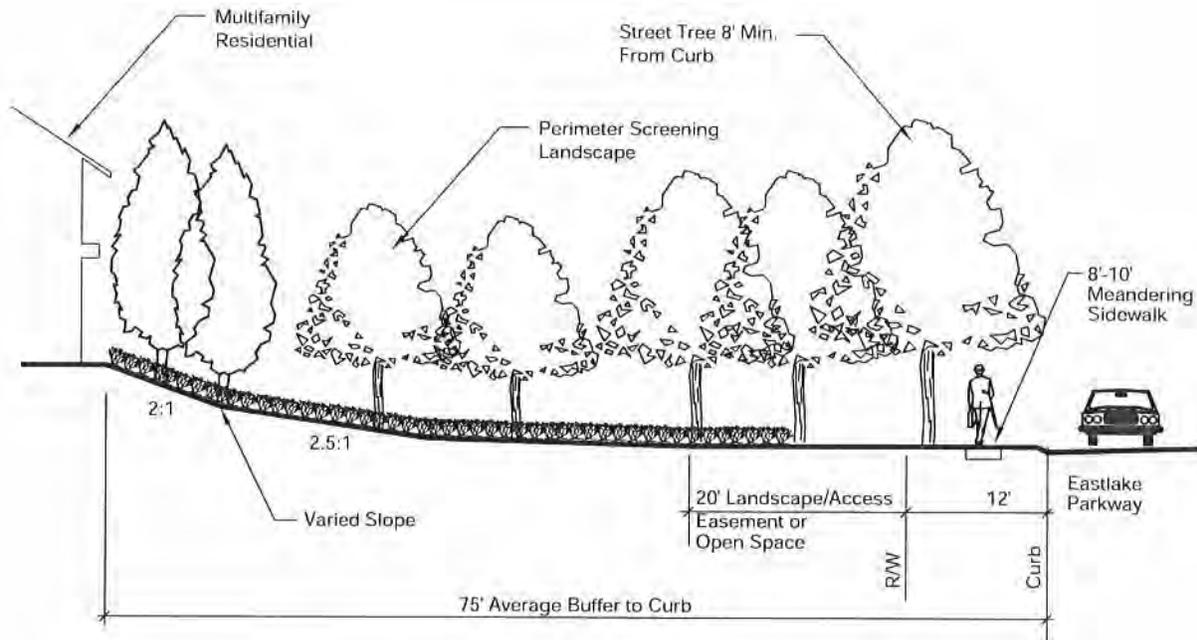


SECTION "D"

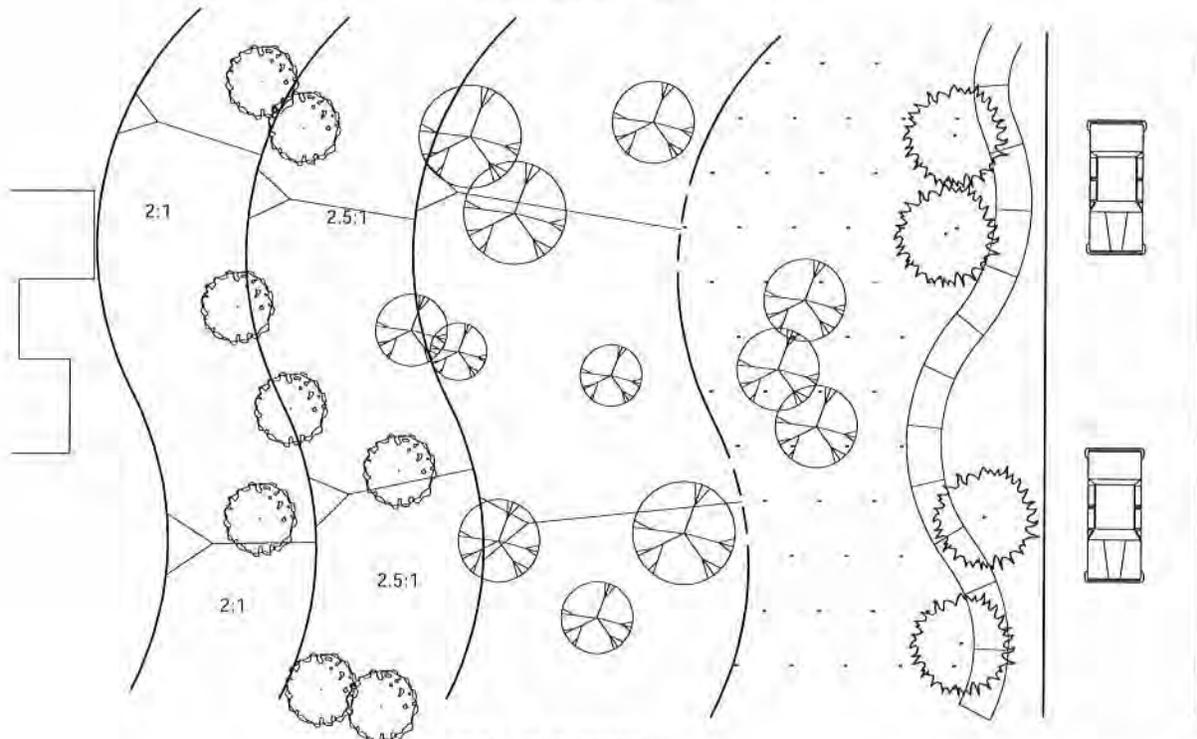


PLAN VIEW

Figure II.4.2.1-9  
Section D and Plan View  
Hunte Parkway - Typical Slope Condition

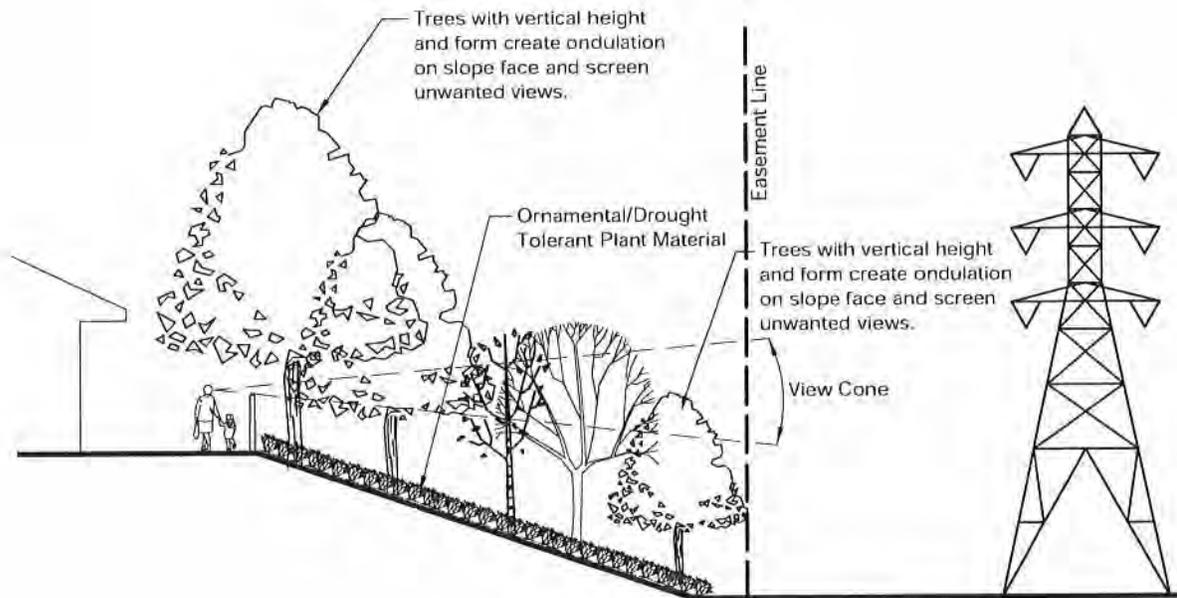


SECTION "E"



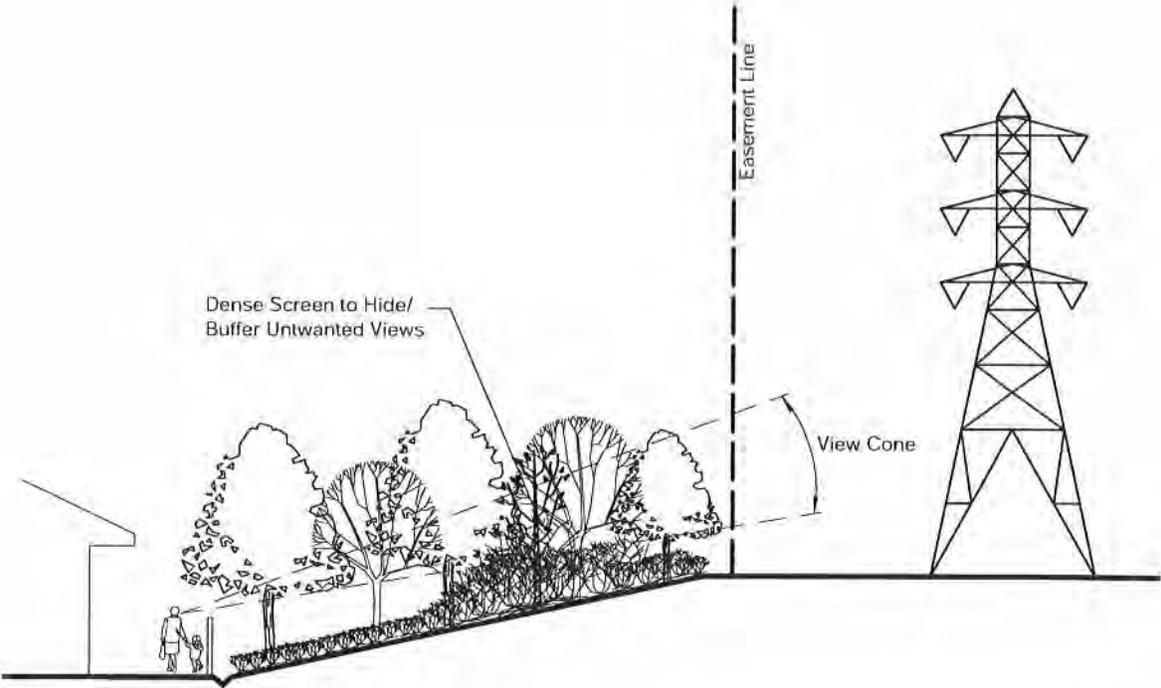
PLAN VIEW

Figure II.4.2.1-10  
Section E and Plan View  
Eastlake Parkway - Typical Slope Condition



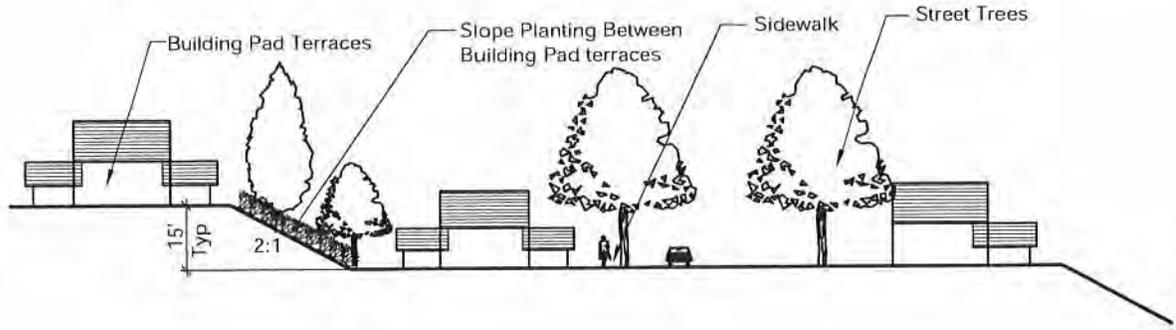
SECTION "F"

Figure II.4.2.1-11  
Section F  
SDG&E/SDCWA Easement - Typical Slope Condition



SECTION "G"

Figure II.4.2.1-12  
Section G  
SDG&E/SDCWA Easement - Typical Slope Condition



SECTION "H"

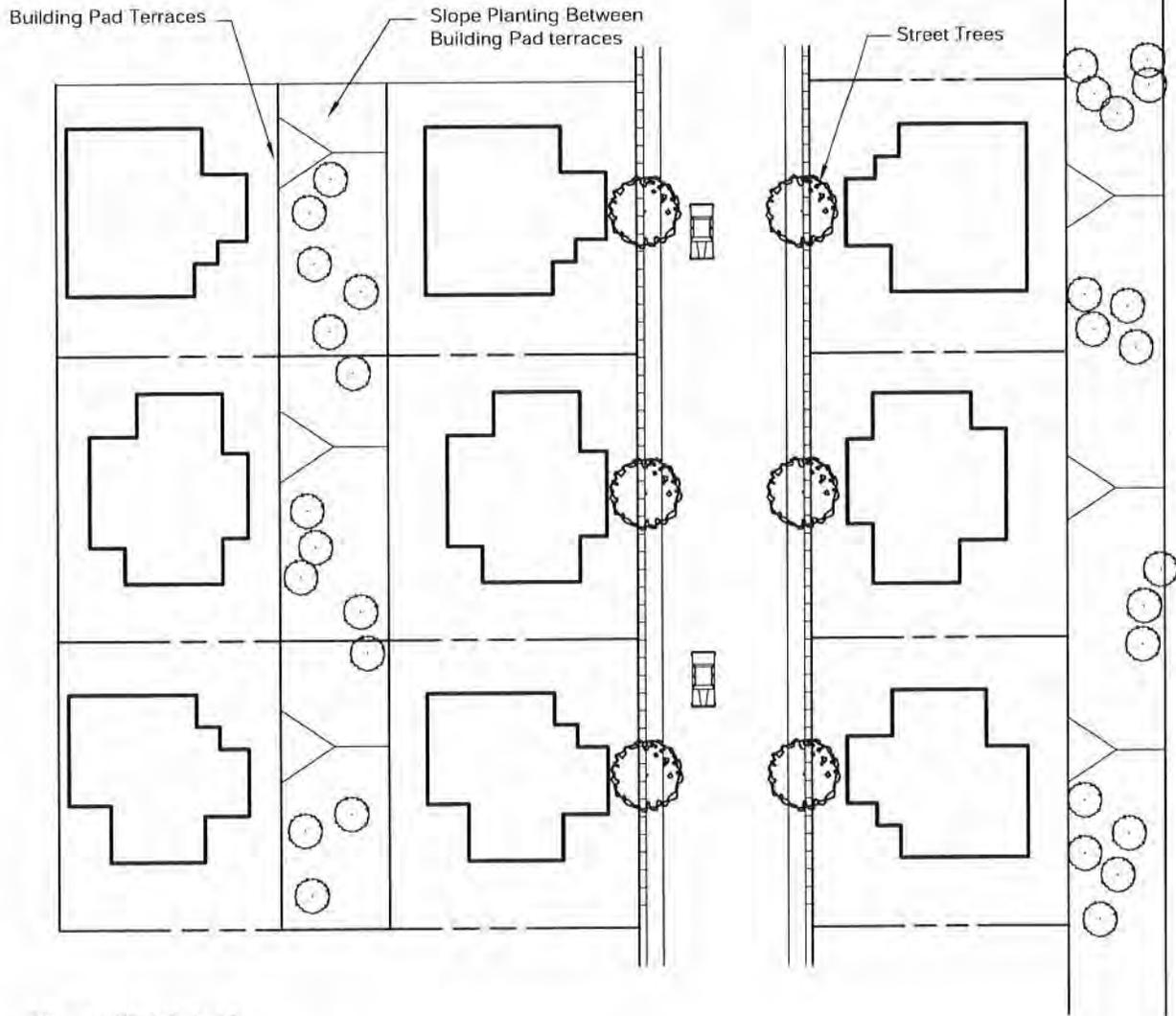


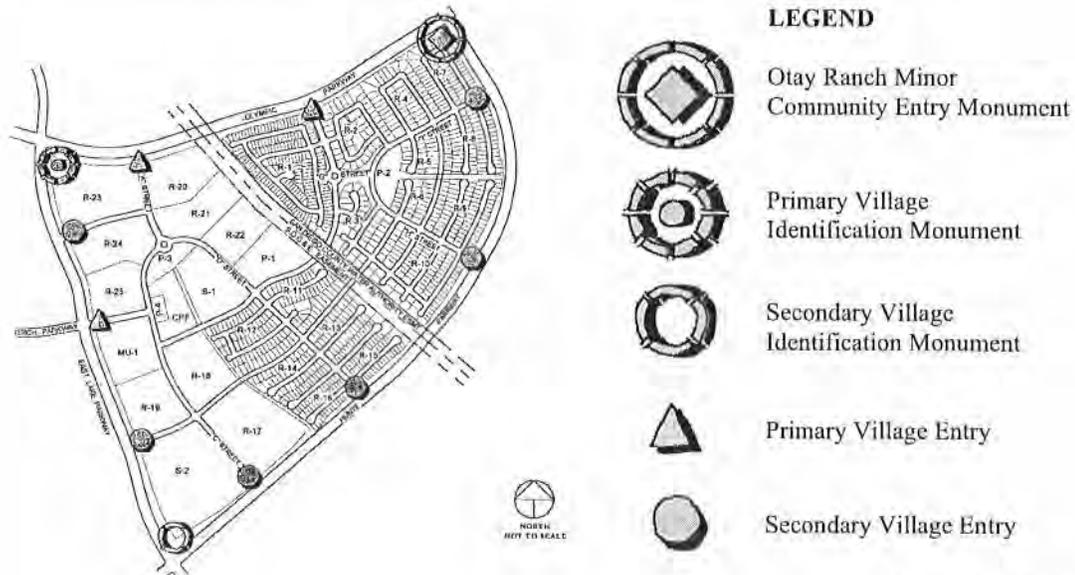
Figure II.4.2.1-13  
Section H  
Residential Neighborhoods - Typical Slope Condition

**II.4.2.2 Monument and Entry Features**

Monument and entry features serve two primary purposes: village identification and village design unification. As identification features, monuments and entry signs must be clearly readable to the motorist. As a unifying design feature, monuments and entry features require a common thematic design. That thematic design must incorporate a hierarchy of subtle stylistic changes appropriate to functions and locations.

The thematic design of the village monuments and entry features is inspired by the architecture of Irving Gill. A Gill trademark, a pergola composed of double columns supporting a wood trellis, will be the identifying Village Eleven design feature. In addition to the pergola element, the designs will incorporate low masonry or stone walls that can serve as a background for signs. Subtle lighting will be used to highlight the signs, architectural forms and landscape. Landscape will include flowering vines to accent the pergolas, background trees planted in groves and low groundcovers or lawn. Village Eleven community walls and fencing will also be integrated into the site plans and feature areas.

Village Eleven contains an Otay Ranch Minor Community Entry monument and two village identification monuments, located at the corners of the village. Primary and secondary village entries are also designated by monuments and landscaping. Figure II.4.2.2-1 depicts the types of monuments and entry features to be located at village entries. A Planned Sign Program shall be prepared for review and approval by the City’s Director of Planning and Building. Specific monument locations will be coordinated with the Parks and Recreation and Public Works Departments and approved by the City Engineer and Director of Planning and Building to ensure compatibility with street landscape master plans, utility locations and sight lines for vehicular traffic.



**Figure II.4.2.2-1  
Monument and Entry Locations**

### **Otay Ranch Minor Community Monument**

Ranch-wide monuments identify the entire Otay Ranch community. The Otay Ranch Overall Design Plan locates a minor community entry monument at the intersection of Olympic Parkway and Hunte Parkway. This location will be designed to be consistent with the Otay Ranch community theme, including the Otay Ranch stone pilaster, low walls and landscape planted in orderly patterns. The Village Eleven theme arbor will be incorporated into the design to unify the community and village entries. The arbor will serve as a backdrop for the Otay Ranch pilaster. The character of the Otay Ranch community entry is further enhanced with trees planted in groves behind the arbor element. The entry design will flow with the terrain and appear to be an extension of adjacent landforms. Figure II.4.2.2-2 illustrates the landscape plan and monument.

### **Village Identification Monuments**

A primary village identification monument will be located at the corner of Olympic and EastLake Parkways. The monument at this location will signify the western most edge of this village and will be themed to resemble the architectural style of the community buildings within the Village Core area. An Irving Gill-inspired central tower element will reference the Otay Ranch community theme pilaster in form, and stone veneer at the base will reference the community theme materials. The Village Eleven thematic arbor structure with twin columns, low stone walls, and a grove of trees will create a setting for the tower, as illustrated in Figure II.4.2.2-3. A secondary village monument will be located at the intersection of EastLake and Hunte Parkways. This monument will include the thematic arbor, village identification signs, and landscape similar to the primary village monument. Figure II.4.2.2-4 illustrates the monument and landscape.

### **Village Entries**

Village entry streets serve as the gateway into the village and a transition from the major streets to the quieter village streets. These streets introduce the village theme, identity and character. Primary village entries at Birch Road and Olympic Parkway lead to the village core in the west. A third primary village entry at Olympic Parkway leads to the heart of the eastern residential neighborhood. The design of the primary village entries incorporates the village theme arbor and a wall signage element for the village name. Figure II.4.2.2-5 illustrates the design of primary village entries.

Secondary village entries are more modestly designed with the theme wall monument sign. All entry designs will be coordinated with the design of the community fencing. Lighting and landscaping will complete the designs consistent with the village theme. Figure II.4.2.2-6 illustrates the design of secondary village entries.

### **Neighborhood Entries**

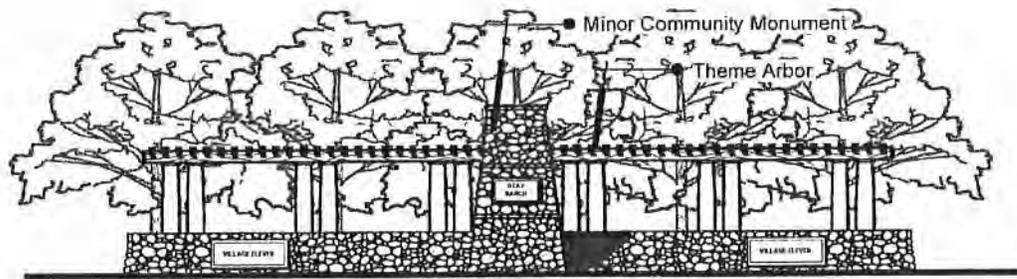
Neighborhood entries will be identified through accent planting that may include trees, flowering shrubs, groundcovers or lawn. Monument signs may be incorporated to identify the specific neighborhood. It is preferred that such signs be temporary and removed after the homes in the neighborhood have been sold. The signs can be completely removed or elements, such as low walls or pilasters, may be incorporated into the landscape design of the area. The design of neighborhood entry signs is illustrated in Figure II.4.2.2-7. The following guidelines apply to neighborhood monuments:

- Neighborhood monuments, if provided, shall consist of two, four-foot high stone pilasters with a removable sign between them. Plans for the construction of these monuments are to be submitted to the Master Developer for review and approval for location, size, lighting, and materials prior to the start of construction.
- Neighborhood monuments are to be constructed by the builder at the corner of the entry street leading into the development. The builder or the project homeowners' association will maintain the monument sign.
- It is the intent that the monument be removed at the time of final model build-out. If desired, the signage portion of the monument only may be removed and the walls and or pilasters be incorporated into the landscape design.
- Specific project monument signing design will reflect the character of each neighborhood while complimenting the design style of the overall Otay Ranch Village Eleven theme.

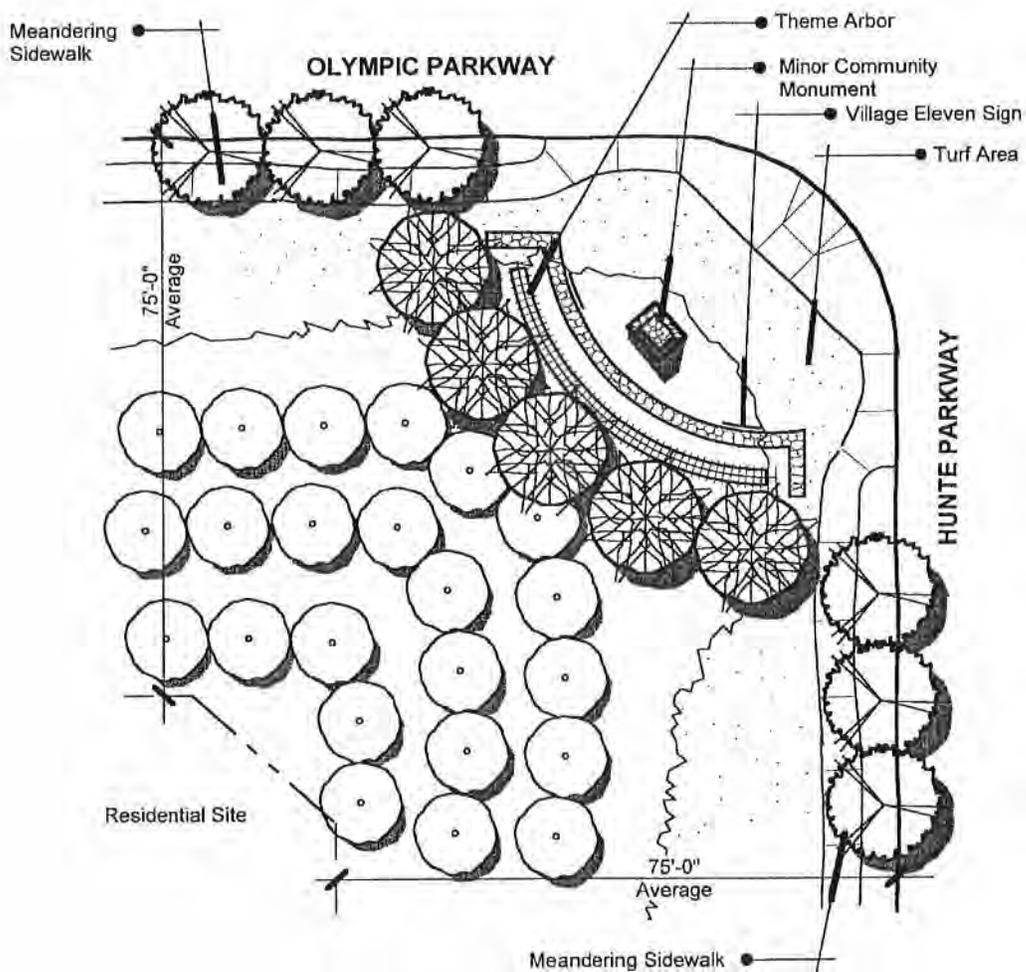
In instances where neighborhood project monuments are intended as permanent signs, the locations are to be reviewed and approved the Master Developer and the City of Chula Vista prior to the start of construction.

### **Pedestrian Path Feature**

The village theme pergola may be used to enhance the paseos and pedestrian paths within the village. The pergola can be used as an inviting entry feature or as a shelter along the path. Figure II.4.2.2-8 illustrates the pedestrian pergola design.

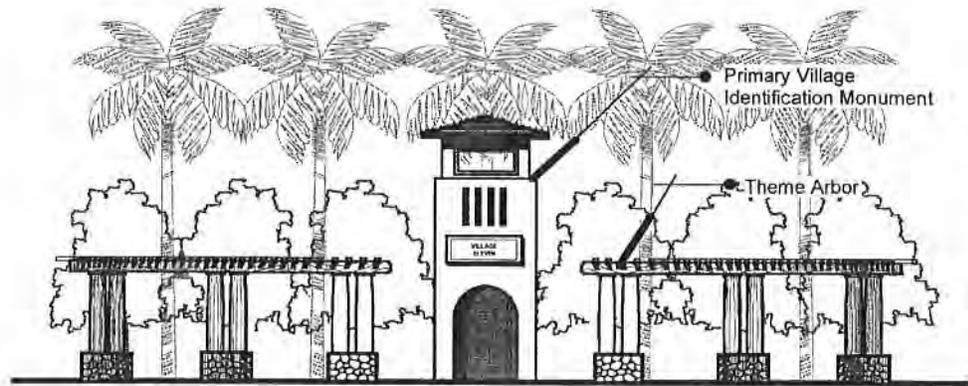


ELEVATION

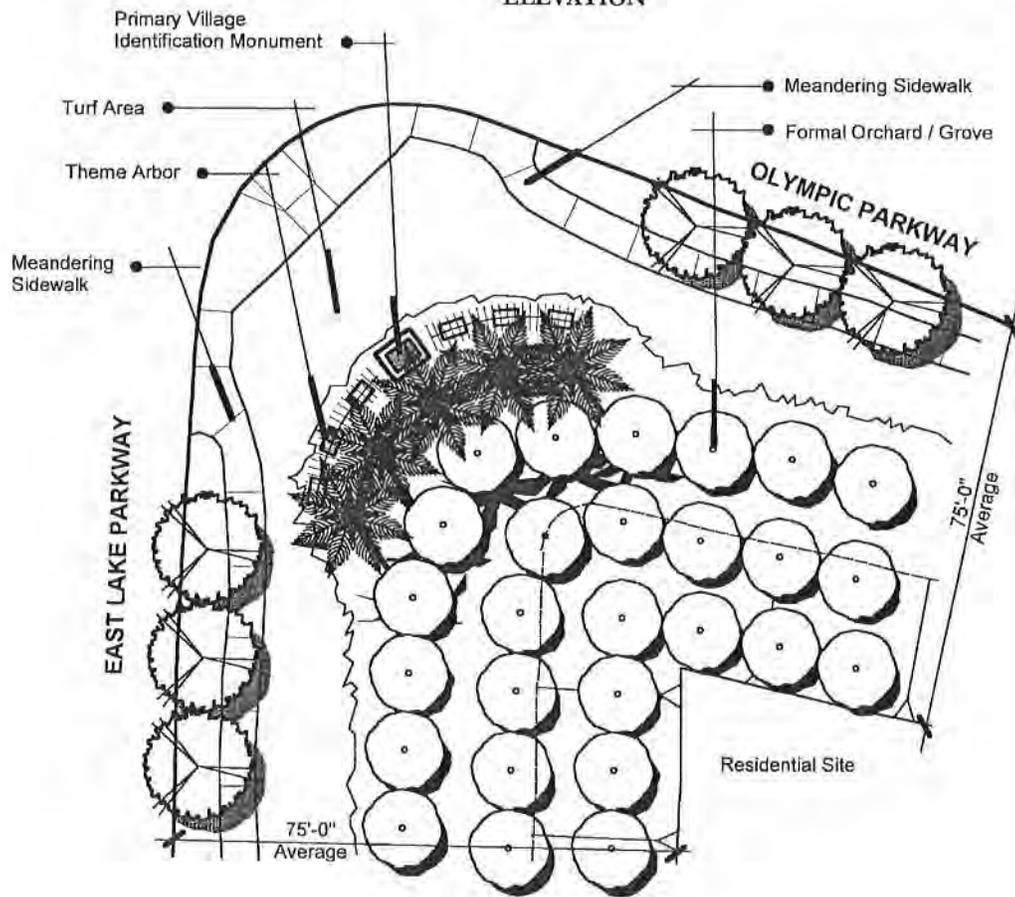


PLAN VIEW

Figure II.4.2.2-2  
Otay Ranch Minor Community Monument



ELEVATION



PLAN VIEW

Figure II.4.2.2-3  
Primary Village Monument

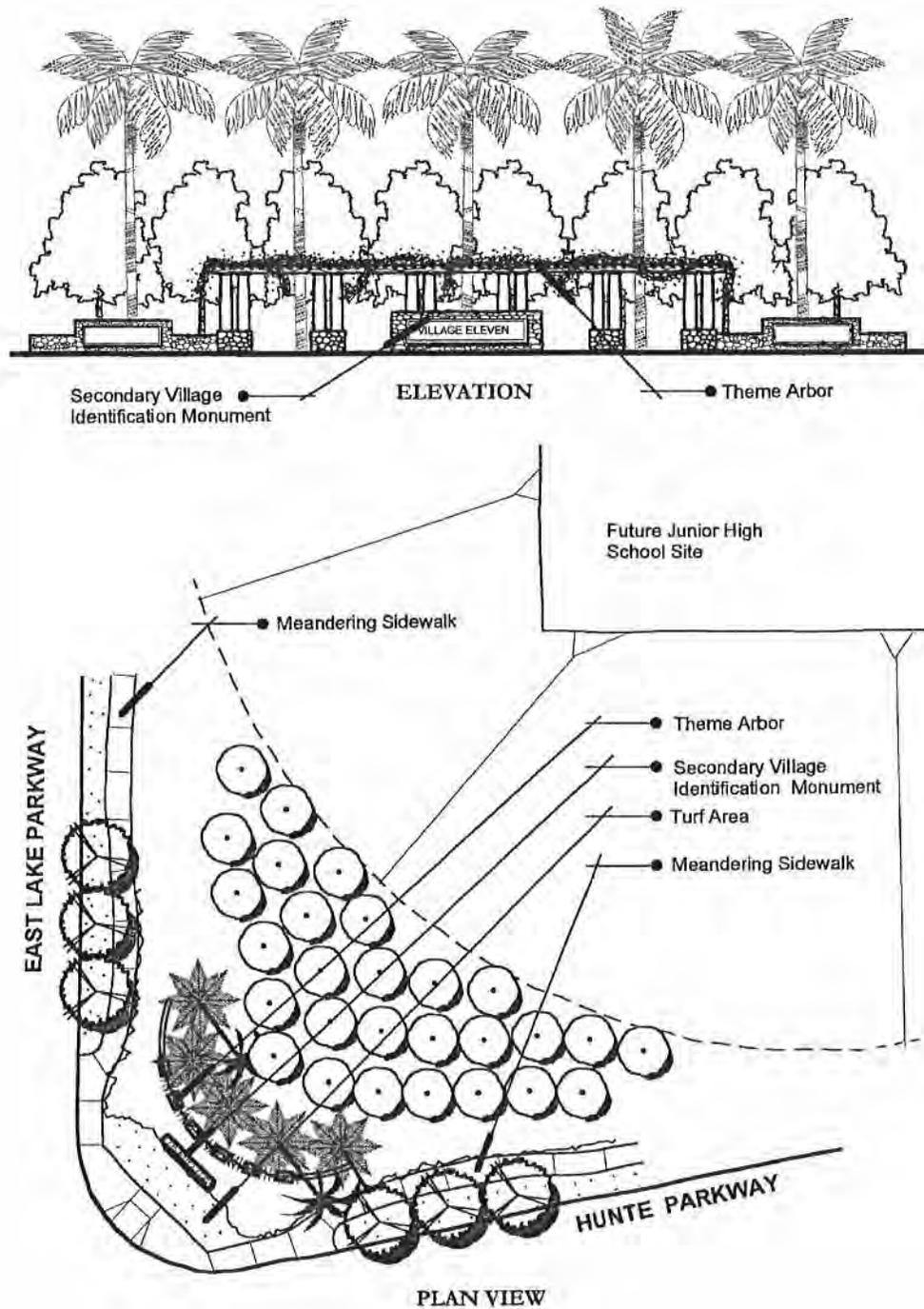


Figure II.4.2.2-4  
Secondary Village Monument

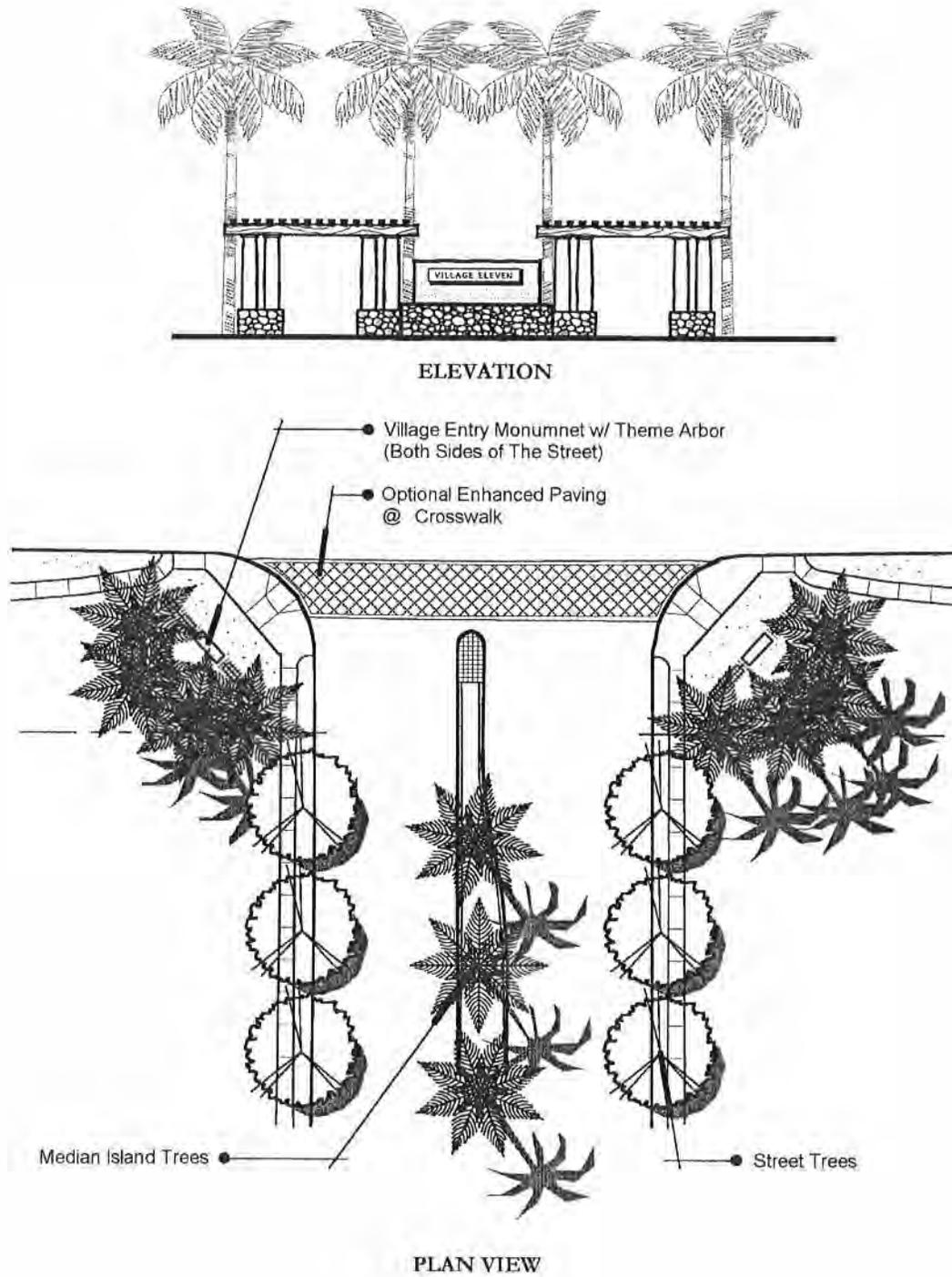


Figure II.4.2.2-5  
Primary Village Entry

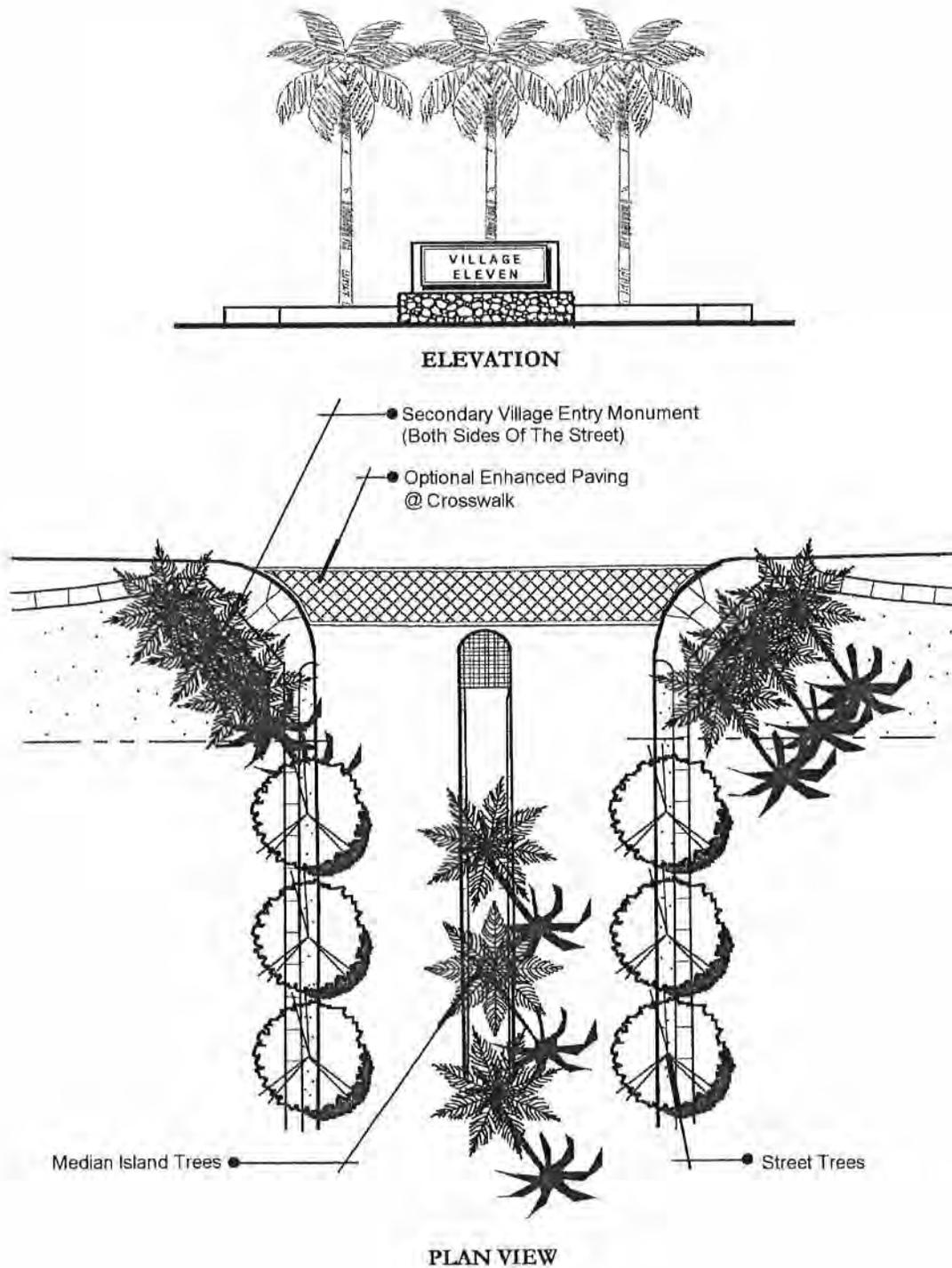
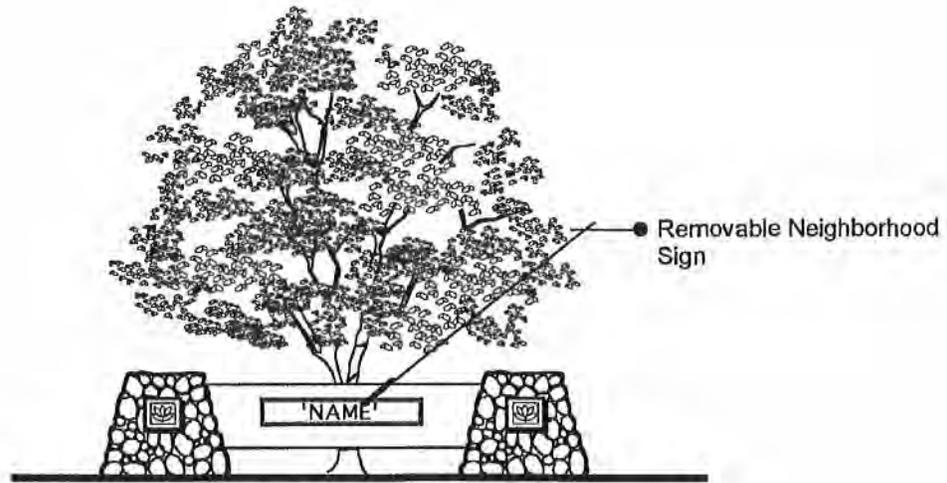
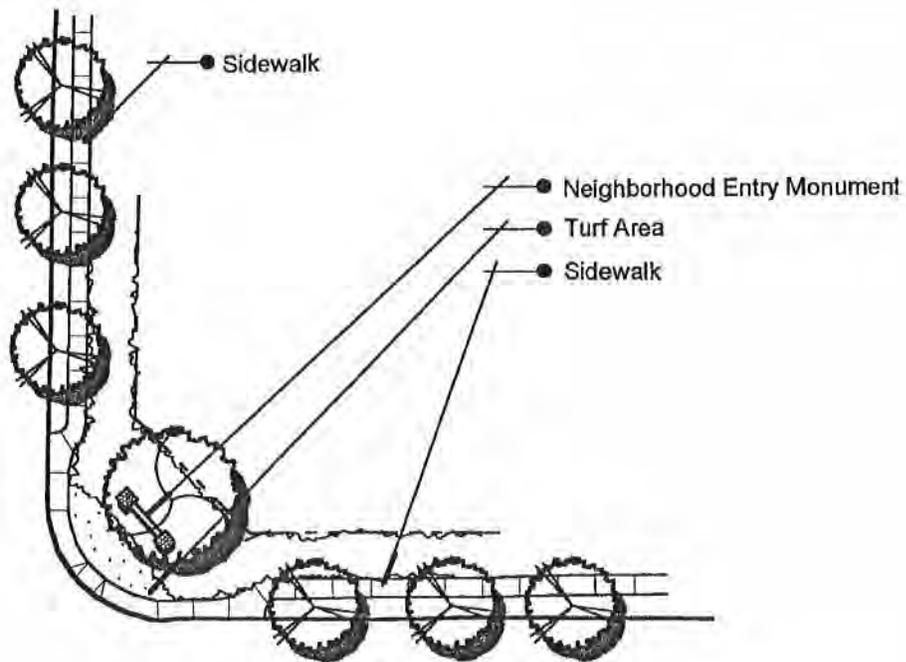


Figure II.4.2.2-6  
Secondary Village Entry



ELEVATION



PLAN VIEW

Figure II.4.2.2-7  
Neighborhood Entry Monument

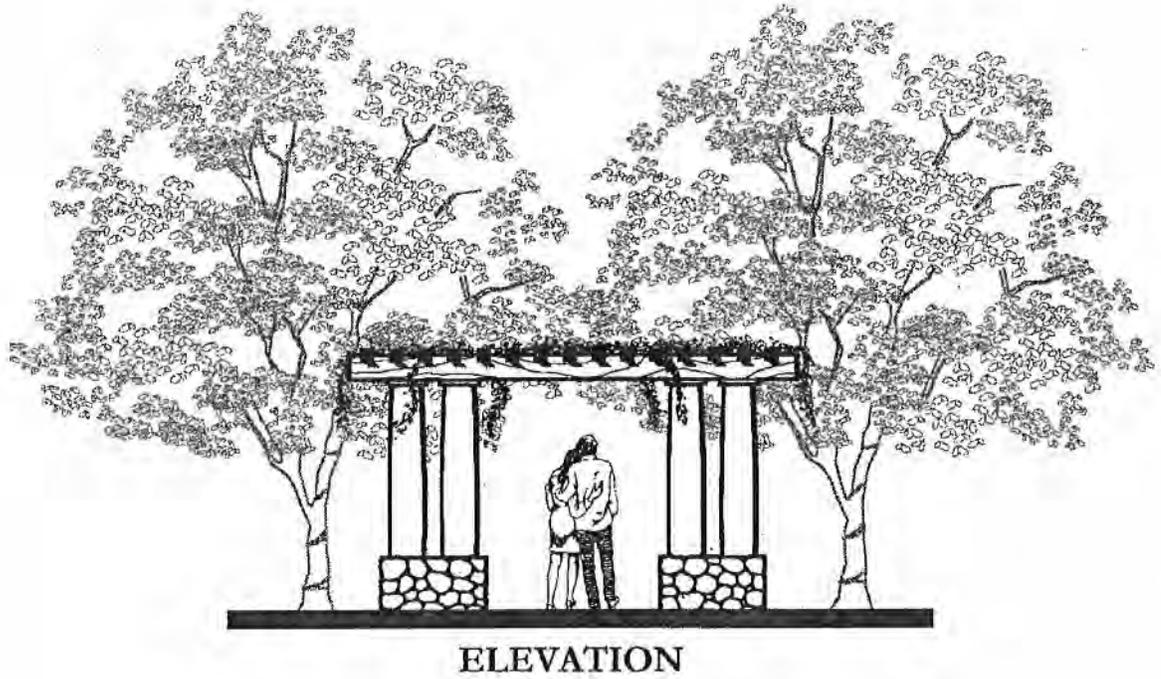


Figure II.4.2.2-8  
Pedestrian Path Feature

### II.4.2.3 Streetscapes

Streetscapes are an important component in creating the Village Eleven design theme. Streetscapes identify the edges of project and major points of entry and they serve as the unifying design theme. The streetscapes for the surrounding major streets will adhere to the Otay Ranch “ranch theme” landscape. Within the village, the design of the streetscapes will emphasize the village pedestrian-oriented concept by providing tree-shaded walkways, lighting, shortened or enhanced crosswalks, and walkable gradients. Figure II.4.2.3-1, Circulation Plan, shows the surrounding and internal street designations for Village Eleven. The following describes each street classification and cross sections are provided to illustrate the conceptual landscaping. Proposed plant lists for the streetscapes are included in Section II.4.6, Landscape Design. The following are descriptions of the various types of streetscapes in and surrounding the village.

#### **Olympic Parkway**

A master plan for the entire length of Olympic Parkway has been prepared by the City of Chula Vista. In designing the streetscape, the Olympic Parkway Master Plan will be implemented and the unique Village Eleven design theme components will be incorporated in the design. The village entry monuments and features are described in the previous section. The 75-foot wide (average measured from face of curb) streetscape provides for a 20-foot wide level area near the roadway that accommodates a 5-foot wide meandering sidewalk. Low-growing groundcovers, with lawns at entry areas, will be planted in this area. The Olympic Parkway Master Plan design will be implemented as approved. Other perimeter landscape areas will consist of berms, tree groves and shrub masses to provide a buffer between the street and adjacent residential development. The landscaping and berms will screen the perimeter walls that provide noise attenuation and privacy for the village residential neighborhoods. Tree planting at the SDG&E/SDCWA easement may be limited as required by the utility companies.

#### **EastLake Parkway**

The Eastlake Parkway streetscape provides for a 75-foot (average measured from face of curb) landscape area consisting of street trees, shrubs and groundcovers, and a 5-foot wide meandering sidewalk. The interior portions of the parkway shall consist of plantings of tall-growing trees to provide screening and soften architectural forms. The FC and EUC developments on the west side of EastLake Parkway in Planning Area 12 have the potential to generate noise and lighting that may intrude on the Village Eleven residential areas. Tall trees will provide some screening of lights and masonry walls will help alleviate noise. Most of the village development is near the same grade as the street from the north to the southern edge of the mixed-use site. The residential neighborhood and the junior high school to the south are above the street grade so view fencing may be used in those areas. The slopes at the junior high school will be planted with varied-height trees and shrubs to modulate the manufactured appearance of the slope.

### **Hunte Parkway**

The section of Hunte Parkway adjacent to Salt Creek requires special streetscape design. For consistency with the natural landscape, and to capitalize on scenic views, the streetscape planting will be visually and horticulturally compatible with the Salt Creek native plant habitat. A transition planting area will be adjacent to the roadway, and shall consist primarily of low-growing groundcovers and shrubs complementary to the native hillside plant community. The manufactured slope will be planted with native species that are compatible with those within the Salt Creek preserve. On the Village Eleven side of Hunte Parkway, the 75-foot (average measured from the face of curb) landscape parkway will be landscaped with ranch-theme trees, groundcovers and shrubs. Tree planting will be in natural rather than formal patterns. Tree planting locations will be designed to frame and enhance views from the village towards the preserve and distant mountains. This parkway planting will be implemented on both sides of the street in the area west of the SDG&E/SDCWA easement. The majority of Village Eleven is near the same elevation as the street, with the exception of the junior high school and adjacent residential neighborhood, which are at a higher elevation. These areas are proposed for view fencing and the remaining area will require noise attenuation and privacy walls. Shrubs and vines will be used to soften the appearance of the walls. Pedestrian and bicycle paths on Hunte Parkway will consist of 8 to 10-foot wide trails on the south/east sides of the street and on the north side of the street within the Village Greenway. Concrete, 5-foot wide sidewalks will be located on the west side of Hunte Parkway between Olympic Parkway and the Village Greenway. Descriptions of the trails are included in Section II.4.2.5 Pedestrian, Bicycle and Cart Paths. Figures II.4.2.3-2 and 3 illustrate Olympic, EastLake and Hunte Parkways streetscapes.

### **Village Entry Streets**

Village Entry Streets form the gateway into the village and introduce the village theme, identity and character. Entry streets provide a transition from the prime arterials/major roads to the village. Formal plantings of street trees on each side of the roadway and in the 16-foot wide median will create a tree lined setting reminiscent of some of the older more established areas of San Diego. They will be highlighted through the use of canopy shade trees within the turf-lined parkways, and tall palm trees within the median island areas.

The Village Entry Street from Eastlake Parkway (the extension of Birch Road) design includes a landscaped median and a 16-foot wide village pathway located on the north side of the street. This urban setting provides for wide sidewalks with street trees planted in tree wells. Additional enhancements, such as bicycle racks and benches will be incorporated into the design.

The Village Entry Streets from Olympic Parkway are proposed for one travel lane in each direction separated by a landscaped median. Tree-lined sidewalks will be separated from the street by landscaped Figure II.4.2.3-4 illustrates Village Entry Streets.

### **Secondary Village Entry Streets With Medians**

Secondary Village Entry Streets are designed to create semi-formal entries that transition to village circulation streets. These streets provide the internal continuity for creating the village design theme. Monument signs, walls, seating areas and lighting will carry out the design theme. The secondary village monument features will be located at the village perimeter. Landscaping in these areas will include accent trees planted in 10-foot wide medians. Each secondary street will use a single species of canopy tree to provide village identity. These theme street trees will be planted on both sides of the sidewalk, approximately 25 to 40 apart (depending on the species), to define and shade the pedestrian space. Figure II.4.2.3-5 illustrates Secondary Village Entry Streets with Medians.

### **Residential Promenade Streets**

The Residential Promenade Streets serve as collector streets in the village. These streets provide two travel lanes and parking is allowed on both sides of the streets. Promenade streets are also a primary pedestrian link through the village, so they are landscaped with trees on each side of a sidewalk, as illustrated in Figure II.4.2.3-6.

### **Village Core Promenade Streets**

Village Core Promenade Streets are located in the heart of the village and are designed to promote an urban village and pedestrian orientation. Parking is permitted on one or both sides of the village core street. Village Core Promenade Streets create an urban atmosphere with an active and colorful ambiance. Where restaurants and stores front these streets, sidewalks are wider the landscape parkway is designed as an “urban promenade,” a 16-foot wide curb to building area that to accommodate window shopping, outdoor dining opportunities and similar activities and will utilize tree wells. Figure II.4.2.3-7 illustrates Village Core Promenade streets.

### **Village Core Streets**

Village Core Streets are located in the heart of the village and are designed to promote an urban village and pedestrian orientation concept. The Village Core Streets are designed for a high level of activity, including outdoor dining, window shopping and strolling. Village Core Streets require wider walkways and more pedestrian amenities, such as pedestrian-scale lighting, seating and trash containers. The landscape theme of village core streets will complement the liveliness of the core with colorful planting, accent and shade trees. To help neutralize the presence of the automobile, canopy and accent trees will be planted along the street within planters in special focal areas. Figure II.4.2.3-8 illustrates Village Core Streets.

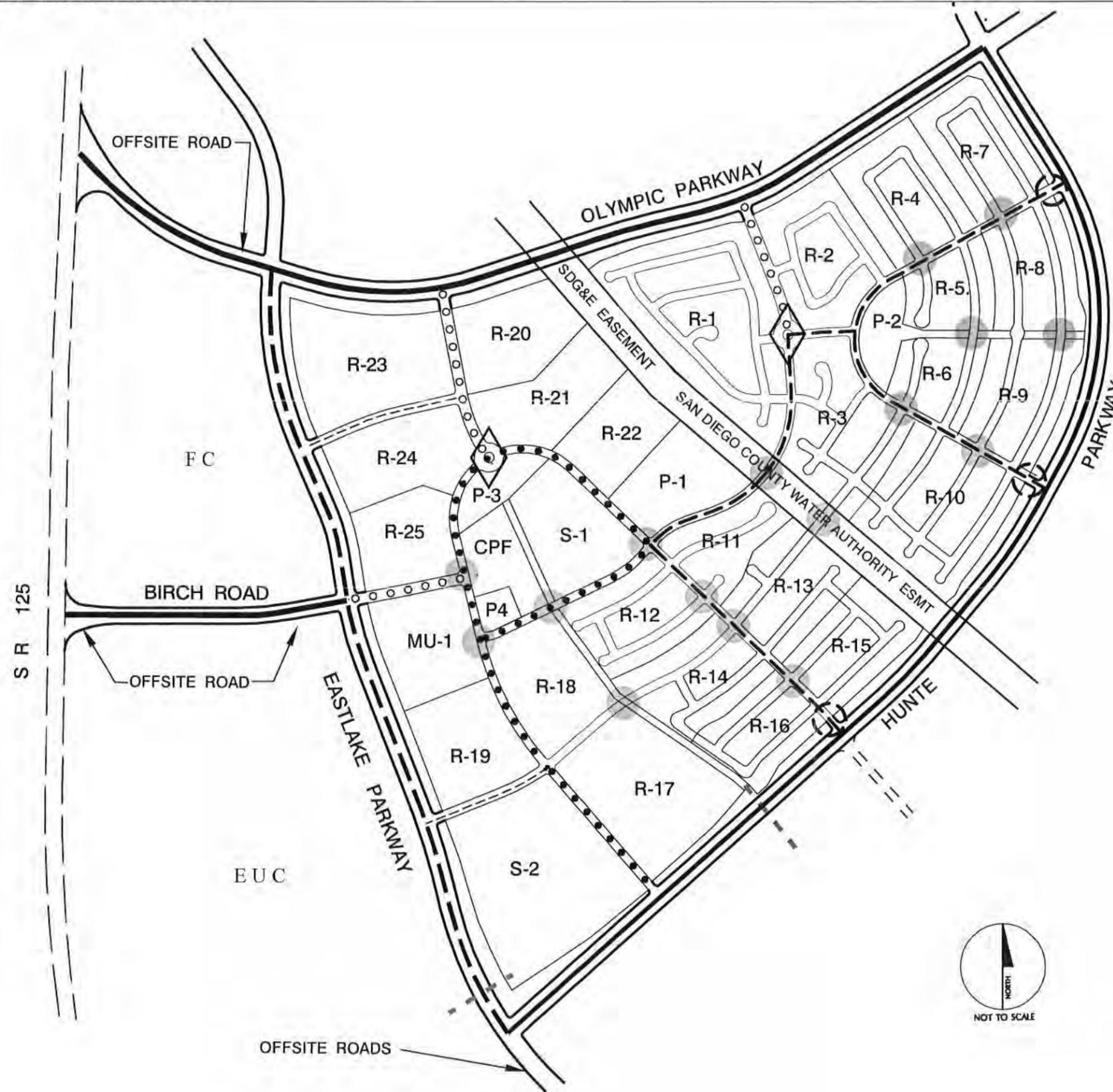
### **Residential Streets**

Residential streetscapes provide an opportunity to enhance the pedestrian-orientation of the village and define individual neighborhoods. Village theme elements will include pedestrian scale lighting and may include neighborhood monument signs. The preferred Residential Street design provides a parkway between the street and sidewalk to enhance pedestrian comfort. Lawn or low groundcovers and shade trees will be planted in the parkway. The scale of trees should be appropriate to the neighborhood scale. In denser, multi-family development, the trees may be taller and narrower. In single family neighborhoods, broader canopy trees may be used, however, the tree canopy width should complement the depth of front yards. Depending on the species, trees should be spaced between 25 to 50 feet apart. A minimum of one street tree per single family lot will be provided. Residential Streets are illustrated in Figure II.4.2.3-9.

### **Traffic Calming Elements**

Roundabouts, traffic circles and neckdowns are proposed to facilitate calmed traffic flow and to enhance the pedestrian orientation of the village. These elements provide an opportunity to create landscape accents and promote village identity. Landscape in these elements may include accent trees (subject to allowable sight lines) and shrubs, seasonal flowering plants, ornamental street lighting and public art. Pavement enhancement, such as interlocking pavers, may be incorporated into the design subject to approval by the City. Figures II.4.2.3-10, 11 and 12 illustrate traffic calming elements.

Roundabouts are located at two primary intersections of the village to create focal points and to facilitate traffic flow. The locations of the traffic calming circles would be at regularly distanced intersections, creating a rhythm in both traffic flow and neighborhood aesthetics. Curb extensions project out to the edge of the travel lane, creating a sense of side friction or roadway narrowing which slows traffic. Curb extensions at intersections provide pedestrians with a safety island and shorten the roadway crossing distance. "Neckdowns" are curb extensions located mid-block that can also be used at pedestrian crossings or simply to slow traffic in long, unobstructed road sections where traffic speed tends to increase. All traffic calming elements will be designed to accommodate emergency vehicles and are subject to City approval.



LEGEND

- SR125
- 6 LANE PRIME ARTERIAL
- 6 LANE MAJOR STREET
- VILLAGE ENTRY STREET
- ROUNDABOUT LOCATION
- SECONDARY VILLAGE ENTRY STREET W/ MEDIANS
- PROPOSED NECKDOWN LOCATION
- RESIDENTIAL PROMENADE STREET
- VILLAGE CORE PROMENADE STREET
- VILLAGE CORE STREET
- PROPOSED PEDESTRIAN BRIDGE
- RESIDENTIAL STREET

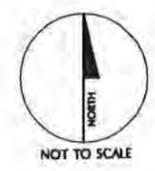
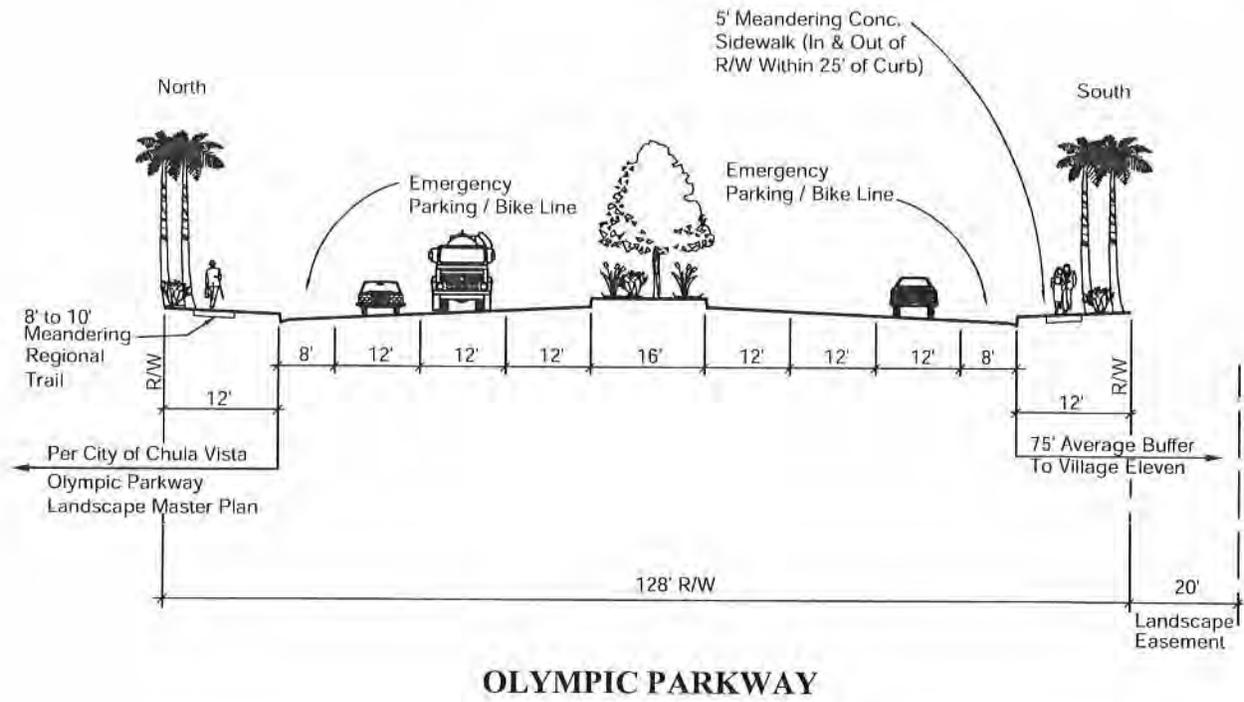
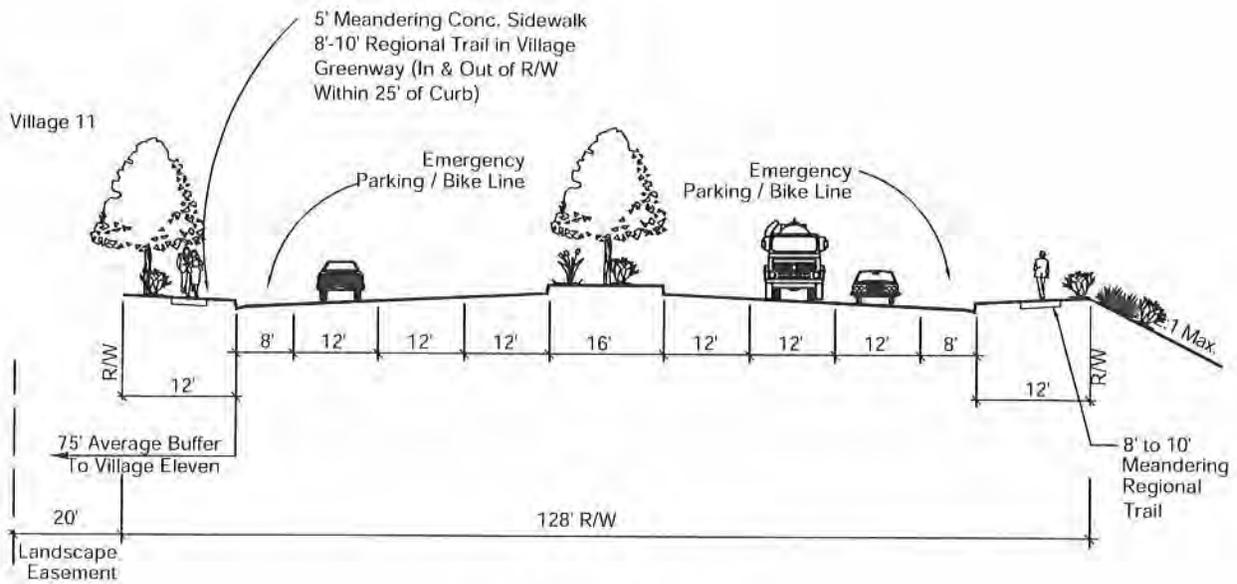


Exhibit II.4.2.3-1  
Circulation Plan

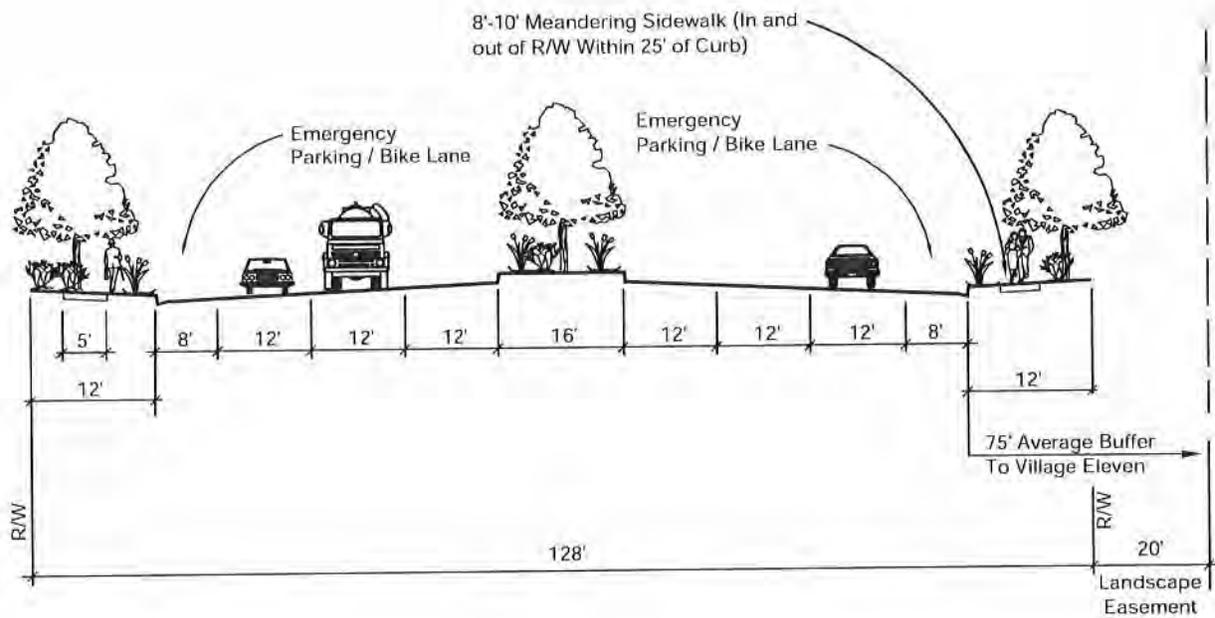


OLYMPIC PARKWAY



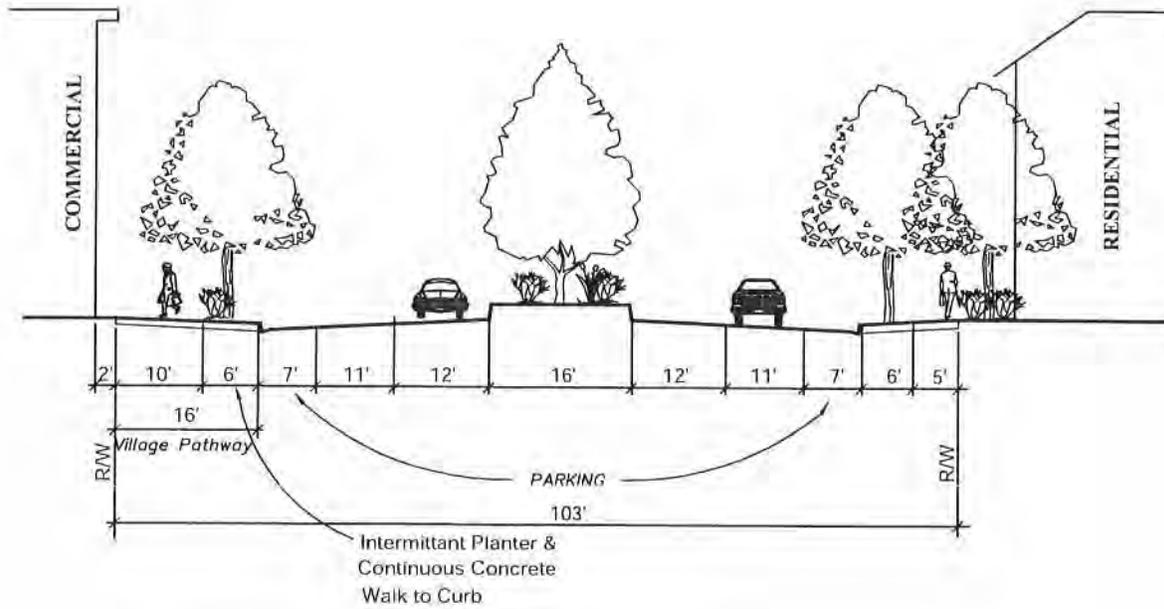
HUNTE PARKWAY

Figure II.4.2.3-2  
Prime Arterials

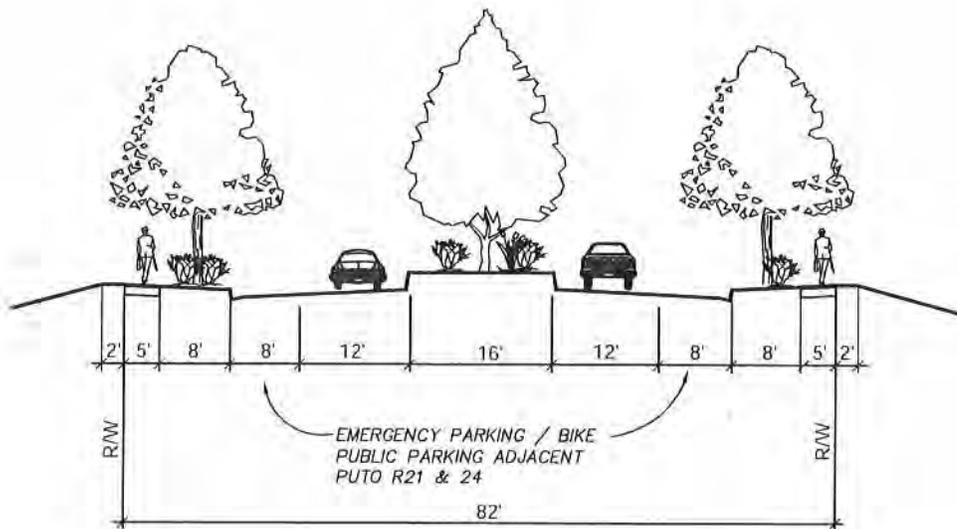


**EASTLAKE PARKWAY**

Figure II.4.2.3-3  
6 Lane Major Street

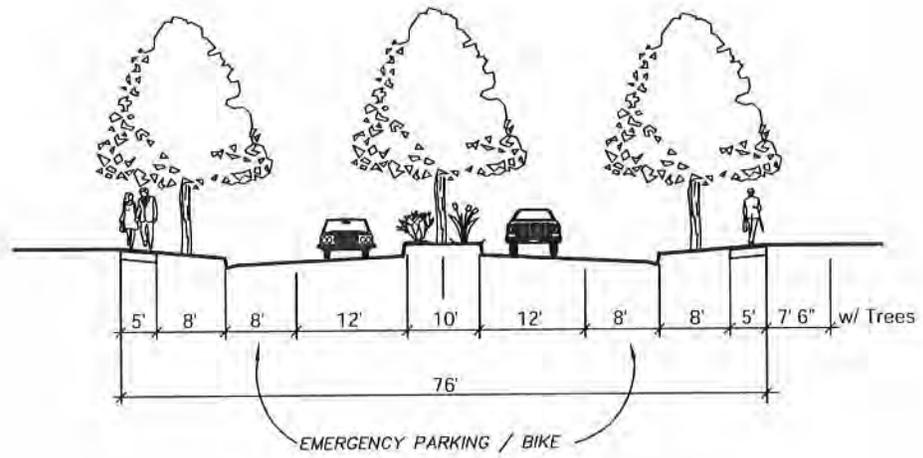


**BIRCH ROAD ENTRY**



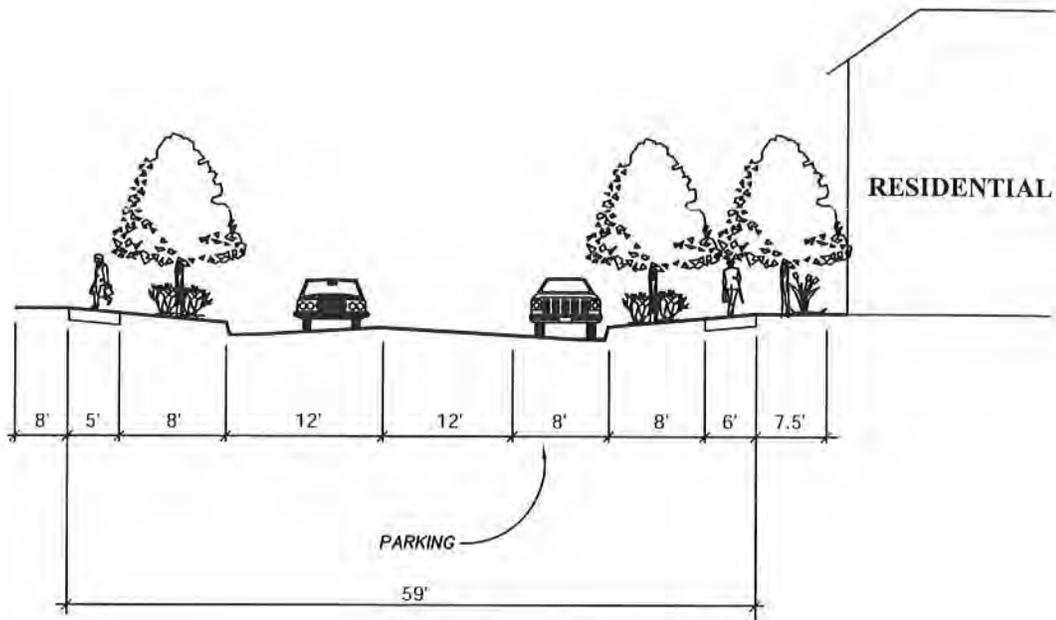
**ENTRIES FROM OLYMPIC PARKWAY**

Figure II.4.2.3-4  
Village Entry Streets



**SECONDARY VILLAGE ENTRY STREET  
WITH MEDIAN**

Figure II.4.2.3-5  
Secondary Village Entry Streets With Medians



**RESIDENTIAL PROMENADE STREET**

**Figure II.4.2.3-6  
Residential Promenade Streets**

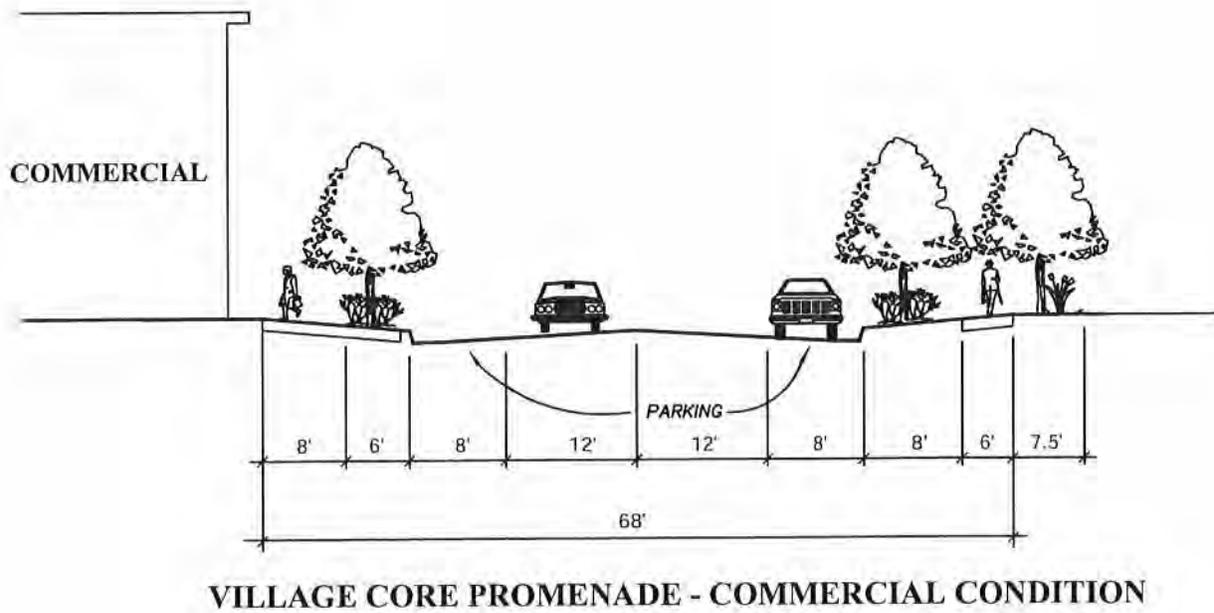
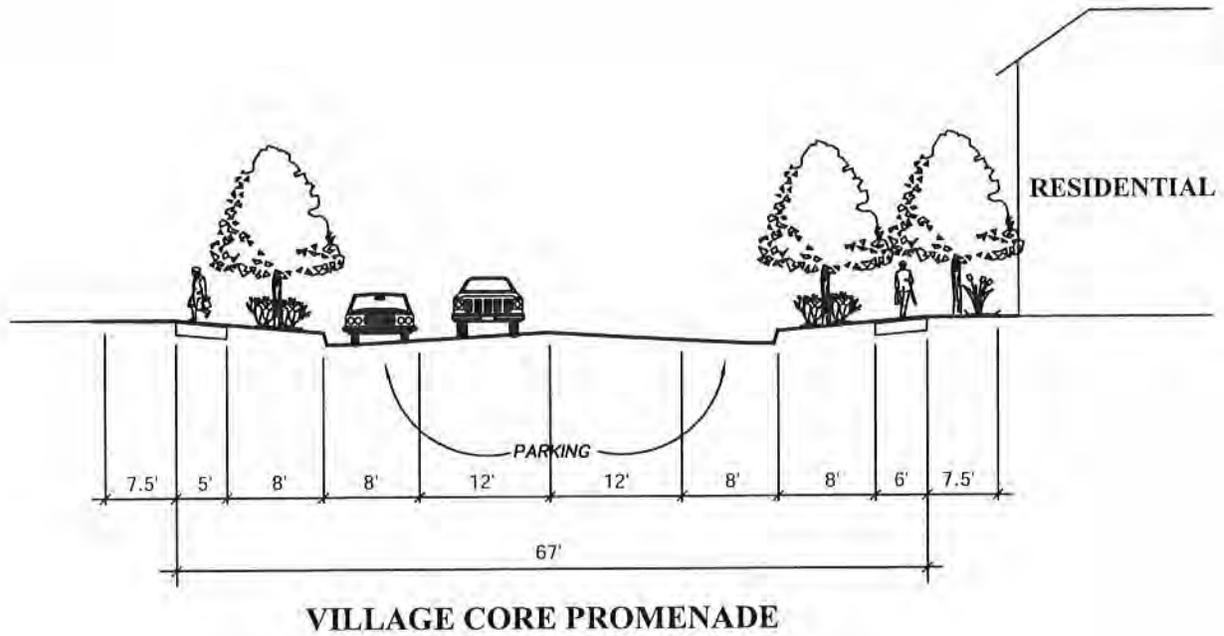
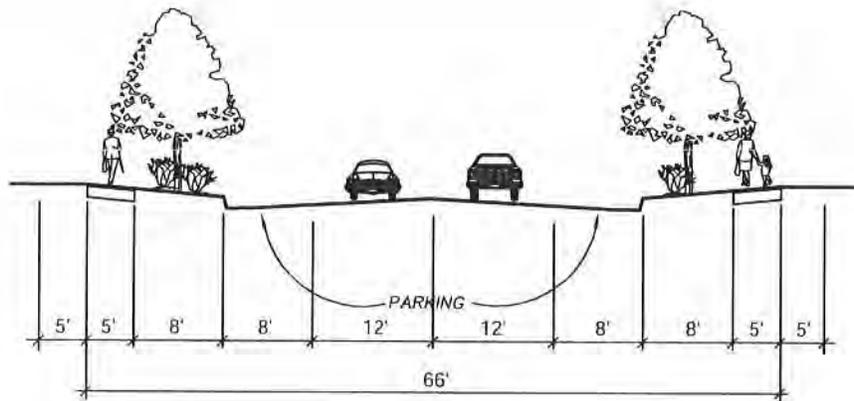
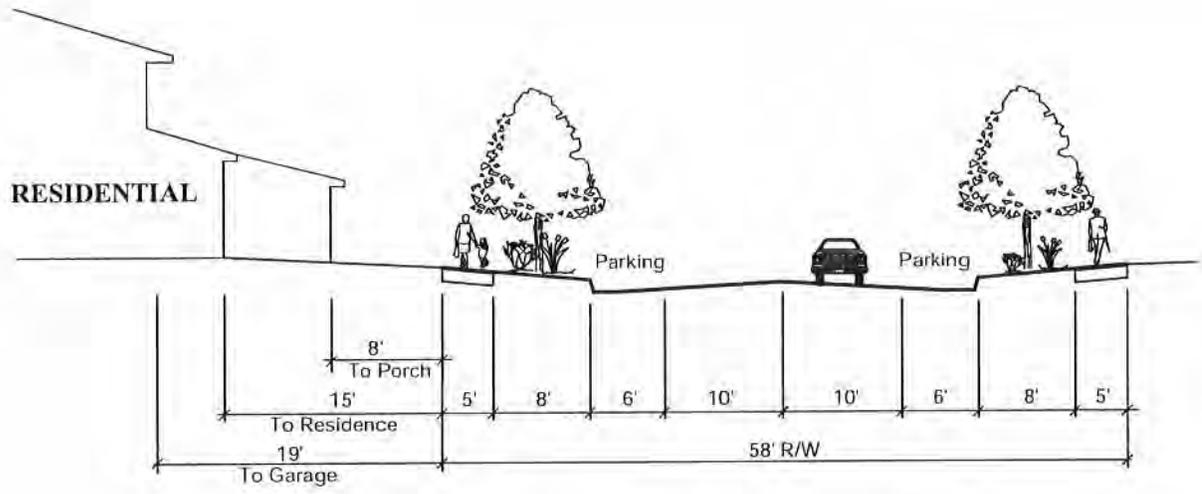


Figure II.4.2.3-7  
Village Core Promenade Streets

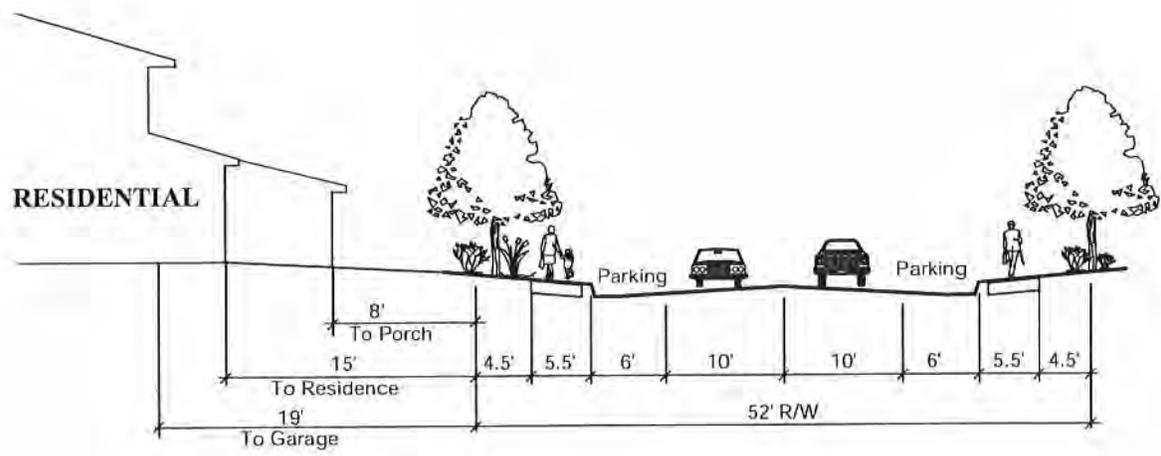


VILLAGE CORE STREETS

Figure II.4.2.3-8  
Village Core Streets



**PREFERRED RESIDENTIAL STREETS**



**ALTERNATE RESIDENTIAL STREETS**

Figure II.4.2.3-9  
Residential Streets

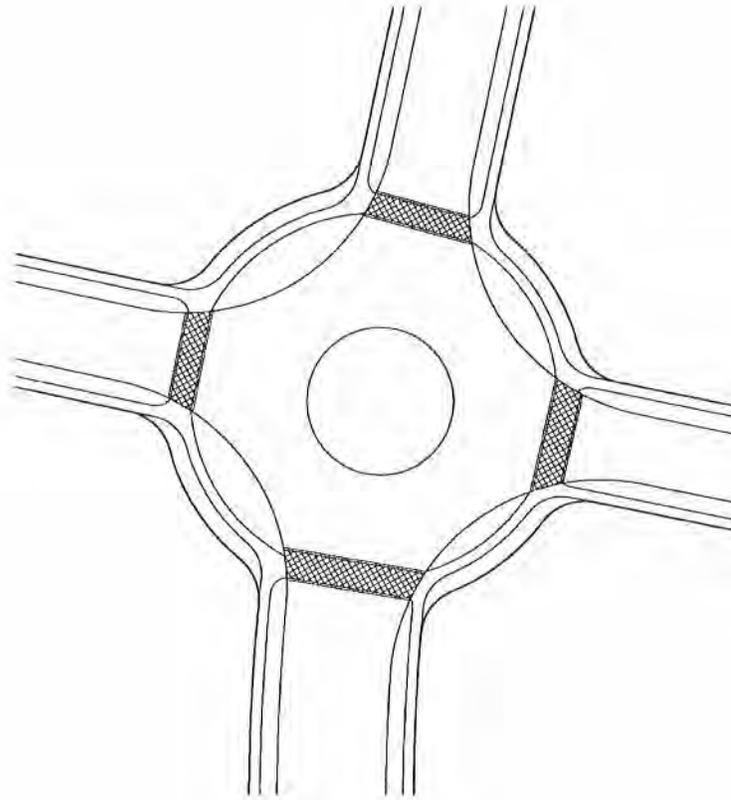
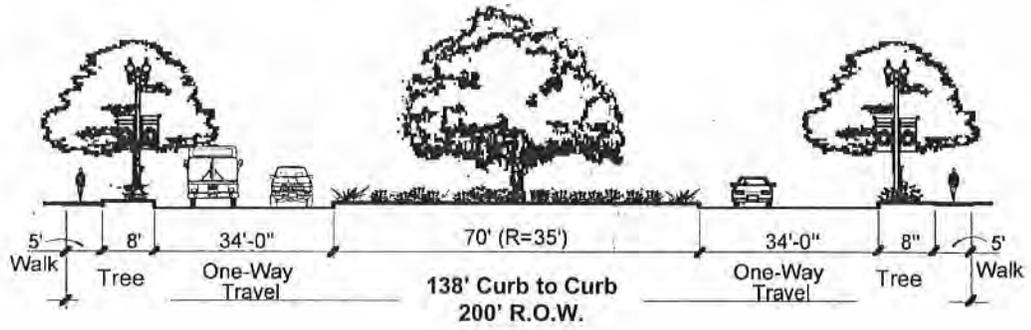


Figure II.4.2.3-10  
Roundabouts

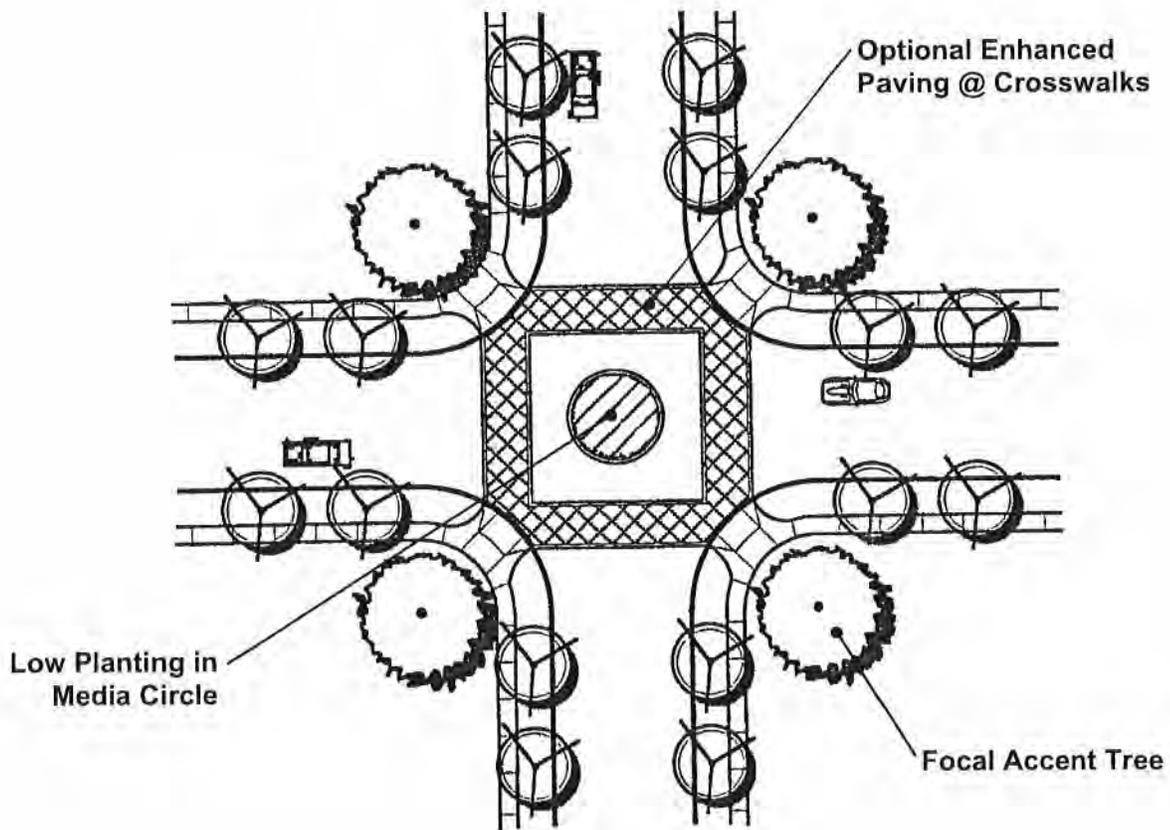


Figure II.4.2.3-11  
Traffic Circles

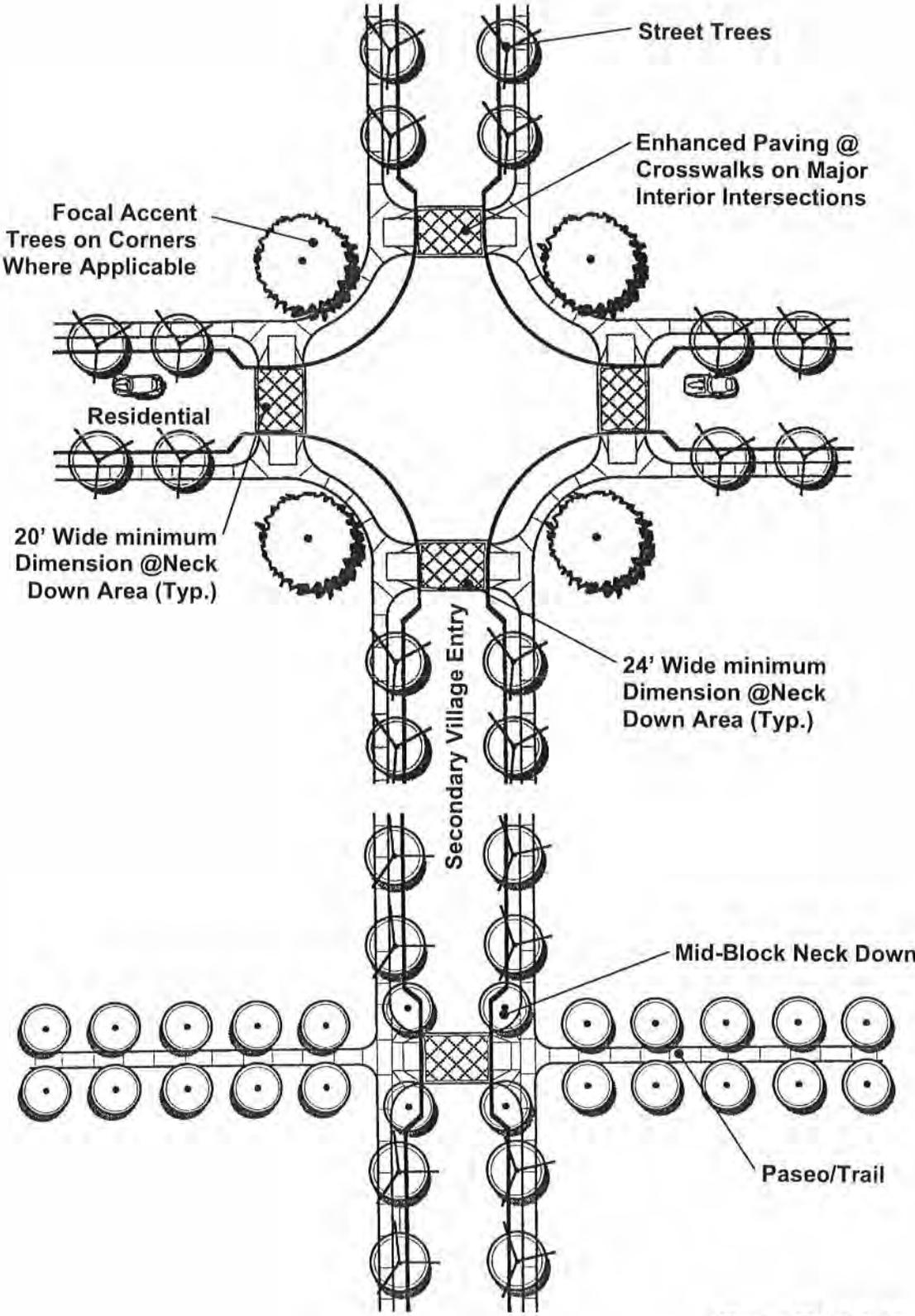


Figure II.4.2.3-12  
Neckdowns

#### II.4.2.4 Parks & Private Recreation Facilities

Village Eleven contains a public neighborhood park, a privately owned town square park and two private recreation facilities. These parks and recreation facilities have been located to create focal points in the village and to be accessible to all villagers. As focal points, they will provide aesthetic elements and contribute to village identity and they will function as meeting places for villagers seeking both passive and active recreational opportunities. To promote park and recreational facility access, paseos traverse neighborhoods and terminate at the facilities. Figure II.4.2.4-1 illustrates the locations of parks, recreation facilities, paseos and trails in the village.

The design of the parks and private recreation facilities will incorporate the Irving Gill-inspired design theme. The theme will be used in the design of buildings, plazas, shade structures, seating and picnic areas. Furnishings such as fountains, benches, fencing and lighting will also adhere to the village design theme. Landscaping will use trees to create accent and focal points as well as shade. Lawns will be used to create multi-use play and picnic areas. Masses of shrubs and ground covers will be used in place of lawns, where appropriate, to lower irrigation and maintenance costs. Parks and private recreation facilities will be designed in compliance with the City Design Manual and Landscape Manual. City-owned parks will be designed in compliance with the City's standards and guidelines for public parks.

#### Town Square

The one-acre privately owned town square (P-4), located in the village core, serves as the main village focal point and reflects the pedestrian design and urban character of the village. Envisioned as a traditional, formally designed park, it will provide opportunities for passive recreation, community events, and opportunities for public art. The design of the town square should reflect its importance in the village. A strong design element, such as a structure or fountain, will be the focal point of the town square. That element will be designed in the Irving Gill-inspired village design theme. Shade and accent trees, shrubs, vines and groundcovers should create a setting for the focal point and support the design theme. A conceptual plan for the town square is illustrated in Figure II.4.2.4-2.

#### Neighborhood Park

The 7-acre public neighborhood park (P-1), located in the village core adjacent to the elementary school, will provide active and passive recreational opportunities for village residents. The park is centrally located in the village to provide convenient access to village residents. The location of the neighborhood park between the SDG&E easement and the elementary school optimizes vistas and spaciousness in the village. This setting also minimizes the negative affects of play field lights, noise and traffic on nearby residential neighborhoods. Park amenities may include a multi-purpose open lawn, lighted ball fields and sport courts, picnic shelters, tot lot and a restroom facility and/or maintenance building.

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lighted ball fields and sport courts, picnic shelters, tot lot and a restroom facility and/or maintenance building.

The design of the park will place the main entry close to the center of the village core. A restroom or maintenance building will be sited to create an entry and focal point. A parking lot may be located near the entry and parking on surrounding streets will also serve the park. Picnic and play areas and court sports will also be located near the entry. The larger play fields will occupy the major area of the park and abut the SDG&E/SDCWA easement. The park may be accessed from the east by a trail crossing the easement. Figure II.4.2.4-3 illustrates a conceptual design of the park.

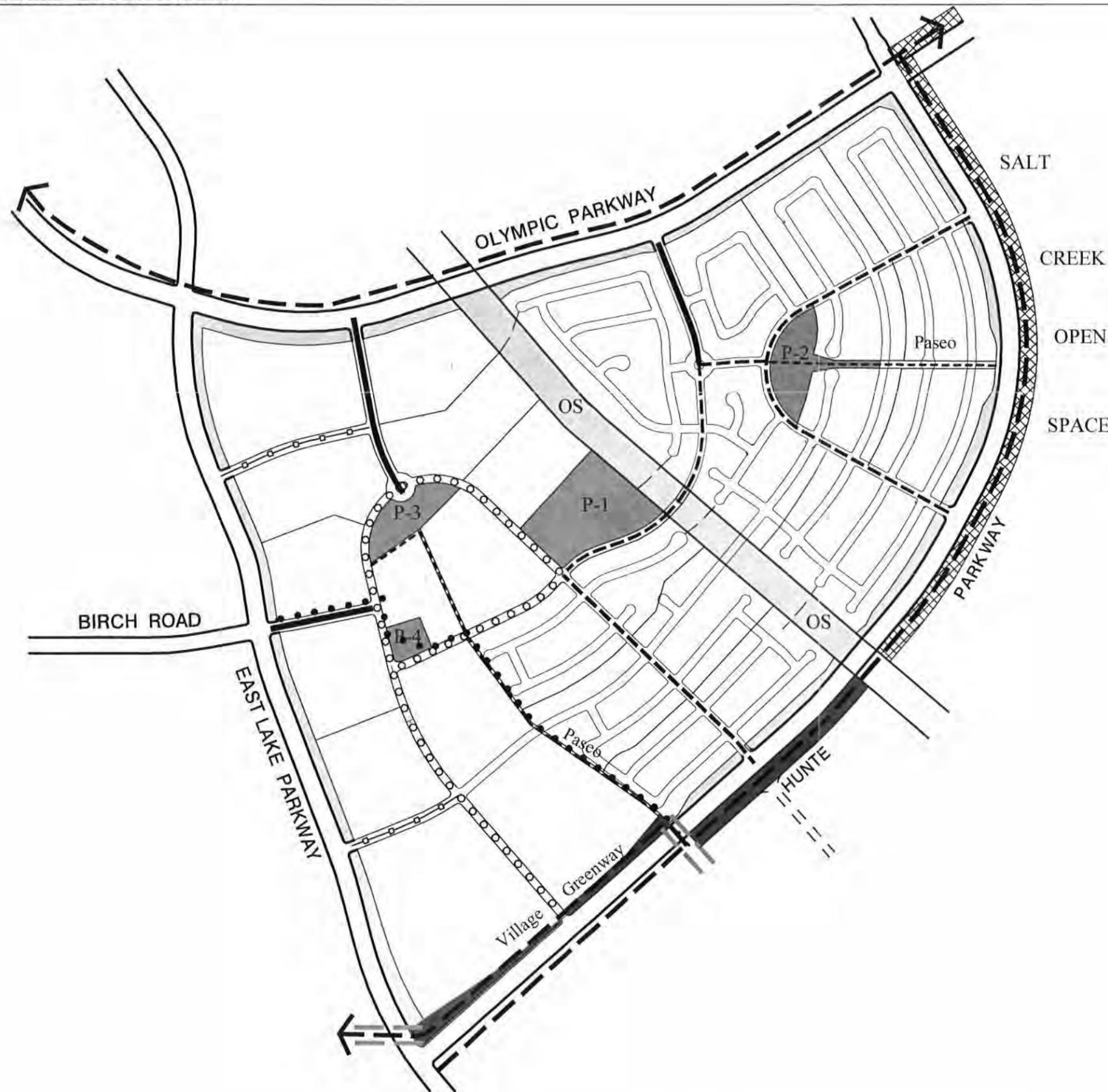
#### **Village Core Private Recreation Facility**

Open space within the village includes a private recreation facility (P-3) located at a primary entry to create a focal point in the village core. A paseo connects the facility to the residential neighborhoods. The central location provides a variety of recreational opportunities within walking distance of residences. Recreational facilities in the village core park will augment the limited size and passive nature of recreational spaces within multi-family residential development. The park will provide open lawn, seating and picnic areas, and tot lots. Some facilities, such as community buildings and swimming pools, will be gated and available to members of the homeowners association. A conceptual plan for the site is illustrated in Figure II.4.2.4-4.

#### **Eastern Village Private Recreation Facility**

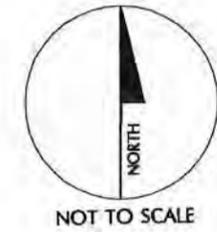
Village open space includes a private recreation facility (P-2) to provide active and passive recreation within walking distance of residences in the eastern portion of the village. The facility is sited to be visible from neighborhood entries and to serve as a focal point for the eastern neighborhoods. The facility is linked to the neighborhoods by a paseo, creating an extended linear park for surrounding neighborhoods. The eastern recreational facility will provide family-oriented recreational in close proximity to neighborhoods. It will include multi-use lawn and picnic areas, seating and tot lots. A gated homeowner's association facility, including a community building and swimming pool, will be included in the design. A conceptual plan for the site is illustrated in Figure II.4.2.4-5.





**LEGEND**

	Regional Trail
	Village Entry Street
	Paseos
	Potential Trails
	Village Pathway
	Village Core Promenade Street
	Village Core Street
	Residential Promenade Street
	Village Residential Street
	Village Greenway
	Chula Vista Greenbelt
	P Park / Recreation facility
	OS Open Space
	Proposed Pedestrian Bridge



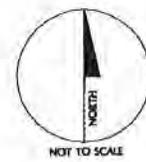
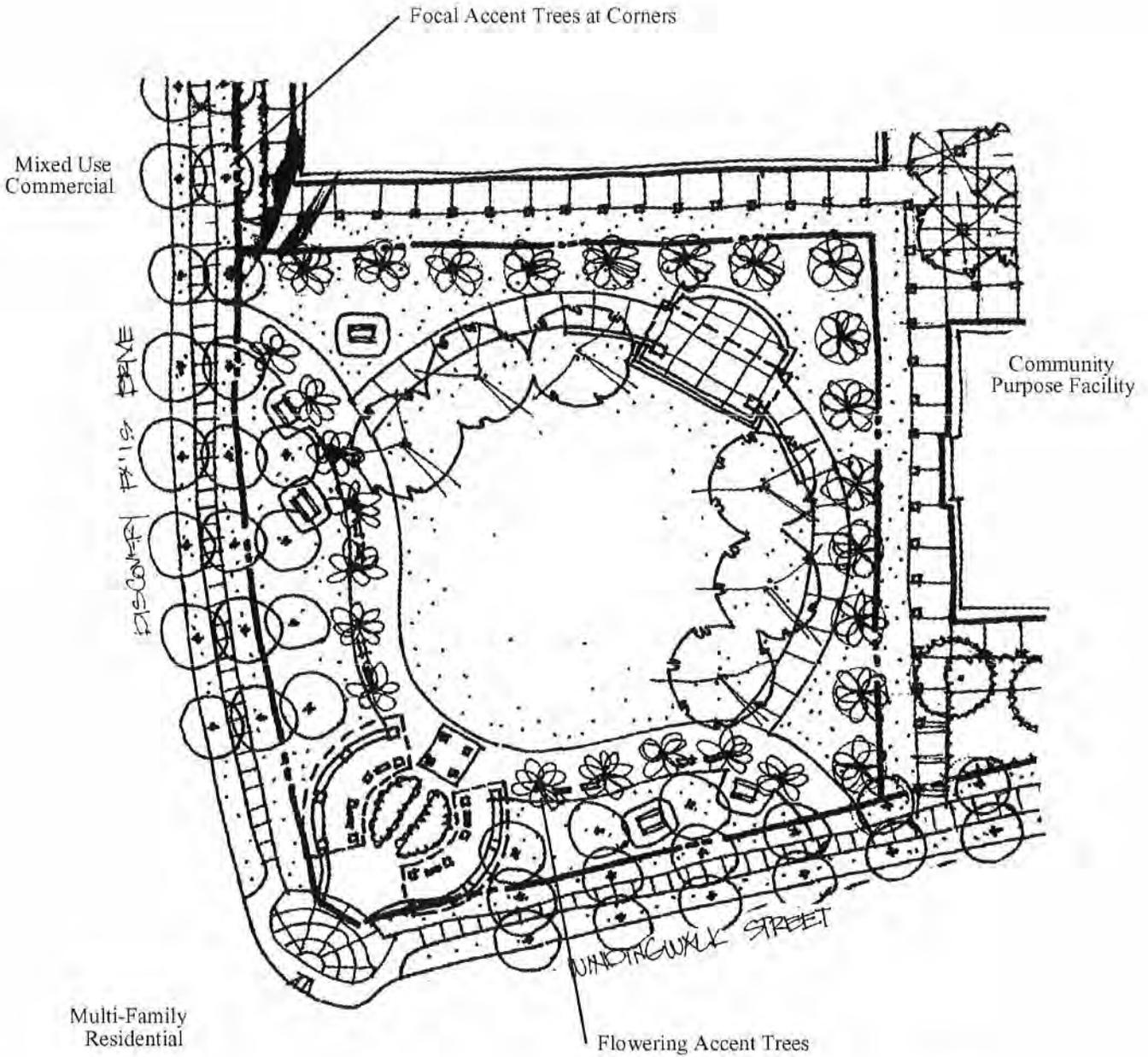
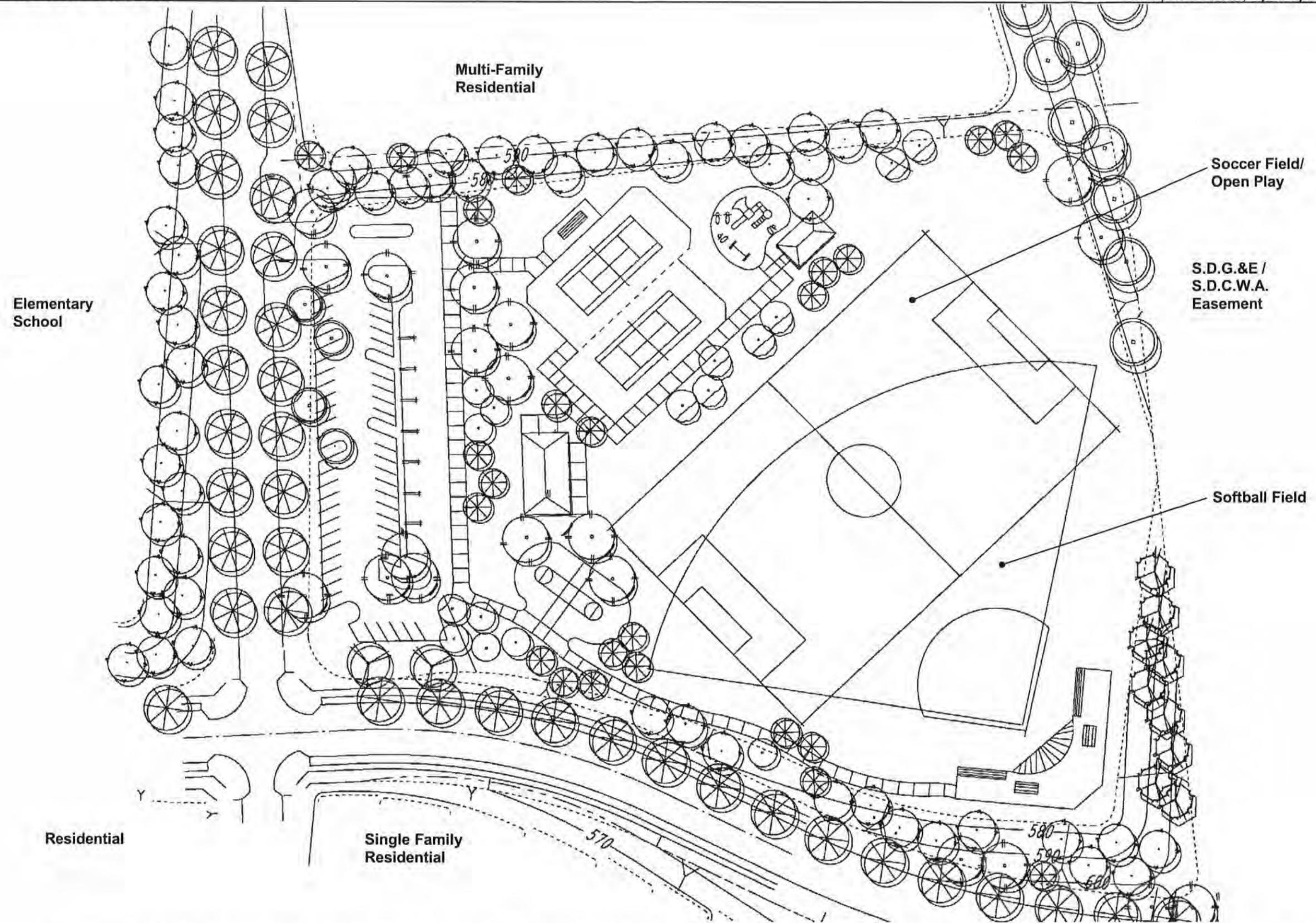
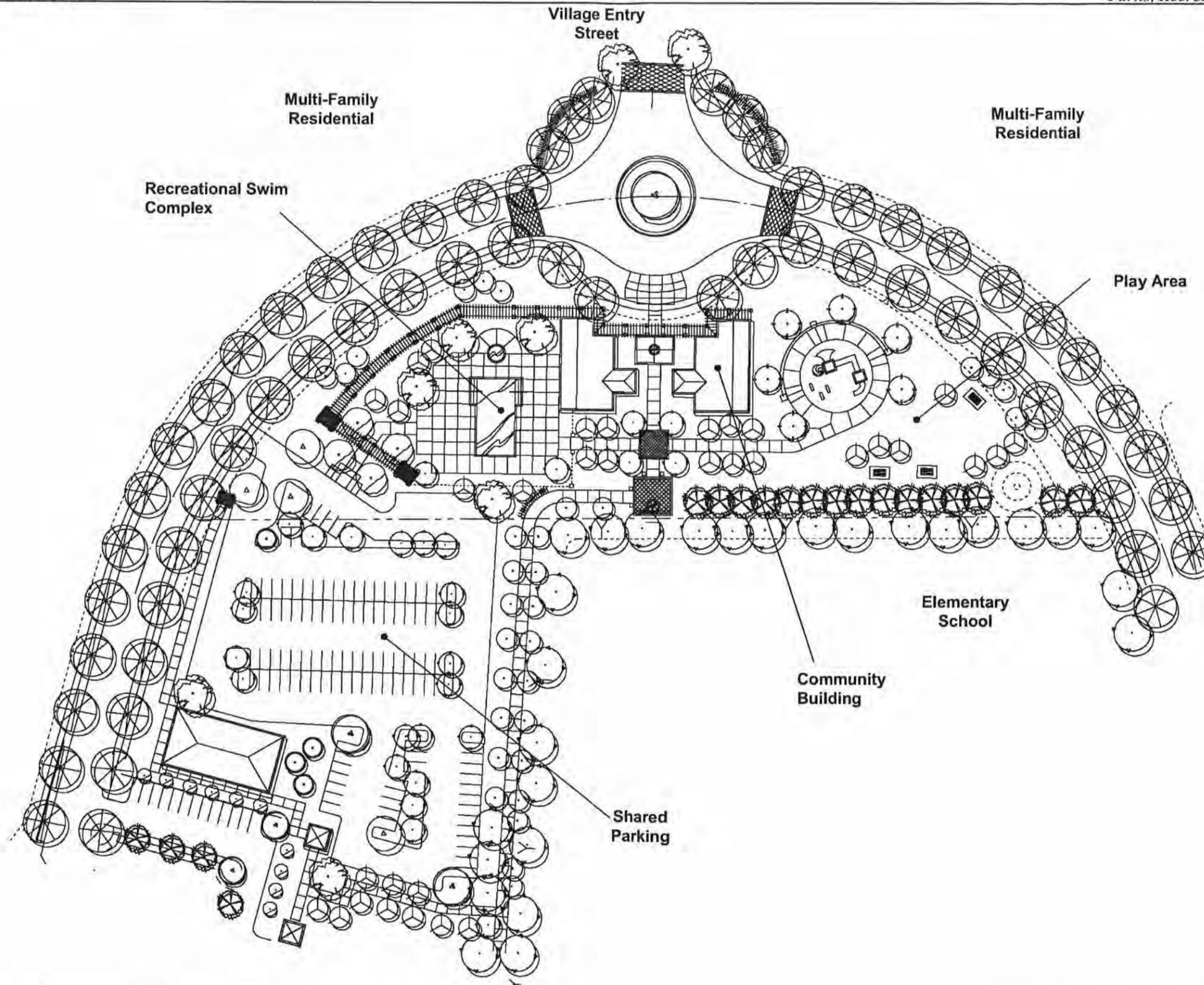


Figure II.4.2.4-2  
Town Square (P-4) Concept Plan



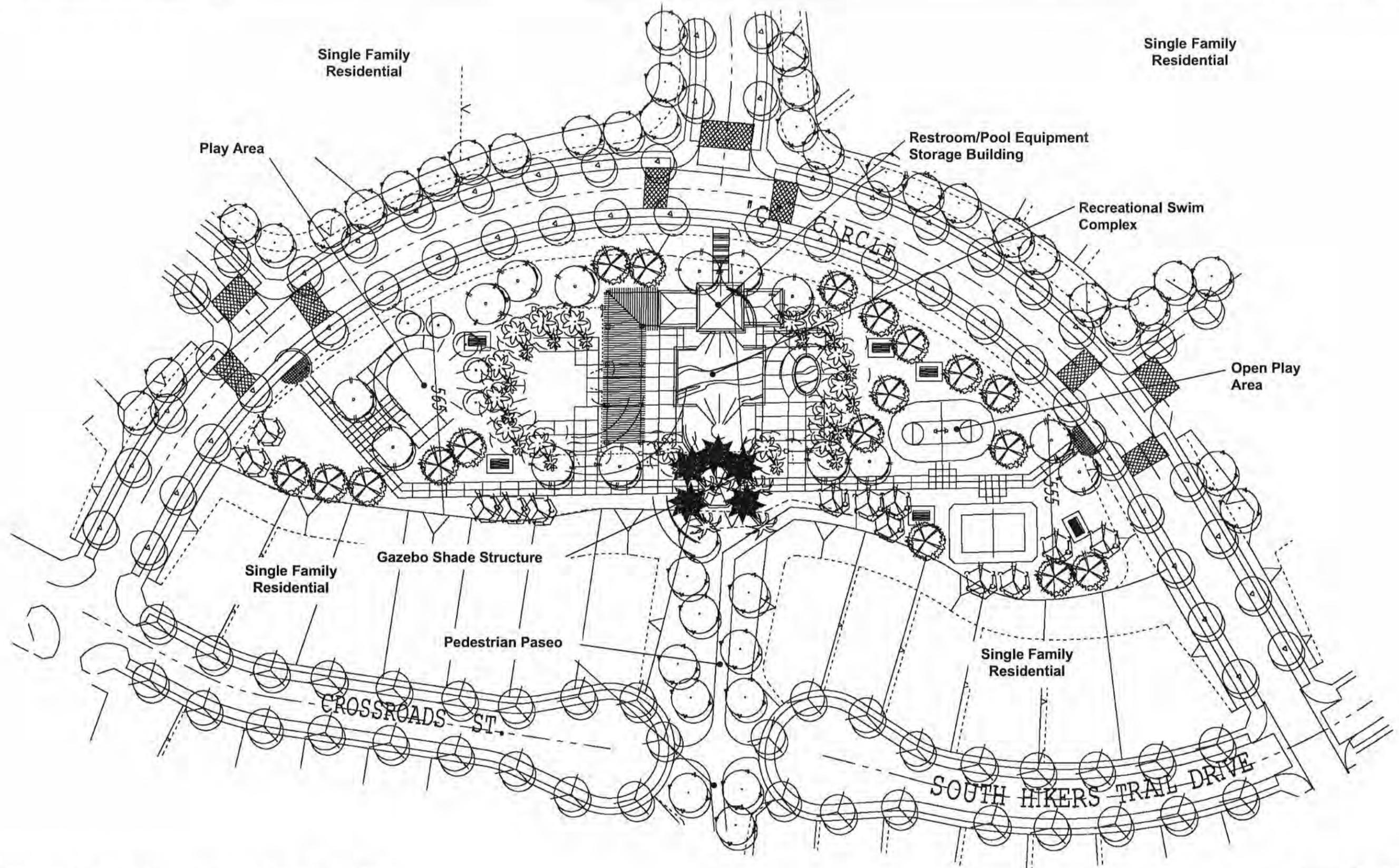
This concept plan is an illustrative example of the neighborhood park. Development of the park is subject to further discretionary review and approval of a specific Park Master Plan. Actual site development may vary from concepts depicted in this exhibit.

Figure II.4.2.4-3  
Public Neighborhood Park (P-1) Concept Plan



This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Figure II.4.2.4-4  
Village Core Private Pedestrian Park (P-3) Concept Plan



This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Figure II.4.2.4-5  
Eastern Village Private Pedestrian Park (P-2) Concept Plan

#### **II.4.2.5 Pedestrian, Bicycle and Cart Paths**

A well-designed pedestrian circulation system is a fundamental component of the village concept. Section II.4.2.3, Streetscapes, describes and illustrates the community trails located on the three major perimeter streets and the pedestrian paths located along all village streets. Additional non-automotive travel-ways in Village Eleven include Regional Trails, the Village Greenway, Village Pathway, paseos and trails that provide an alternative to sidewalks along streets.

##### **Regional Trails**

Regional trails are located on the north side of Olympic Parkway and on the south/east side of Hunte Parkway. The trail adjacent to Salt Creek is also within the Chula Vista Greenbelt, a city-wide open space system. Regional Trails are typically 8 to 10-foot wide decomposed granite paths.

##### **Village Greenway**

The Village Greenway is a regional, 200-foot wide (average) landscaped open space with trails connecting through Otay Ranch. In this area of Otay Ranch, the Village Greenway provides a connection between the Salt Creek open space to the east and Planning Area 12 (EUC) to the west. The Village Greenway is located along the southern edge of Village Eleven between EastLake Parkway and the western village paseo. The Greenway is proposed to cross Hunte Parkway via a pedestrian bridge and continue on the south side of Hunte Parkway to the SDG&E/SDCWA easement. A pedestrian bridge crossing EastLake Parkway is also proposed. The trail within the Greenway is typically an 8 to 10-foot wide path.

##### **Village Pathway**

Village Pathways provide connections between Otay Ranch Villages and access to transit centers. The Village Pathway in Village Eleven connects Planning Area 12 to the University Site. The Village Pathway consists of a widened sidewalk along Birch Road that connects to the paseo in the Village Core and extends south to the Village Greenway along Hunte Parkway.

##### **Paseos**

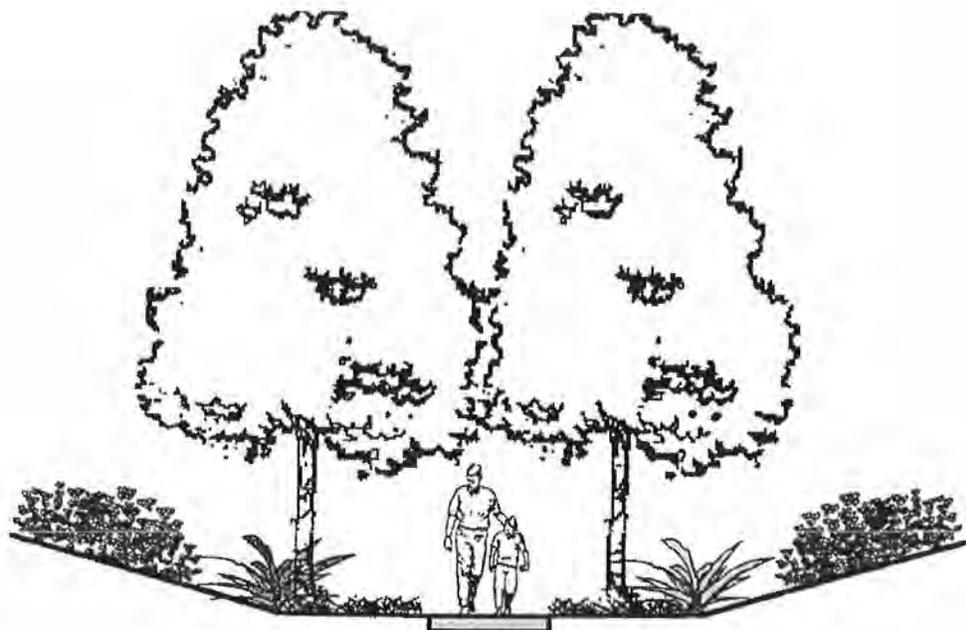
Two paseos are located in Village Eleven. The design and location of the paseos are components in the overall land use and circulation pattern. That overall pattern is a symmetrical grid that creates regularly sized residential neighborhoods defined by streets and paseos. The paseos are central elements in both the east and west areas of the village. Their locations purposefully interrupt the street system to minimize through

traffic in neighborhoods. The residential streets terminate as open cul-de-sacs at the paseos. The paseos create linear greenbelts with view opportunities through the sloping topography of the village. They extend between the private recreation facilities and Hunte Parkway, connecting the centers of the village to the sidewalks along Hunte. The paseos provide an important off-street connection to the recreation facilities and elementary school for most residents of the village.

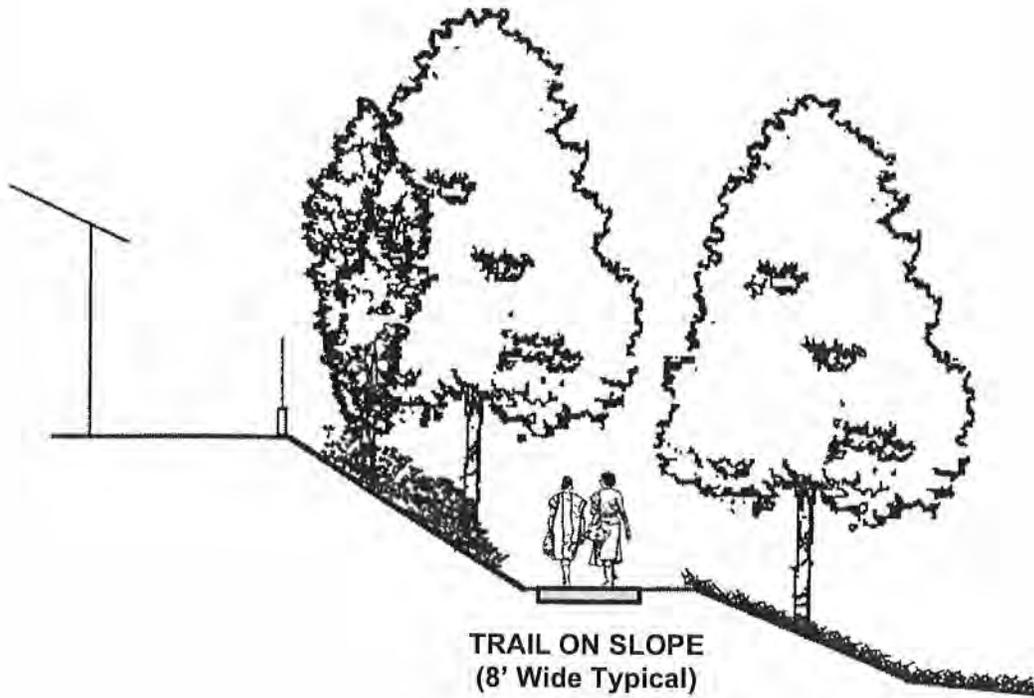
The design of the paseos will provide an 8 to 10-foot wide concrete sidewalk. The pedestrian experience will be enhanced with shade trees, lighting and benches. The landscape design will create an enjoyable walking experience. The design will also promote safety by creating clear views and minimizing hidden areas. Paseos and off-street trails have been designed to be accessible, however, the steep topography necessitates some ramps and stairs may be required where slopes cannot be avoided.

### **Trails**

Rustic trails are proposed to be located within the SDG&E/SDCWA easement. Trails crossing the easement would provide connections between neighborhoods in the eastern part of the village and the village core. The proposed trail design would be an 8-foot wide decomposed granite path. Shade trees, shrubs and groundcovers would enhance the trail. Landscaping within the easement is limited by power lines, accessibility and maintenance required by the utility companies. The location and design of the trails must be by approval of SDG&E and SDCWA. Paseos and trails are illustrated in Figure II.4.2.5-1.



MEANDERING PASEO TRAIL  
(8' Wide Typical)



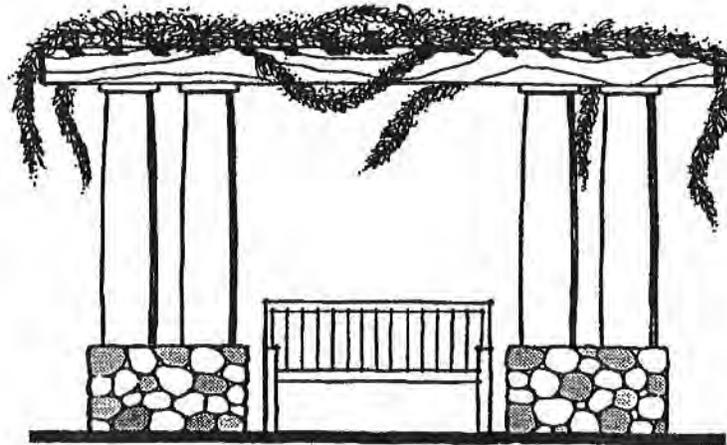
TRAIL ON SLOPE  
(8' Wide Typical)

Figure II.4.2.5-1  
Paseos and Trails

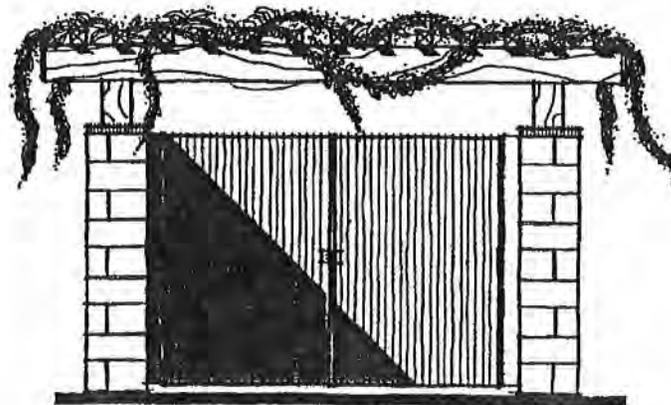
### II.4.2.6 Street Furnishings

Street furnishings make an important contribution to the pedestrian-oriented village. Some furnishings, such as lighting, are necessary simply to use the outdoor space. Other furnishings, such as benches and trash receptacles, are enhancements that encourage people to walk and use the outdoor spaces.

All street furnishings in the village will be designed or selected to promote the village design theme and will be used consistently throughout the village. Transit shelters, trash enclosures, and special features, such as fountains, will be designed similarly to the village monument features. Lighting, benches, bicycle racks, trash receptacles and tree grates will be selected to be compatible with the theme. The design of street furnishings shall comply with the requirements of the City of Chula Department of Public Works and Chula Vista Transit. Figures II.4.2.6-1 and 2 illustrate street furnishings.



TRANSIT SHELTER



TRASH ENCLOSURE

Figure II.4.2.6-1  
Conceptual Street Furnishing Designs

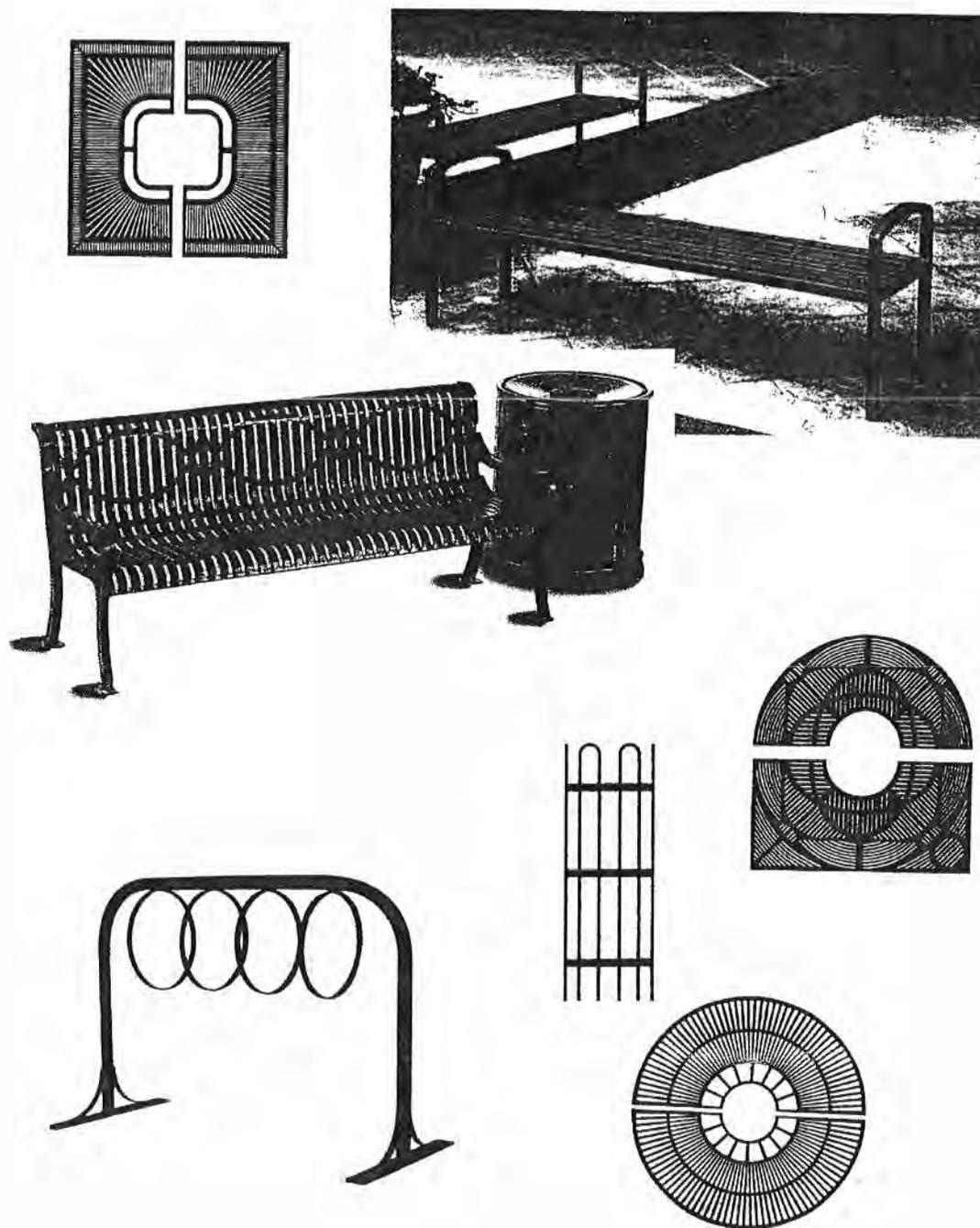


Figure II.4.2.6-2  
Conceptual Street Furnishing Styles

**II.4.2.7 Lighting**

The Village Eleven lighting plan must provide adequate lighting levels for the safety and comfort of the vehicular and pedestrian travel. Specialty lighting provides an aesthetic element in the village when used with thought and discretion. Lighting that will occur in the village includes major street and residential street lighting, pedestrian-scaled lighting, sign, and accent lighting. The 7-acre neighborhood park and junior high school may include play field lighting. Figure II.4.2.6-1 illustrates a lighting style appropriate to the village design theme. The following guidelines should be followed in the provision of lighting:

- All lighting shall conform to City standards or an approved theme lighting program, and shall be approved by the City Engineer.
- Lighting plans shall be prepared for mixed-use/commercial, community facilities, schools and recreation areas and are subject to Site Plan Review. Any such lighting, which will illuminate a residential area past the hour of 10:00 p.m., shall be clearly identified on the lighting plan.
- Lighting shall provide a safe and desirable level of illumination for both motorists and pedestrians.
- Lighting shall be directed, or shielded if necessary, to avoid intrusion into residential neighborhoods and the Salt Creek habitat.
- Lighting shall be attractive and suitable to the design theme of Village Eleven
- Lighting shall be manufactured of high quality materials that are visually compatible with design elements, such as street furniture and architecture.
- Specialty street lights may be provided by the San Diego Gas and Electric Company. The preferred design is an acorn style lamp on top of a simulated concrete pole. Specialty lighting shall be maintained by a Community Facilities District or a Homeowner's Association.
- A hierarchy of lighting levels and lighting fixtures will be used for street lights. Village entry and core streets will use taller and brighter fixtures. Residential street lighting will be smaller scale with lower lighting levels.
- Specialty lighting along pedestrian corridors shall be spaced for human scale. Examples are low pole lighting, bollard lighting, and ground-level lighting.
- Accent lighting may be used on all permanent monument or project signs and may consist of uplights, downlights, spotlights, pole lights, bollards, or bar lights.
- Accent lighting is allowed for focal features, such as fountains, trees, overhead structures, or other elements that would provide an aesthetic or safety benefit.
- Accent lighting should be limited to focal points. Subtle lighting should take precedence and over-lighting should be avoided.
- Play field lights, if provided, should provide adequate illumination directed to the play area and shielded from intruding into residential areas.

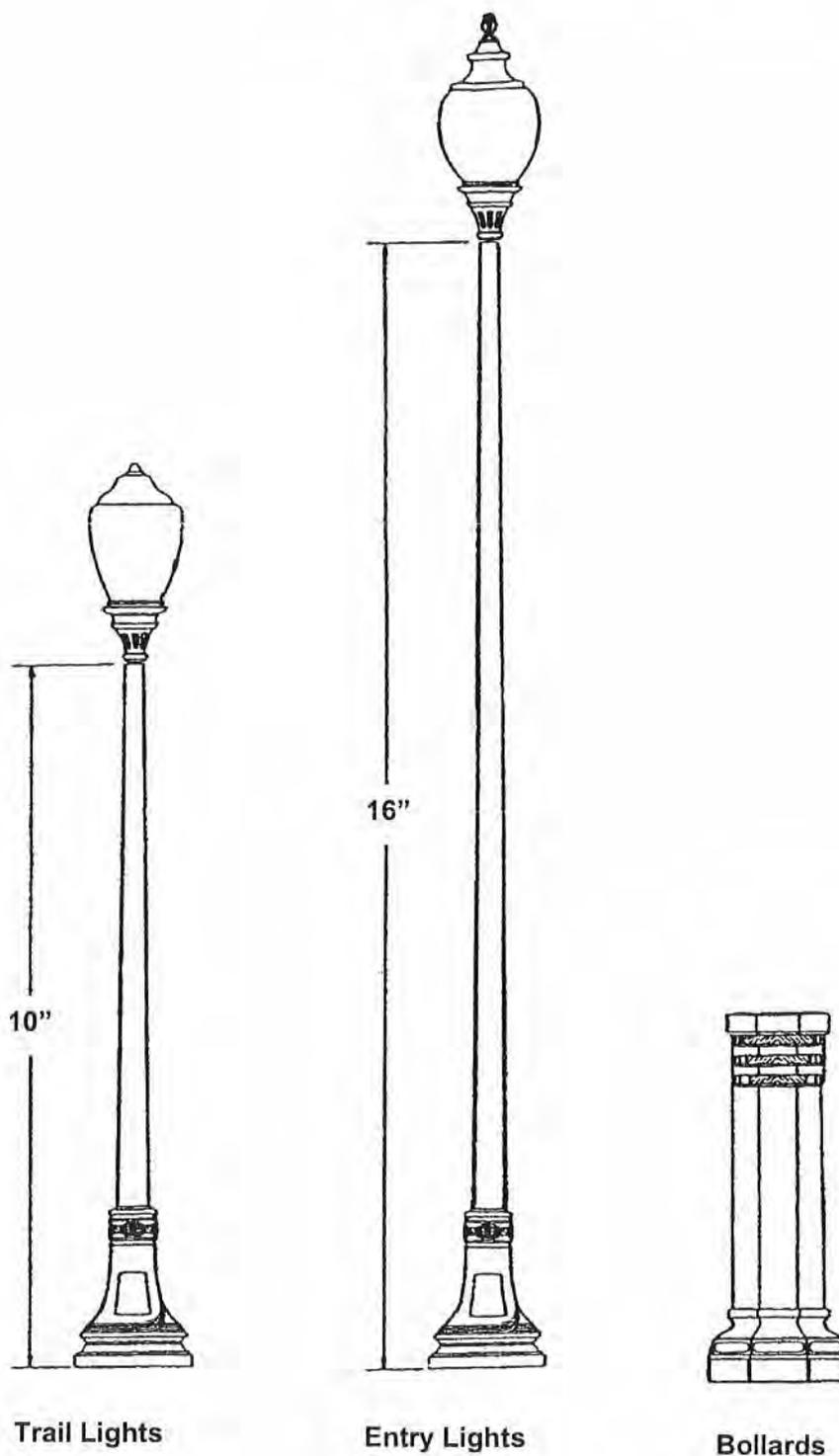


Figure II.4.2.6-1  
Conceptual Specialty Lighting Styles

#### **II.4.2.8 Walls and Fencing**

Walls and fencing in Village Eleven will be designed as a community identity element that enhances the design theme of the village and unifies the various architectural styles within individual neighborhoods. The primary functions of walls and fencing are to provide security, privacy and noise attenuation. The functional aspects of walls and fencing should be minimized through aesthetically pleasing design and landscape. Openings in fences and walls will be provided to allow pedestrian, bicycle and cart access to paseos and trails. The location and design of noise attenuation walls shall comply with subsequent acoustical analysis studies prepared by the developer and approved by the City. Graffiti control finishes shall be applied as required by the City. A conceptual plan for the location of various types of walls and fencing is illustrated in Figure II.4.2.8-1 and descriptions and illustrations of various types of fencing follow.

##### **Perimeter Walls and Fencing**

Perimeter walls and fencing, in conjunction with entry monuments, provide the first character images of Village Eleven. The design theme of the village is expressed through the use of stone pilasters and masonry walls. View fencing will be used wherever noise attenuation or visual screening are not needed to create an open, welcoming image. The precise type of fencing will be determined when final grading and acoustical studies have been completed. The exact materials shall be selected concurrent with development of the Project Landscape Master Plan. Perimeter walls and fencing are illustrated in Figure II.4.2.8-2.

##### **Production Walls and Fencing**

Production walls and fencing integrate the village design theme on prominent interior streets. Their design will include masonry pilasters and walls for noise attenuation and privacy, and tubular metal for view fencing. Walls and fencing which are interior to the neighborhoods may use similar or compatible materials and styles appropriate to the project. Figure II.4.2.8-3 illustrates production walls and fencing

##### **Wood Fencing**

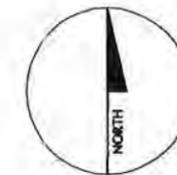
Single family residential neighborhoods may use wood fencing for interior side yards and rear yards. This type of fencing is not intended to be viewed from public streets. Connections between residential side yard wood fencing and interior village production walls shall be sensitively designed to minimize views of the wood fencing. This can be achieved through landscaping, extension of the production wall forward of the wood fencing or other side yard embellishments.

**Multi-family Residential Walls and Fencing**

Fencing for town home and multi-family projects shall be compatible in design to the production walls and fencing and residential wood fencing. The style and materials of walls and fencing will be determined through site plan review. Walls and fencing shall be designed and located according to the following guidelines:

- Walls shall be made of a textured surface material that is compatible with the village design theme.
- The monotony of a long wall shall be broken by visual relief through periodically recessing the wall, constructing pilasters, or off-setting the fence line.
- Landscaping, such as trees, shrubs or vines shall be used to soften the appearance of the wall.
- Sound wall fencing shall be used to mitigate adverse noise impacts on residential units.
- Walls that serve as a subdivision exterior boundary shall be up to six feet in height from the highest finished grade.
- Walls used as rear or side yard walls shall be constructed up to six feet in height depending upon the conditions that exist.
- Combined solid wall and open view fencing may be used to create interest. Masonry walls are required only where necessary for noise attenuation and privacy.
- Graffiti control finishes shall be applied where appropriate.



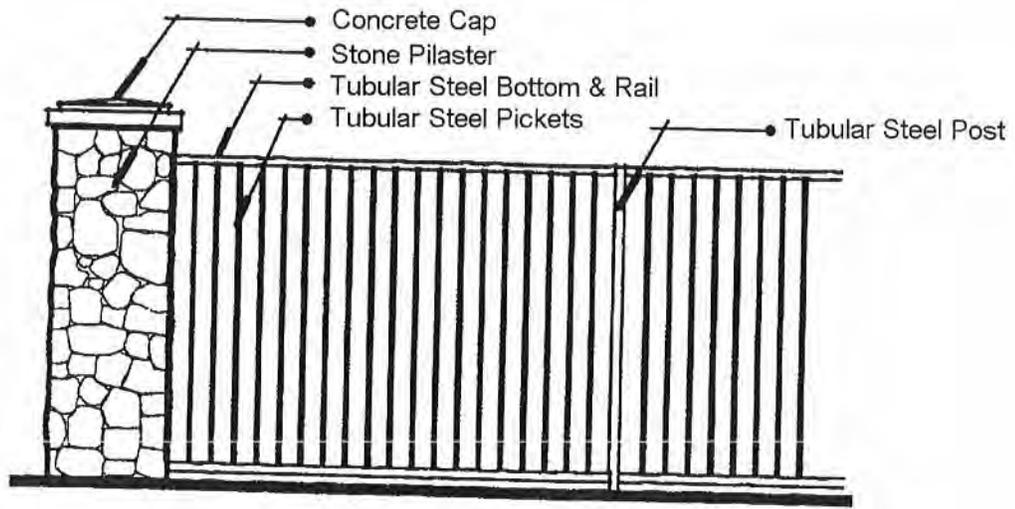


NOTE:  
PERIMETER WALLS MAY CHANGE  
PENDING ON THE RESULTS OF  
SOUND REPORT

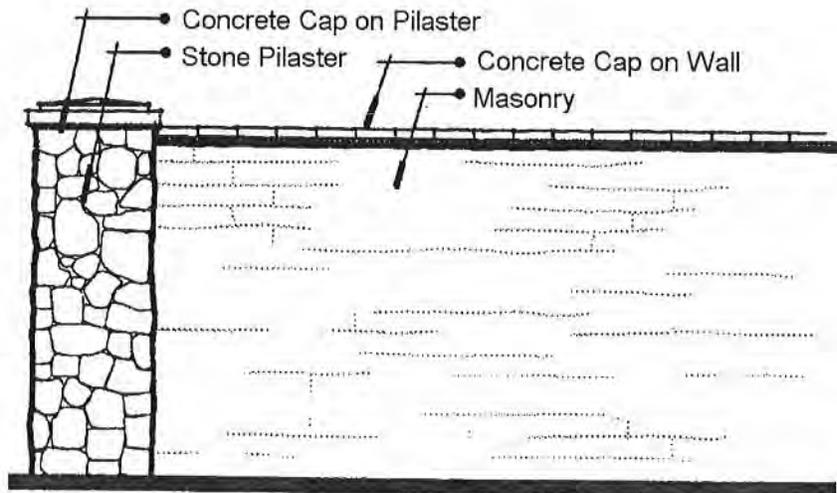
FENCE & WALL LEGEND

- PERIMETER THEME WALL/VIEW FENCE
- INTERIOR PRODUCTION WALL/VIEW FENCE

Exhibit II.4.2.8-1  
Walls and Fencing Concept Plan



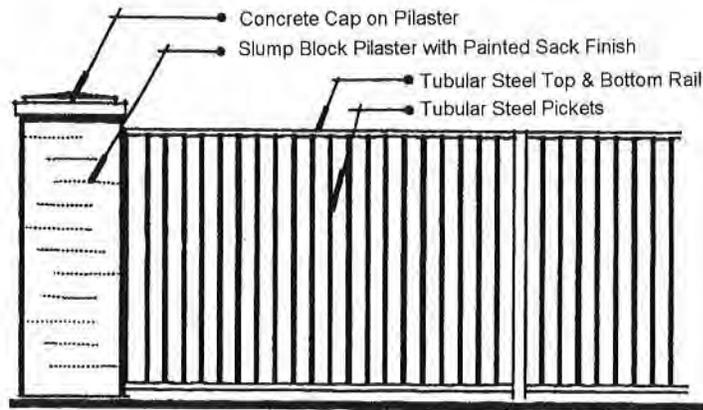
Perimeter View Fence



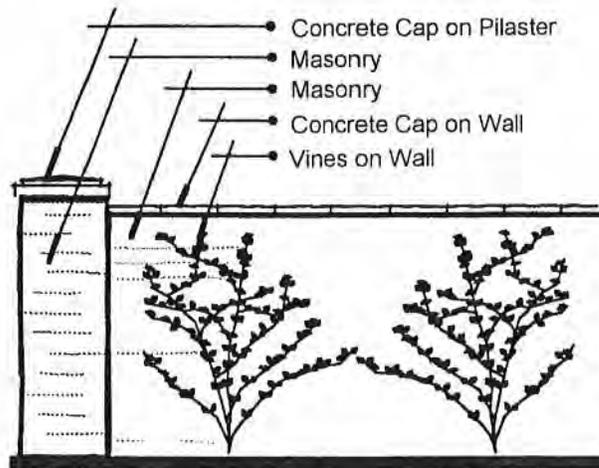
Perimeter Them Wall

All fences and walls to be 6' high.  
Concrete cap on pilaster up to 6' 9" high.

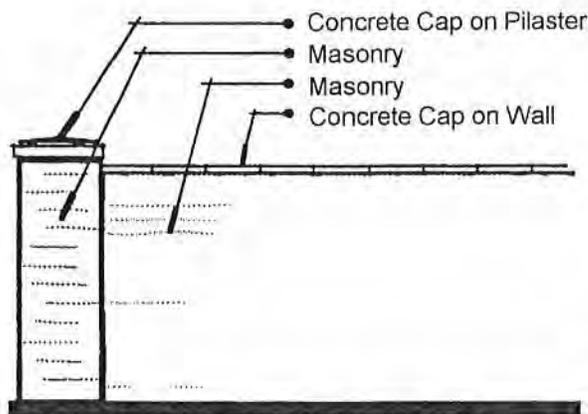
Figure II.4.2.8-2  
Perimeter Walls and Fencing Concept



**Production View Fence  
Interior Top of Slopes View**



**Interior Production Wall**

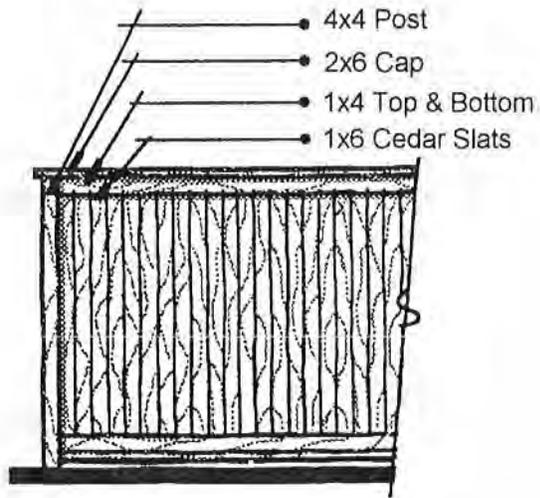


**Interior Production Wall**

**All fences and walls  
to be 6' high.**

**Concrete cap on  
pilaster up to 6' 9"  
high.**

**Figure II.4.2.8-3  
Production Walls and Fencing Concept**



- Between Lots
- Non-Visible Conditions

All fences are to be 6' high.

Figure II.4.2.8-4  
Wood Rear and Side Yard Fencing Concept

**II.4.2.9 Art and Cultural Facilities**

Opportunities for art and cultural facilities in Village Eleven are provided in both public and private spaces. Public spaces that may accommodate art and performances include the town square and neighborhood park. The traffic roundabouts and traffic calming circles are also potential locations for public art. Public-sponsored art programs are coordinated by the City's Office of Cultural Affairs.

Private spaces that may incorporate public art and performances include the community purpose facility, private pedestrian parks/community buildings and the mixed use commercial area.

**II.4.2.10 Accessibility**

Public and private developments within Village Eleven shall strive to be accessible to persons with disabilities as prescribed by the Title 25 and Americans with Disabilities Act (ADA) requirements. The steep topography in some areas of the village require street sidewalk gradients to exceed ADA standards and some ramps and stairs may be required in paseos where slopes cannot be avoided.

### **II.4.3 Village Core Design**

### **II.4.3 VILLAGE CORE DESIGN**

The village core is fundamental to the Otay Ranch planning concept and the basis for organizing land uses within Village Eleven. As described in Section II.4.1, the surrounding land uses and physical site conditions largely directed the location and organization of land uses within the village core. Land uses within the core have been organized for compatibility, synergism, and enhancement of the pedestrian orientation of the village. The Village Eleven core contains all of the appropriate land uses to create a vital town center as directed by the Otay Ranch GDP policies. The village core will adhere to the GDP policies for village core design as well as the Otay Ranch Village Design Plan guidelines. A Village Eleven Core Master Precise Plan will also be prepared to establish additional design guidelines within the Village Core.

#### **II.4.3.1 Architectural Theme**

As described in the Section II.4.1.3, the village design theme is inspired by the architecture of Irving Gill. Irving Gill designed numerous public and community facilities that are functional and aesthetically pleasing today. Gill emphasized the relationship between indoor and outdoor spaces to create outdoor rooms through the use of pergolas, arbors, colonnades, porches and adjunct building masses. His focus in design combined the Spanish heritage of the region with the clean lines of the modernist movement. In the 1920's, Gill was perfecting the tilt-up concrete building technique used today in commercial building development. These design features are applicable to the mixed use/commercial, community purpose facility, schools, park and other community facilities in Village Eleven. Figures II.4.3.1-1 through 3 illustrate the Irving Gill architecture that will serve as inspiration for the Village Eleven core.





Photo Credit: William Hezmalhalch Architects, Inc.

Figure II.4.3.1-1  
Irving Gill Community Facilities



Photo Credit: William Hezmalhalch Architects, Inc.

Figure II.4.3.1-2  
Irving Gill - Influenced Architecture

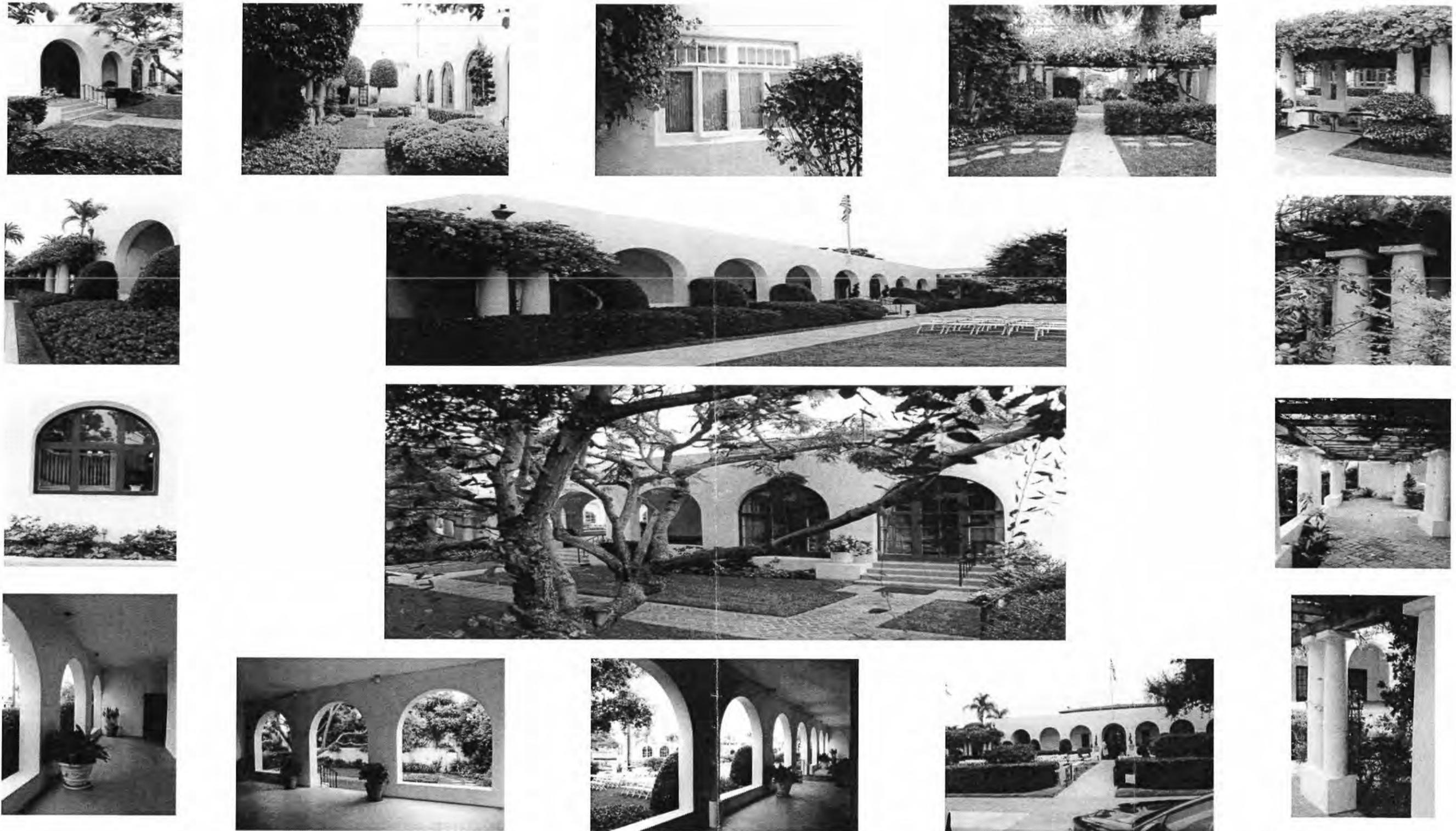


Photo Credit: William Hezmalhalch Architects, Inc.

Figure II.4.3.1-3  
La Jolla Woman's Club by Irving Gill

### Architectural Design Guidelines

The following guidelines shall apply to the mixed-use/commercial, community purpose facility, elementary school, park and other community buildings within the village core. Although not directly in the village core, the junior high school and the east village pedestrian park community buildings shall also adhere to the guidelines in order to maintain the village design theme throughout Village Eleven.

- Landmark architecture shall be located at all focal points and major intersections within the village. "Landmark architecture" should be a distinctive element that creates an accent or focal point, such as a tower.
- Primary building entries shall be oriented to the street to the extent possible.
- Commercial buildings shall be oriented to a village core street to create a traditional "main street."
- Buildings shall be arranged to create outdoor rooms, such as courtyards, wherever possible.
- Exterior building elevations shall incorporate a range of scale-defining elements that relate larger building masses to the pedestrian. Such elements include columns, archways, doorways, upper floor windows and balconies.
- Overhead features that create a sense of enclosure and encourage visitors to linger and enjoy the area may be incorporated into the design. Features such as canopies, arcades and roof overhangs create the sense of enclosure and also protection from sun and rain.
- Building height and massing shall be varied.
- Roof forms shall be compatible with the architectural style and create skyline interest.
- Architecture along the same street or within a complex shall include buildings of similar but varying height and share one or more distinctive element, such as materials, window and door style, detailing, porches, arcades, overhangs, roofing, color, etc.
- Decorative detailing shall be consistent with the overall architectural style and be used as accents. Detail elements include arches, balconies, balustrades, chimneys, cupolas, ceramic tile, moldings, reveals, wrought iron, hand rails, windowsills, finials, and lighting fixtures.
- All utilitarian aspects of development, such as mechanical equipment, gutters, downspouts, storage and refuse collection areas shall be integrated into the building design so as not to be visible from pedestrian and public view areas to the extent possible.
- Exterior staircases shall be compatible with the building architecture.
- Exterior staircases shall be visually perceived as integral to the building or as a significantly defined architectural accent.
- Side and rear elevations of buildings exposed to view shall be articulated or enhanced to provide a pleasing appearance from public or neighboring use views.

Figures II.4.3-4 and 5 illustrate architectural features of commercial and community purpose facility buildings.

MIXED USE / COMMERCIAL



*Two-Story Mixed-Use*



*Two-Story Mixed-Use*



*End Elevation Treatment*



*Interior Paseos*



*Details*



*Details*

**Figures II.4.3-4  
Mixed-Use/Commercial Architectural Features**

MIXED USE / COMMERCIAL



*Church*



*Museum*



*Blind Services Center*

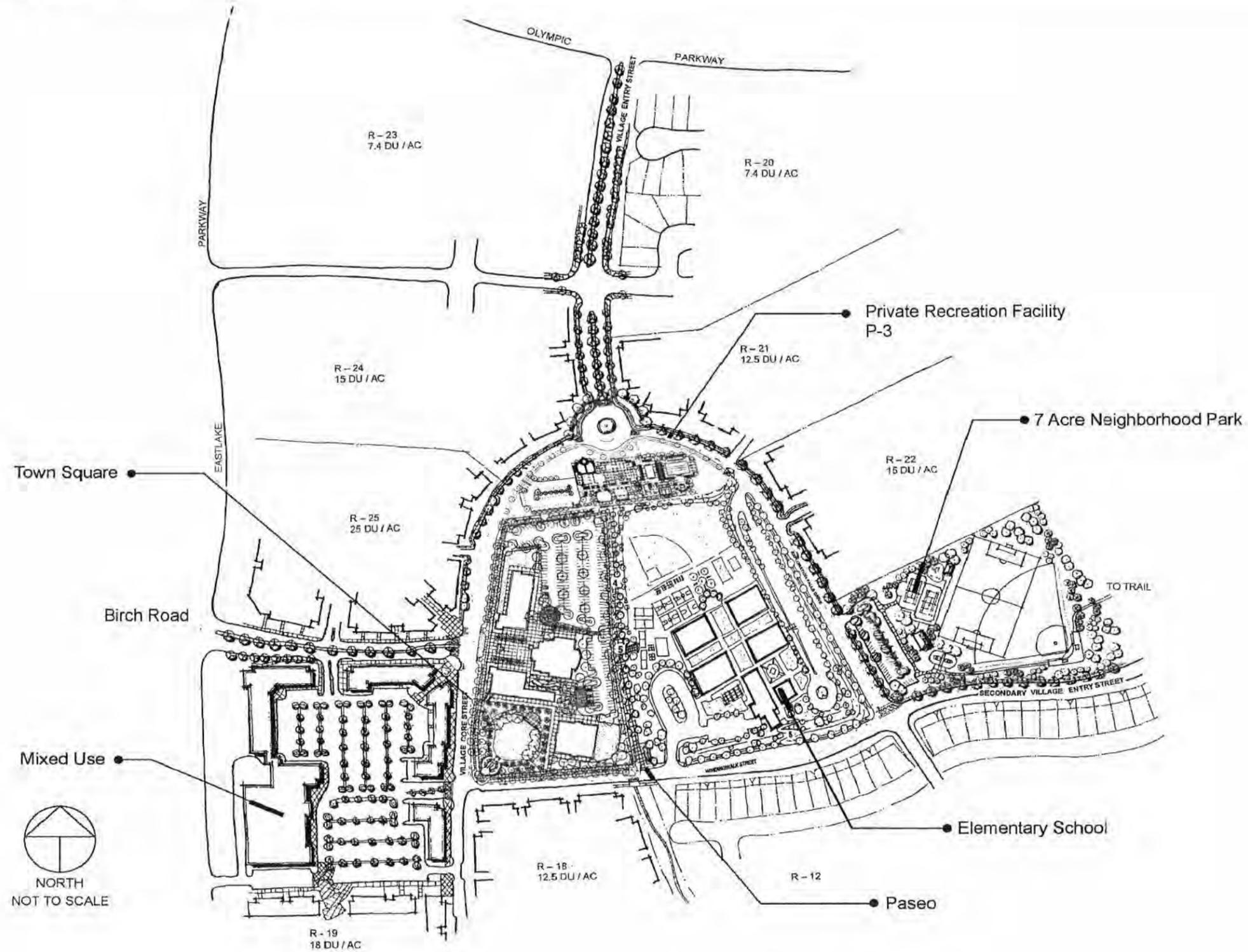
**Figure II.4.3-5  
Community Purpose Facility Architecture**

**II.4.3.2 Site Planning**

The organization of land uses in the village core provides for landmark focal points at village entries, compatible land uses that can share pedestrian-oriented connecting open spaces, and orientation of buildings toward the street, with parking and utility areas located away from the street. The village core land use plan provides for the siting of land uses to adhere to the following guidelines:

- Locate buildings in proximity to the village streets to create a “main street.”
- Locate entries at the street in close proximity to create articulation and interest in the street scene.
- Locate landmark buildings and landscape features at the entry focal points and at prominent intersections within the village core.
- Site buildings to create outdoor rooms and interconnected pedestrian paths between developments.
- Subordinate vehicular access by locating parking lots, loading and service areas at the rear or sides of development and away from the public and pedestrian areas.
- Locate the town square as a focal point within the village and group buildings around the town square.
- Provide for a village pathway or pasco to connect neighborhoods to the village core and create a pedestrian connection through the core.

Figure II.4.3.2-1 illustrates the village core concept plan.



NOTE: Village Core Concept Plan is an illustrative example only.  
Each site will be subjected to further discretionary review.

Figure II.4.3.2-1  
Village Core Concept Plan

### Mixed-Use Commercial

A 10-acre site at the western entry to the village is provided to accommodate mixed-use commercial development. The mixed-use nature of the site may include commercial, office and residential uses, as determined by need at the time of development. The size and configuration of the site is intended to provide optimum flexibility for future development. The conceptual plan for the site is a neighborhood shopping center that may include a grocery store and smaller major tenant, such as a drug store, ground floor shops and restaurants and second floor offices and service businesses. Residential units can also be accommodated as lofts or apartments above shops or as a separate building within the site.

Figure II.4.3.2-2 illustrates the conceptual design for a neighborhood commercial center with a grocery store located at the rear of the site. This arrangement locates the service and loading areas adjacent to EastLake Parkway, away from adjacent residential uses, where noise, lighting and utilitarian aspects can be screened by slopes, berms, walls, and landscaping. A large parking area can be located within easy access of the grocery store entry. Most importantly, the shops and office buildings are located at the edges of the village entry and core streets to create a "Main Street." The prominent intersection of the village entry and core street should be designed with a landmark feature. The concept plan illustrates a plaza that creates the main pedestrian entry to the development.

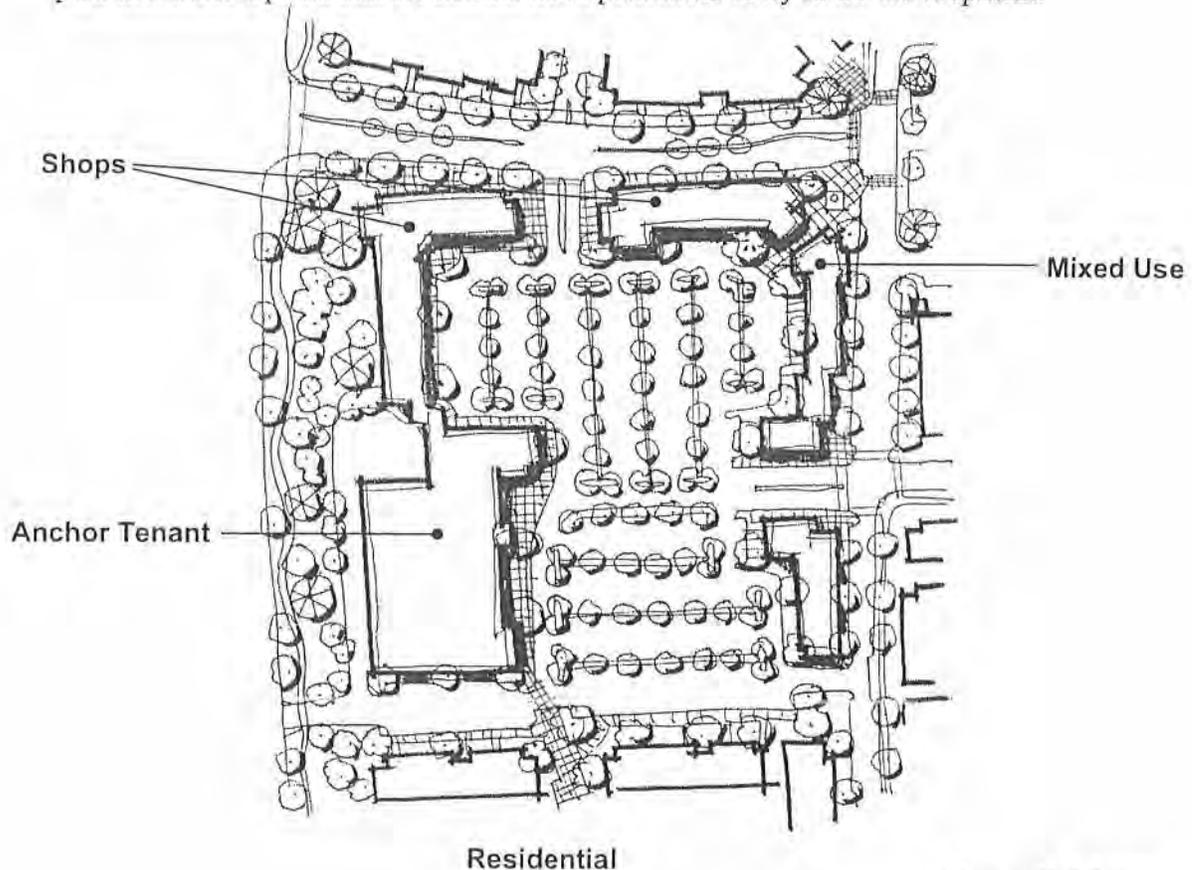
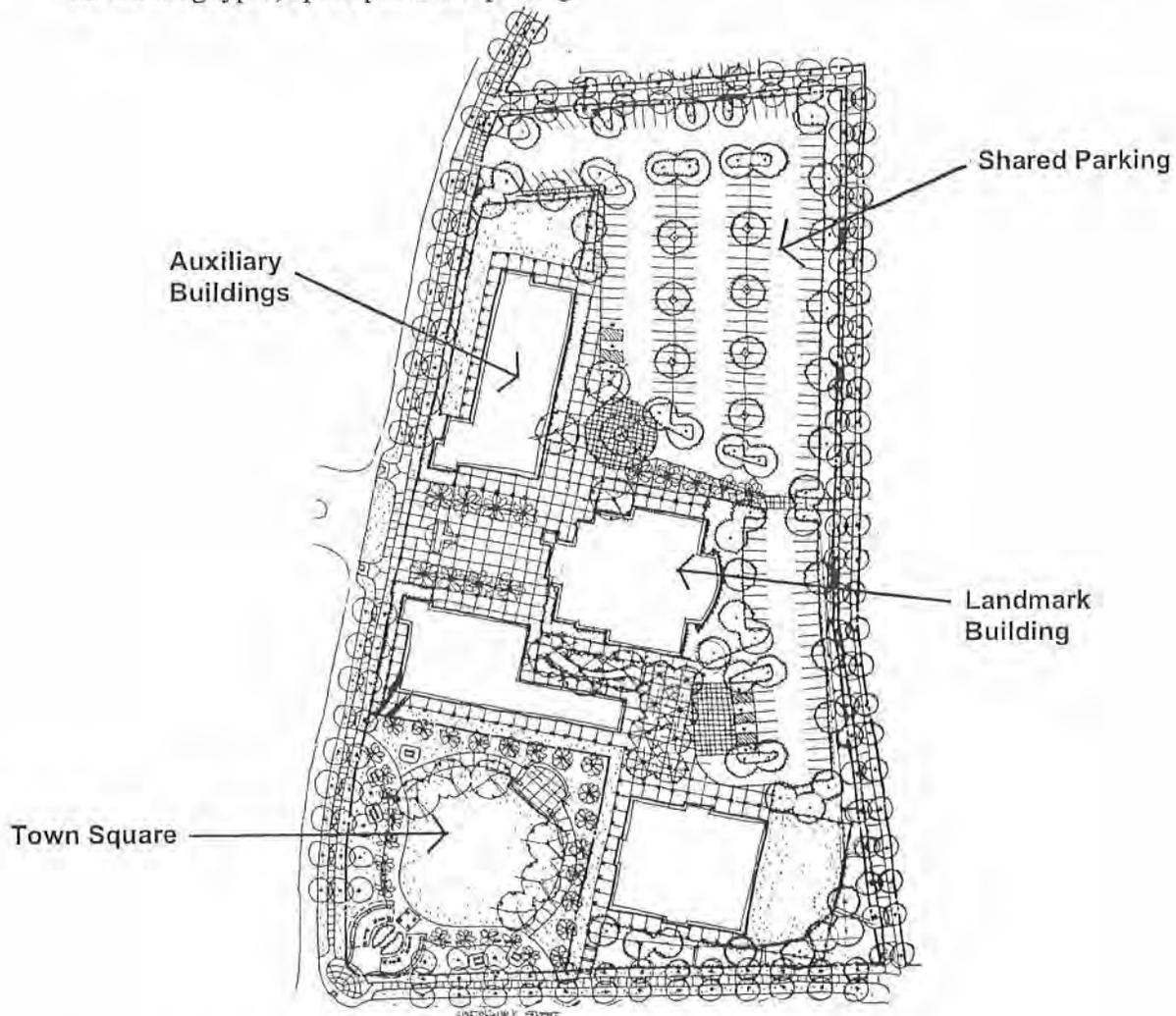


Figure II.4.3.2-2  
Mixed-Use/Commercial Concept Plan

**Community Purpose Facility**

The community purpose facility site has been located at a focal entry point of the village to create a landmark presence surrounding the town square. In conformance with the Irving Gill design theme, the plan for the site should create a series of outdoor rooms connecting to the village pathway/paseo located on the eastern edge of the site. Figure II.4.3.2-3 illustrates a conceptual plan that locates a landmark building, such as a church, as the focal point with accessory buildings creating the courtyard outdoor rooms. Parking lots are located to the sides of the buildings where they are blocked from view. Potentially, these parking lots may be shared between developments within the village core. This site plan is intended only to illustrate general site planning concepts. The actual community purpose facility that occupies the site may have different requirements for building types, open spaces and parking.



**Figure II.4.3.2-3  
Community Purpose Facility Concept Plan**

Schools

Both the elementary and junior high school shall adhere to the village design theme for architecture and site planning. The functional requirements of the schools are quite appropriate to the Irving Gill courtyard site plan design. Figure II.4.3.2-4 illustrates a conceptual design for the elementary school. The site design provides for separate school bus and parent drop off locations, accessed from the two surrounding streets. A parking lot located on the east side of the school could be shared with the neighborhood park across the street. The play fields are complementary to the two adjacent parks and provide an extension of open space within the village core. The village pathway/paseo on the west side of the school provides the opportunity for an off-street path for children to access the school.

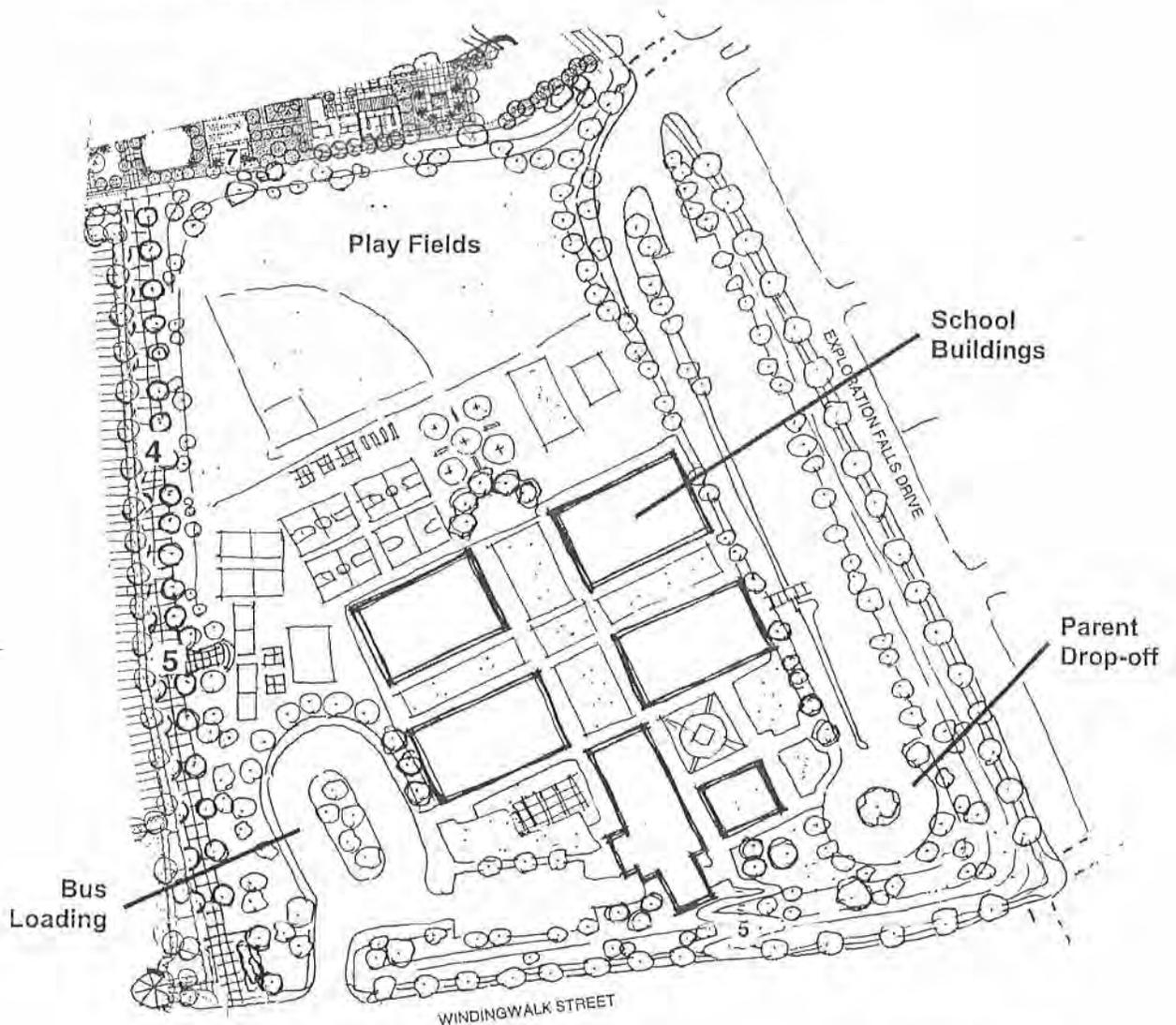


Figure II.4.3.2-4  
Elementary School Concept Plan

### II.4.3.3 Landscape

The landscape concept for the Village Core is to enhance the pedestrian orientation of the area through landscape and outdoor amenities. Trees will create a sense of identity for the core with formal planting arrangements on streets and a mix of skyline, shade and colorful accent trees. Pedestrian scaled plantings, such as colorful groundcovers, container plantings and vines covering arbors, will enliven the core. Outdoor amenities, such as plazas, enhanced paving, seating areas and lighting will create an atmosphere that is appropriate for shopping, socializing and recreation. Landscape design shall be in conformance with the City of Chula Vista Design Manual and Landscape Manual.

#### Mixed-Use/Commercial Area

The landscape concept for the mixed-use/commercial area is to create a lively “Main Street” for shopping and outdoor dining. The landscape will include a wide sidewalk along the street, which may be enhanced with decorative paving. Shade trees along the street will be surrounded by grates to allow for pedestrian flow. Planters or benches may be located along the street to provide resting areas. Containers and window boxes with colorful plants can be provided to enliven and accent building entries and outdoor seating areas. Other landscape amenities may include courtyards, outdoor dining areas, fountains or sculpture, bicycle racks, trash containers, newspaper dispensers, and pedestrian-scaled lighting.

#### Community Facilities Area

The institutional nature of the community purpose facility site provides an opportunity to create outdoor rooms, consistent with the Irving Gill-inspired village design theme. Outdoor rooms for this type of use could be used as public gathering or ceremonial spaces. The village design theme suggests that shade trees, vine-covered arbors and colorful accent plantings enhance the outdoor rooms. Paseos and pedestrian spaces in and around the community purpose facility site should maintain the design theme and enhance the pedestrian experience with amenities such as decorative paving, seating, fountains, public art and decorative lighting. Figure II.4.3.3-1 illustrates landscape enhancements that may be used in mixed-use/commercial and community purpose facility areas.



Figure II.4.3.3-1  
Landscape Amenities

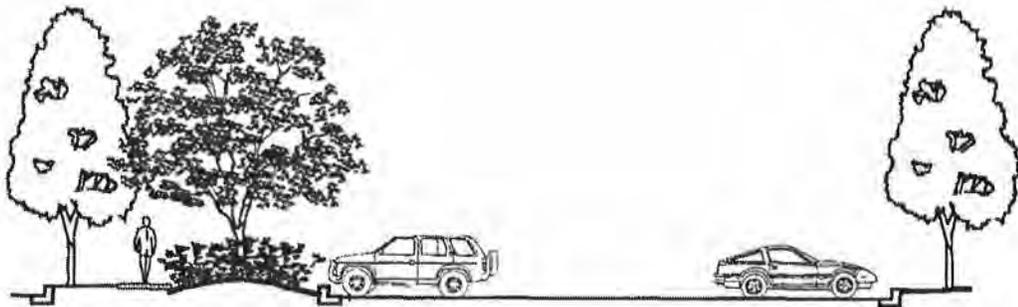
**School Areas**

The village streets and paseos will provide continuity of the village design theme around the schools. The street-facing areas of the schools will be lined with large canopy shade trees with large parkway areas. The trees will be of sufficient size to provide shade during the hot summer months and tall enough to provide sightline distances for motorists. The sidewalk areas will be adjacent to the parkways, which will provide a safer pedestrian walking path for children. Neckdowns and enhanced paving material may be used to enhance the safety at crosswalks adjacent to the schools.

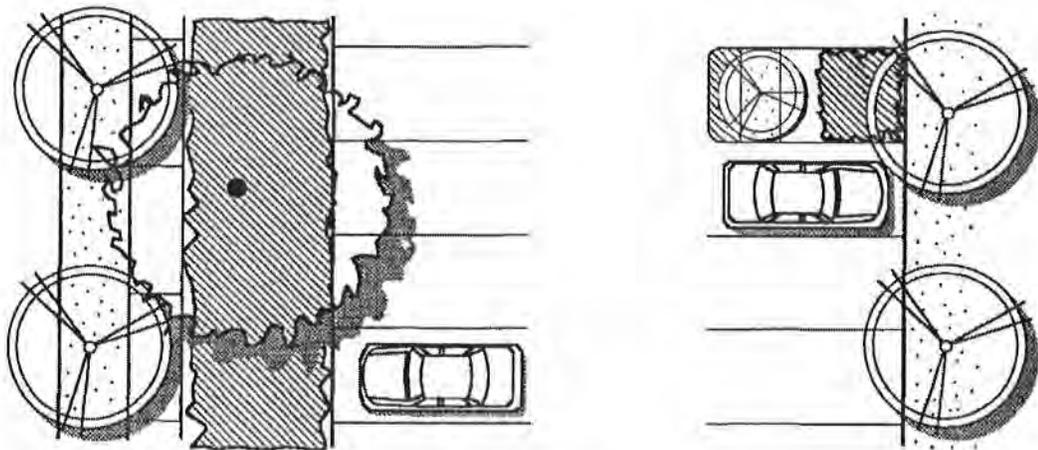
The school districts are encouraged to continue the village design theme within the school grounds. This can be achieved through incorporation of the village tree and plant palette and design features such as pergolas. Perimeter planting within the schools should include a combination of tall vertical trees and large, stately shade trees. This will provide a certain amount of enclosure while allowing for visual access to the school grounds.

**Parking Areas**

The pedestrian-oriented design theme strives to minimize automobile influences in the village. Landscaping in and around parking lots helps to achieve that objective. Perimeters of parking lots will be screened by berms, low walls or shrubs, approximately 3 feet in height, to block headlight glare yet provide visual access into the lots to enhance pedestrian safety and security. Shade trees, planted within the lots to City standards, are of primary importance in reducing heat and glare from paving and parked cars. Planters should be included within larger lots to visually break up the expanse of paving. Parking area landscape shall be in conformance with the City of Chula Vista Design Manual and Landscape Manual. Figure II.4.3.3-2 illustrates parking lot landscaping.



SECTION



PLAN VIEW

Figure II.4.3.3-2  
Parking Lot Landscaping

**II.4.3.4 Lighting**

The lighting design described in Section II.4.2.7 will be used in the village core as a key element in creating the village theme. The liveliness of the village core can be accentuated through the use of appropriate lighting. The following are guidelines specific to the village core:

**Street Lights**

The street lights within the mixed use/commercial and the community purpose facility areas should be the most decorative in the village. The proposed decorative fixtures are similar to those used in San Diego in the early part of the century style. They are proposed as decorative metal poles with double light fixtures and metal arms for hanging banners and flower baskets. Street lights adjacent to the pedestrian park, and the elementary school will be compatible in design, but use an acorn fixture on top of a simulated concrete light standard. The light standard may have the same decorative metal arms for hanging banners and flower baskets.

**Parking Lighting**

The lighting within parking areas will be selected for energy efficiency and village design compatibility. Light fixtures should provide adequate illumination for their intended use, while directing the light onto the paved surface. Glare screens will be used where necessary to reduce the amount of light filtering into adjacent residential land uses. Light fixtures should be selected to match the style and character of the architecture and complement the village design theme.

**II.4.3.5 Street Furnishings**

The street furnishings will be as described in Section II.4.2.6. Street furnishings within the village core are key elements in enhancing the pedestrian experience and expressing the village theme. The street furnishings in the core may consist of vine-covered arbors and bus stops, benches, trash receptacles, newspaper racks, bicycle racks, kiosk structures, clock towers, banners, hanging baskets, fountains, and public art pieces. Street furnishings shall be maintained by a Community Facilities District or a Homeowner's Association.

**II.4.3.6 Signage**

Signs within the village core may consist of individual project monument signs, individual tenant signs and directional signs. Sign criteria governing the locations, number and size of such signs are provided in the Village Eleven Planned Community District Regulations. A comprehensive sign plan that includes guidelines for all proposed types of signs will be developed as part of the Village Core Master Precise Plan. Individual Precise Plans for the developments within the village core will provide more specific sign criteria suitable to the developments.

Sign design in the village core will be consistent with the overall design themes described in Section II.4.2.2. Monument signage for the mixed use/commercial, community purpose facility, school, and multi-family residential developments, if desired, shall be consistent with the design for neighborhood monuments.

Commercial development may utilize a variety of signs including wall-mounted, painted wall, awning, hanging, projecting, plaque, banner and window signs. Commercial signs shall be designed to be appropriate to the architecture and pedestrian-scaled. The sign regulations and comprehensive sign plan shall provide specific design parameters. Commercial sign examples are illustrated in Figure II.4.3.6-1.

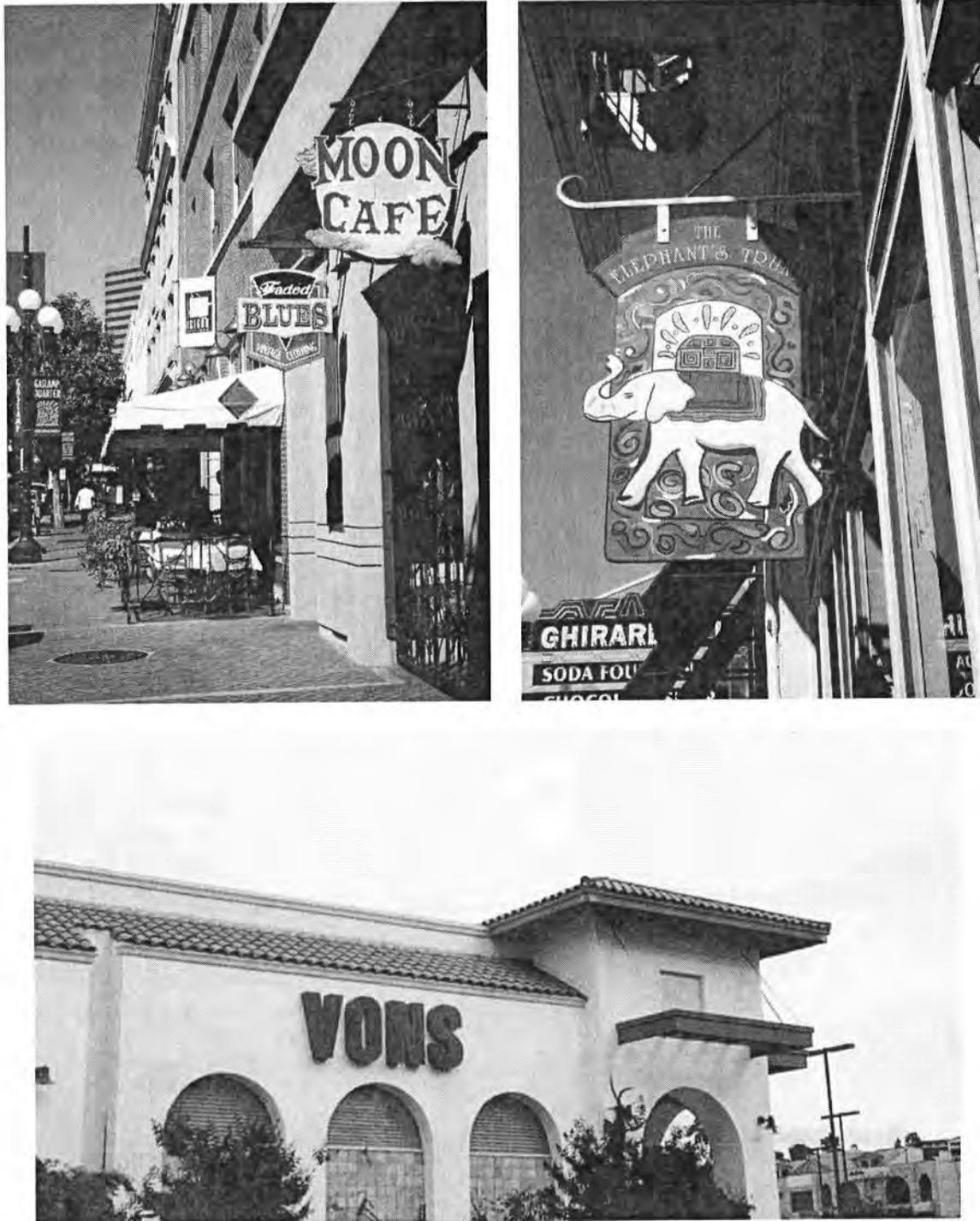


Figure II.4.3.6-1  
Commercial Sign Design Examples

#### **II.4.4 Single Family Residential Design**

## **II.4.4 SINGLE FAMILY RESIDENTIAL DESIGN**

### **II.4.4.1 Architectural Themes**

The design concepts for residential architecture in Village Eleven have been inspired by San Diego residential architecture from the 1920's to the 1940's. Irving Gill's residential architecture in San Diego included popular styles of the era as well as his own unique style. Gill's residential architecture was a unique interpretation of classical styles using modern construction techniques and designed for the convenience of the homeowner. This is very appropriate today given that all merchant-built housing will be designed and constructed with contemporary building materials and techniques.

Residential architectural styles have been selected to complement the Irving Gill Village Eleven design theme. The selected styles are Cottage, Craftsman, Monterey, Prairie, Spanish Eclectic and Spanish Mission. These styles are attractive, compatible with one another, and they can be easily integrated into the individual style and scale of each neighborhood. It is important to note that these styles are intended for modern adaptation, not recreation of historic homes. The architecture is expected to be somewhat simplified, yet still maintain the unique characteristics that exemplify the style.

This section provides guidance for form, roofs, facades and details that distinguish each style. It is important that these elements are used consistently to maintain the integrity of each style. For example, a shallow-pitched roof with wide eaves is appropriate to the Craftsman style, but not the Cottage style. All of the architectural styles contain pedestrian-oriented façade features. This section also provides guidance for pedestrian-oriented elements appropriate to each style. The styles are described as follows and illustrated in Figures II.4.4-1 through 6.

## Cottage

Cottage style derives from English country cottage architecture. The architecture is characterized by rectangular plan forms and steeply pitched roofs. The steep roofs and architectural details create an old-world, “story book” charm. Typical design elements of the Cottage style may include:

- Rectangular plan with some recessed second story area.
- Steeply pitched hip or intersecting gable roofs with narrow eaves, covered with asphalt shingles or smooth, flat concrete tiles.
- Sloping curved roof as an accent.
- Light to medium texture or light lace finish stucco walls.
- Vertical shaped windows with mullions and simple wood trim at front elevation and in high visibility areas.
- Enhanced windows with deep recesses, windows grouped in twos and threes, colonial arched windows, round top windows or vents over rectangular windows and doors at feature locations and shutters.
- Entries with stone detail and small porches with stucco columns and wood railings.
- Second story balconies with wrought iron railings.
- Prominent stucco chimneys with detail caps.
- Stone or brick base veneers.
- White, warm pastel and earth tone walls with dark color accents (trim and shutters).

The pedestrian-oriented features of the Cottage style may include:

- Entry porches with wood railings.
- Enhanced, covered entries instead of porches.
- Entries accented with roof features.
- Front facing windows.

Figure II.4.4.1-1 illustrates historic homes and contemporary adaptations of the Cottage style, as well as detail elements.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-1  
Inspiration Imagery- Cottage

**Craftsman**

The Craftsman style emphasizes harmony with the environment. The horizontal lines of the buildings and indigenous materials, such as wood and stone, are intended to blend into the landscape. In Southern California, the climate provides opportunities for the style to integrate indoor and outdoor living. Craftsman houses typically include living spaces oriented towards patios or courtyards. Typical design elements of the Craftsman style may include:

- Emphasis on horizontal forms.
- Rectangular plan with recessed second floor.
- Low-pitched, side-facing or cross-gabled roofs.
- Varied shed or gable porch roofs.
- Architectural quality asphalt shingles or shingle texture flat concrete tile roofing.
- Wide eaves and exposed beams.
- Broad porches or patios and pergolas supported by stone or heavy columns.
- Stone or brick base accents.
- Blended siding and stucco walls at front elevations.
- Light to medium stucco finish.
- Plain texture shingle siding at front elevations.
- Battered wall accents.
- Wood details such as trim around doors and windows, shaped roof rafter tails, decorative ridge beams and purlins, angled brace supports and outlookers.
- Significant window area at front elevations.
- Vertically hung divided light features and mullioned windows at front elevations and high visibility areas, often in pairs.
- Light earth tones with dark accents or deep earth tones.

Pedestrian-oriented features of the Craftsman style may include:

- Street-facing porches or entry patios.
- Street-facing windows and doors.
- Pergolas or porte-cocheres.

Figure II.4.4.1-2 illustrates historic Craftsman houses and contemporary interpretations of the style. Typical details are also illustrated.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-2  
Inspiration Imagery – Craftsman

**Monterey**

Monterey style is derived from the early California ranchos. House plans are typically a simple, two-story rectangular form, characterized by a large second story balcony or porch and shingle or mission s-tile roofs. Ornamentation is limited to shutters and porch posts, corbels and railings. Typical design elements of the Monterey style may include:

- Simple rectangular form with one story break.
- Shallow pitched, wide-eaved, hipped roof front to back with one intersecting front facing gable roof covered with smooth finish roof tiles.
- Light texture stucco finish walls. Vertical siding accents at gable ends and second floor.
- Simplified Colonial style window and door trims and vertical, multi-paned windows in groups at the front and in high visibility areas.
- Second story balcony with wood railing.
- Accent details including shutters, ornate chimney top trim, round tile gable end vents, wood corbels, rafter tails, recessed accent windows, arched or sloping fin walls, brick veneer wainscot at first floor, and decorative wrought iron.
- White or light colored stucco with matching or contrasting dark brown wood trim.

Pedestrian oriented features of the Monterey style may include:

- Second story balcony or porch.
- Front facing windows.

Figure II.4.4.1-3 illustrates the Monterey style.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-3  
Inspiration Imagery - Monterey

**Prairie**

Developed by Frank Lloyd Wright and the Prairie School designers, the style is noted for horizontal, rectilinear forms, multiple and low-pitched roofs, broad eave overhangs, banded windows, broad chimneys, contrasting dark linear bands against lighter broad surfaces and minimal ornamentation. Typical design elements of the Prairie style may include:

- Horizontal building lines and base elements such as terraced entries.
- Flat or shallow-pitched hipped roofs.
- Deep eaves, often cantilevered with stucco soffits.
- Smooth, flat concrete roof tiles.
- Fine to medium texture or light lace finish stucco walls.
- Simple or mullioned vertical windows at the first floor and horizontal windows at second floor along belt course.
- Covered porches with flat or arched entry overhead elements and large stucco columns.
- Front facing brick or stone accents on chimney and at porch base.
- Wide range (light to dark) of earth tone colors with contrasting trim.

Pedestrian-oriented features of the Prairie style may include:

- Porches with flat or arched entry and heavy columns.
- Terraced patio entries.
- Street-facing windows and doors.
- Porte-cochere.

Figure II.4.4.1-4 illustrates the Prairie style.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-4  
Inspiration Imagery – Prairie

**Spanish Eclectic**

The Spanish Eclectic style includes elements ranging from Moorish to Spanish and Mission Revival architecture. The building massing is varied and decorative elements are incorporated to add interest and character. Typical design elements of the Spanish Eclectic style may include:

- Strong one and two-story elements with varied façade setbacks.
- Shallow pitched, simple hip or single-gable roofs with narrow or no eaves, covered with barrel or s-shaped tiles.
- Shed roof elements over porches or other projections.
- Smooth or lightly textured stucco walls.
- Vertically hung multi-paned windows at the front and in high visibility areas, often in pairs.
- Recessed arched windows and round top windows as features or accents.
- Arched forms for entries, doors and windows.
- Porches supported by arched stucco columns.
- Wrought iron and tile accents.
- White or light walls with dark earth color or bright color accent trim.

Pedestrian oriented features of the Spanish Eclectic style may include:

- Courtyard patio entries.
- Porches supported by arched forms.
- Front facing windows, often one large arched window.

Figure II.4.4.1-5 illustrates the Spanish Eclectic style.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-5  
Inspiration Imagery – Spanish Eclectic

**Spanish Mission**

The Spanish Mission style is inspired by the adobe architecture of 18<sup>th</sup> century Spanish missions. The style is characterized by the appearance of thick, stucco walls, clean lines, arch forms, minimal ornamentation and barrel tile roofs. The simplicity of the style was the basis for Irving Gill's most distinctive architecture. Gill also referenced the Mission style interior courtyards and arcades. Typical design elements of the Spanish Mission style may include:

- Strong one and two-story elements with varied façade setbacks.
- Shallow pitched, simple hip or single-gable roofs with narrow or no eaves, covered with barrel or s-shaped tiles.
- Shed or gable roof elements over porches or other projections.
- Smooth or lightly textured stucco walls.
- Vertically hung multi-paned windows at the front and in high visibility areas, often in pairs.
- Recessed arched windows and round top windows as features or accents.
- Arched forms for entries, doors and windows.
- Porches supported by arched stucco columns.
- Wrought iron and tile accents.
- White or light walls with dark earth color or bright color accent trim.

Pedestrian oriented features of the Spanish Mission style may include:

- Courtyard patio entries.
- Porches supported by arched forms.
- Front facing windows, often one large arched window.

Figure II.4.4.1-6 illustrates the Spanish Mission style.



Historical Reference



Modern or Current Applications



Typical Details

Figure II.4.4.1-6  
Inspiration Imagery – Spanish Mission

#### II.4.4.2 Pedestrian-oriented Design

Pedestrian-oriented neighborhood design emphasizes a sense of neighborliness and community through aesthetically pleasing site planning and architecture. Essential elements include attractive architecture, inviting entries and a minimization of utilitarian areas facing the street. The structure of a neighborhood must be understood to better promote its pedestrian-orientation. The area between the street and residence contains a hierarchy of public to private spaces. The street, sidewalk and parkway are perceived as public, common neighborhood use areas. Residential front yards provide a transition space between the public spaces of the sidewalk and street, and the private spaces of the home. The residential entry is the final demarcation area between public and private spaces. Neighborhoods that were developed in the early part of the 20<sup>th</sup> century typically provided porches, patios or entry courts to create the transition between public and private spaces. These areas were often elevated from the street and partially enclosed to provide a sense of safety and privacy for the residents. These areas served as neighborhood social spaces, since rear yards were used as utility spaces. As people gained more home conveniences, the rear utility yard became a private social area and the front porch no longer served a social purpose. Automobile ownership became widespread, so fewer people walked in neighborhoods, further reducing personal interaction in neighborhoods.

The "Village Concept" described in the Otay Ranch GDP emphasizes pedestrian enhancements and access to public transit. This emphasis is anticipated to recreate the pedestrian-orientation that was dominant in older neighborhoods. The design of residential neighborhoods can complement that orientation by borrowing elements from traditional neighborhoods, such as porches, and minimizing the influence of the automobile. The following sections describe three primary areas of design that will facilitate the creation of pedestrian-oriented neighborhoods: façade elements, garages and driveways, and site planning.

#### Façade Elements

Residential building facades should be attractively designed with varied features for individual identity and neighborhood interest. Façade features should be pedestrian-oriented in that they provide a connection between the public street and sidewalk and the private residence. Building characteristics are illustrated in Figure II.4.4.2-1 and may include:

- Variations in architectural style.
- Undulating building mass and roof planes.
- Vertical and horizontal stepped massing.
- Visually minimized garages.
- Entry features such as doors, windows, porches, patios, courtyards and trellises oriented towards the street and appropriate to the architectural style.



Porch



Picket Fence



Porte-cochere



Balcony



Window

Figure II.4.4.2-1  
Pedestrian-Oriented Design Elements

**Garages and Driveways**

The pedestrian-orientation of a neighborhood places emphasis on the home and front yard rather than the garage. This section describes building massing and plotting techniques, as well as specific solutions for garage placement and façade design. Each merchant builder will be required to meet the intent of the design guidelines by employing the methods described in this section. Builders are encouraged to explore additional design methods to meet the objective of minimizing the visual dominance of garages in neighborhoods. Basic guidelines for garage design are:

- Minimize the impact of garages facing the street by techniques such as varying garage door patterns and utilizing deep recessed doors, varying colors, splitting one large door into two single doors, and integrating door window and coach lights.
- Provide variety through the use of alternative garage configurations such as split, swing-in, and mid to deep recess garages. Use a single type of garage configuration for no more than one-third of the garages in a development.
- Vary the garage setbacks for an average setback of 25 feet from the back of sidewalk.
- Do not place front-facing garages forward of the front building wall.

The following Figures II.4.4.2-2 through 6 illustrate garage design options:



Furr out wall plane to visually recess garage doors.



Trellis may span the driveway or trellises may be attached to the garage wall above the door.

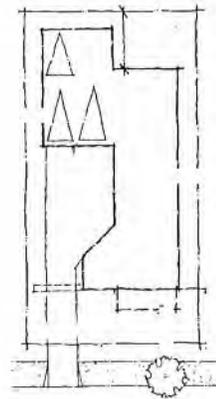


A recessed garage plan with a porte-cochere screens views of the garage and driveway and defines a usable outdoor space.

**Figure II.4.4.2-2  
Garage Design Options**

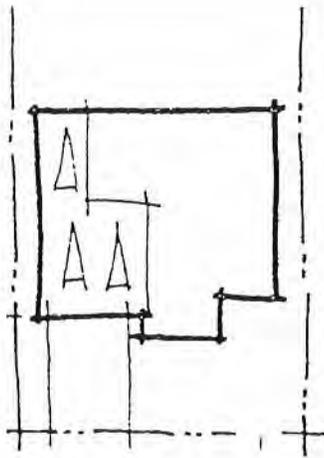


When garages are at minimum setbacks, no garage face should be in front of the architecture.

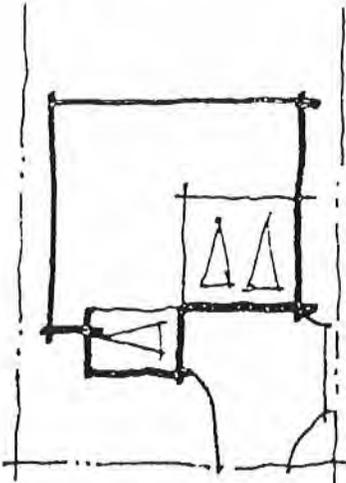


Varied garage locations and setbacks minimize views of garages from street.

Figure II.4.4.2-3  
Garage Design Options



Tandem plans reduce the appearance of garages



Split garages minimize views of garage door facing street

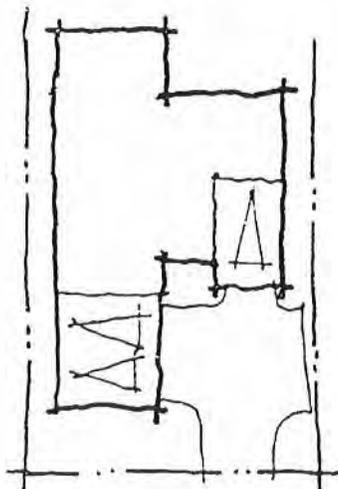


Figure II.4.4.2-4  
Garage Design Options

The appearance of three front-facing garages should be minimized through one of the following design measures:



Provide porch, courtyard or living space forward of garage.



Offset garage façade plane.



Provide trellis to soften architectural edge.



Furr-outs recess garage doors.

**Figure II.4.4.2-5**  
**Garage Design Options**

**Corner Lots**

Homes built on corner lots are often the most visible within the neighborhood. Due to this visibility, the architectural treatment of corner lot homes defines the character of neighborhoods. It is important for each neighborhood to include one house plan that can be used in both interior and corner lot designs. Variety in architectural styles and treatments should also be included to create interest and individual home identity for corner lots.

Architectural treatments for corner lots include “wrap around” architecture such as porches, siding, roof treatments, door and window trim and other embellishments. These features enhance the front façade of the house and continue with equal emphasis on the forward side of the house. Variations in the wall planes, or a single component of the building mass may be oriented towards the corner. Entries, windows, garages, landscaped trellises and decorative privacy walls may also be located towards the corner or the side of the house. It is important to note that the terraced design of residential neighborhoods in Village Eleven require side yard slopes on most corner lots. The side yard slopes limit the ability to access garages from the side. Figure II.4.4.2-7 illustrates typical corner lot architectural treatments.

**Single Story Elements**

Single story elements at the front and side of homes reduce the overall mass of the building. The Village Eleven Planned Community District Regulations require 33 percent of residences within a neighborhood to incorporate a single story element with a minimum width of 5 feet in width from the side yard setback and 20 feet in depth from the front yard setback. The addition of the single story element results in a 10-foot side yard setback for the second story, creating greater openness in the street scene.



Significant landscaping and privacy wall embellishments.



Decorative entry gate and trellis.



Wrap-around porch.

**Figure II.4.4.2-6**  
**Corner Lot Design Options**

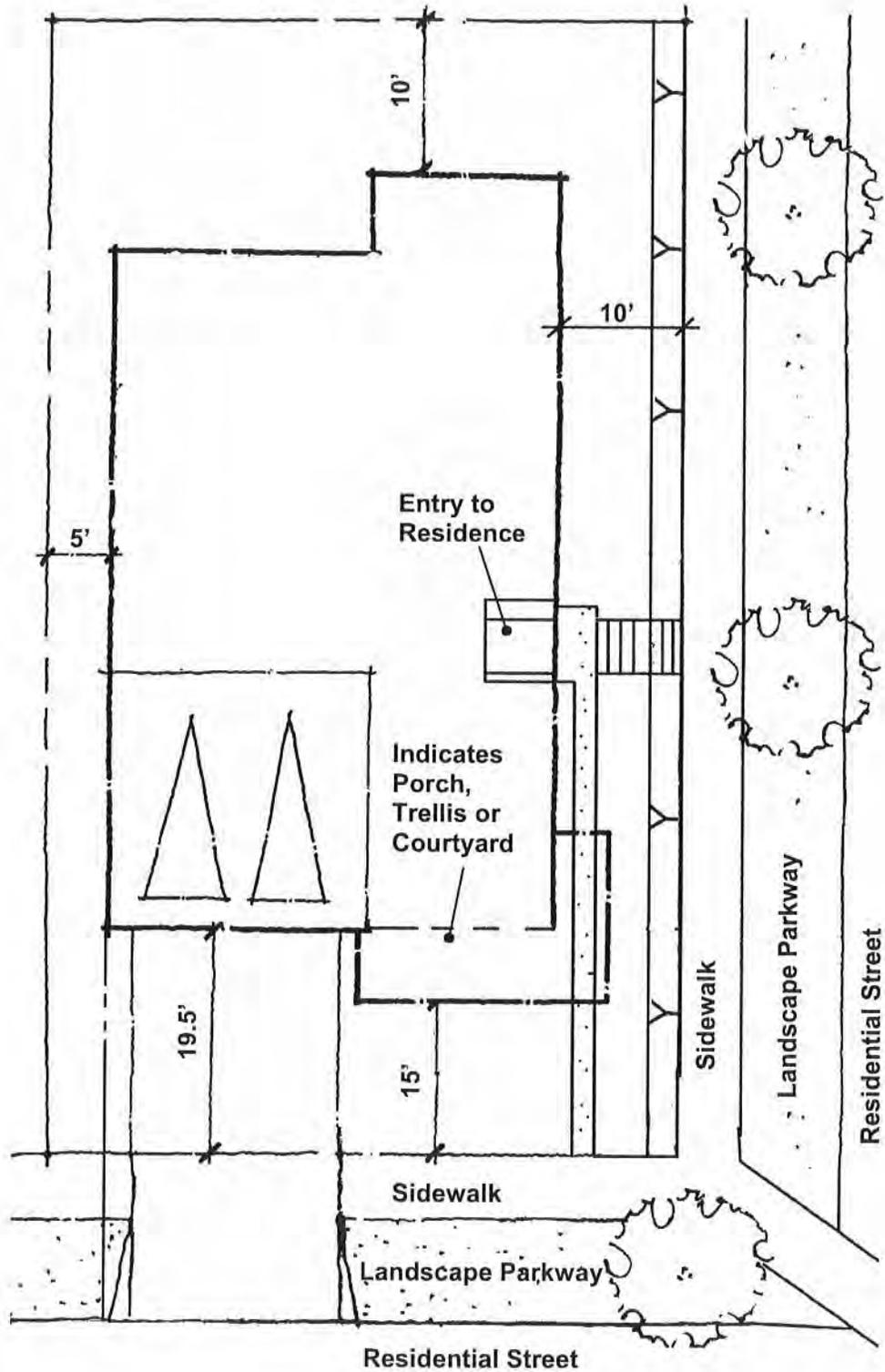


Figure II.4.4.2-7  
Corner Lot Design Options Concept

**Site Planning and Building Plotting**

Appropriate site planning and building plotting are fundamental to creating a pedestrian-oriented neighborhood. Variety is the key to creating a vibrant neighborhood and promoting individual residential identity. Site planning and building plotting in single-family residential neighborhoods should be based upon the following criteria:

- Single-family detached residential lots and setbacks shall encourage variety in the design, orientation and placement of homes, wherever practical.
- Front yard building setbacks shall be varied, where possible, to avoid a monotonous pattern of houses.
- Where slopes in side yards allow for varied side yard setbacks, provide more useful private open space in side yards and avoid a monotonous pattern of houses.
- A minimum of three housing plans shall be provided to provide variety and compatibility with lot configurations.
- Housing plans shall provide for a variety of designs for garage locations and treatments.
- Housing plans shall provide for a variety of designs for entry features.
- One housing plan shall be designed for use on both interior and corner lots.
- Side entry floor plans may be used on both interior and corner lots, provided that the entry is clearly defined and the front elevation includes front-facing windows, porches or other pedestrian-oriented design features.
- Housing plans used on corner lots shall provide for architectural features, such as porches or entry trellises to wrap around the street-facing corner.
- Production wall fencing shall be integrated into the design of corner lots to provide for reduced wall length and other enhancements to side yards.
- Where the rear of a lot abuts a street, the design shall provide for a privacy wall and landscaping consistent with the village streetscape theme.
- Grade differentials within neighborhoods shall be used to add variety and enhance the sense of open space between residences.

**Building/Lot Schematics**

The following illustrations are options for site planning and building plotting on various sized lots. These are only some illustrations of possible prototypical concepts and are not intended to constrain more creative solutions. The examples provide for minimum setbacks and do not address special lot configurations, such as non-perpendicular lot lines, allowances for easements or other potential constraints.

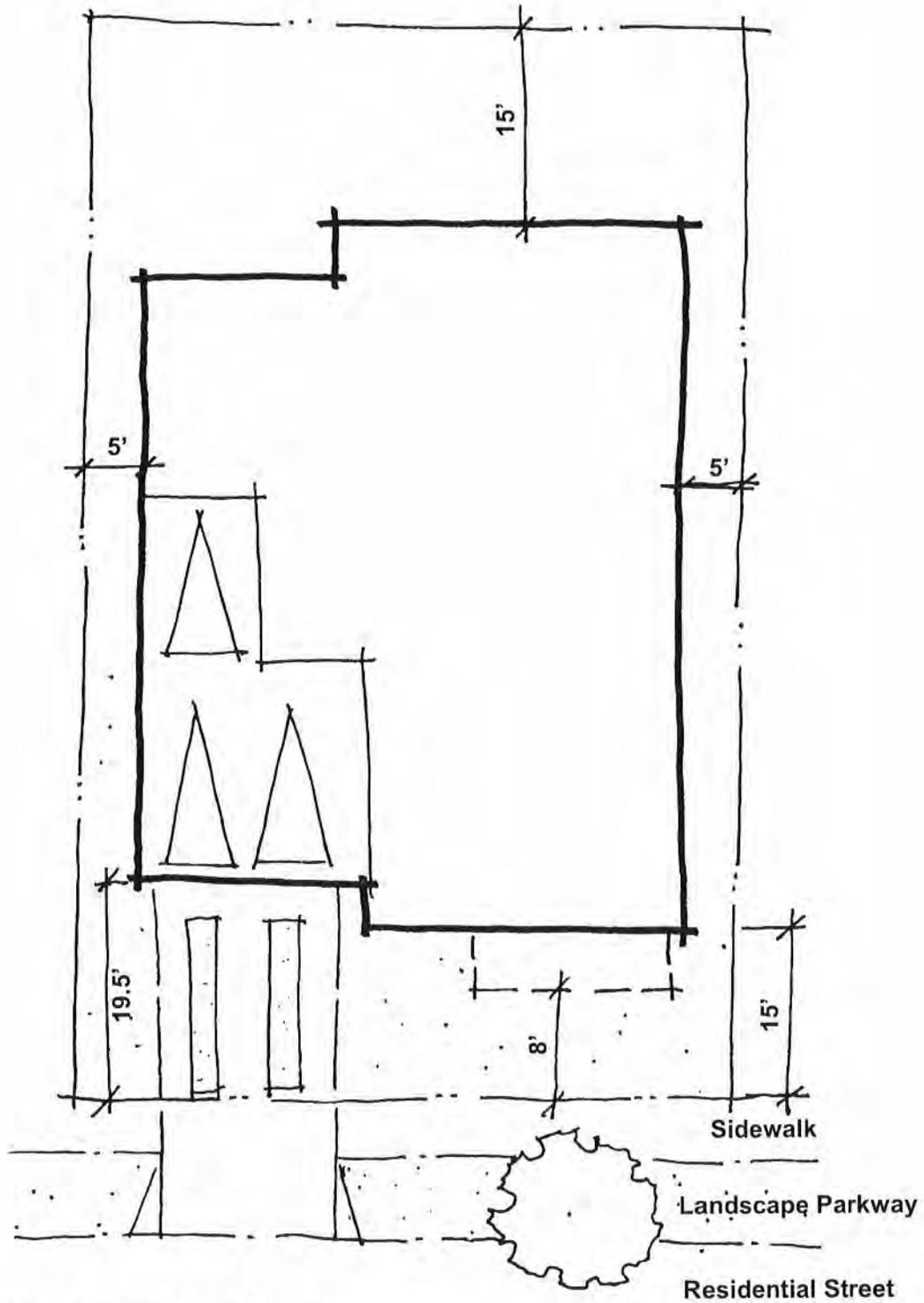
**60 x 100 Lot (6,000 SF) Plotting Concepts**

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients front doors and entries toward street where possible.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

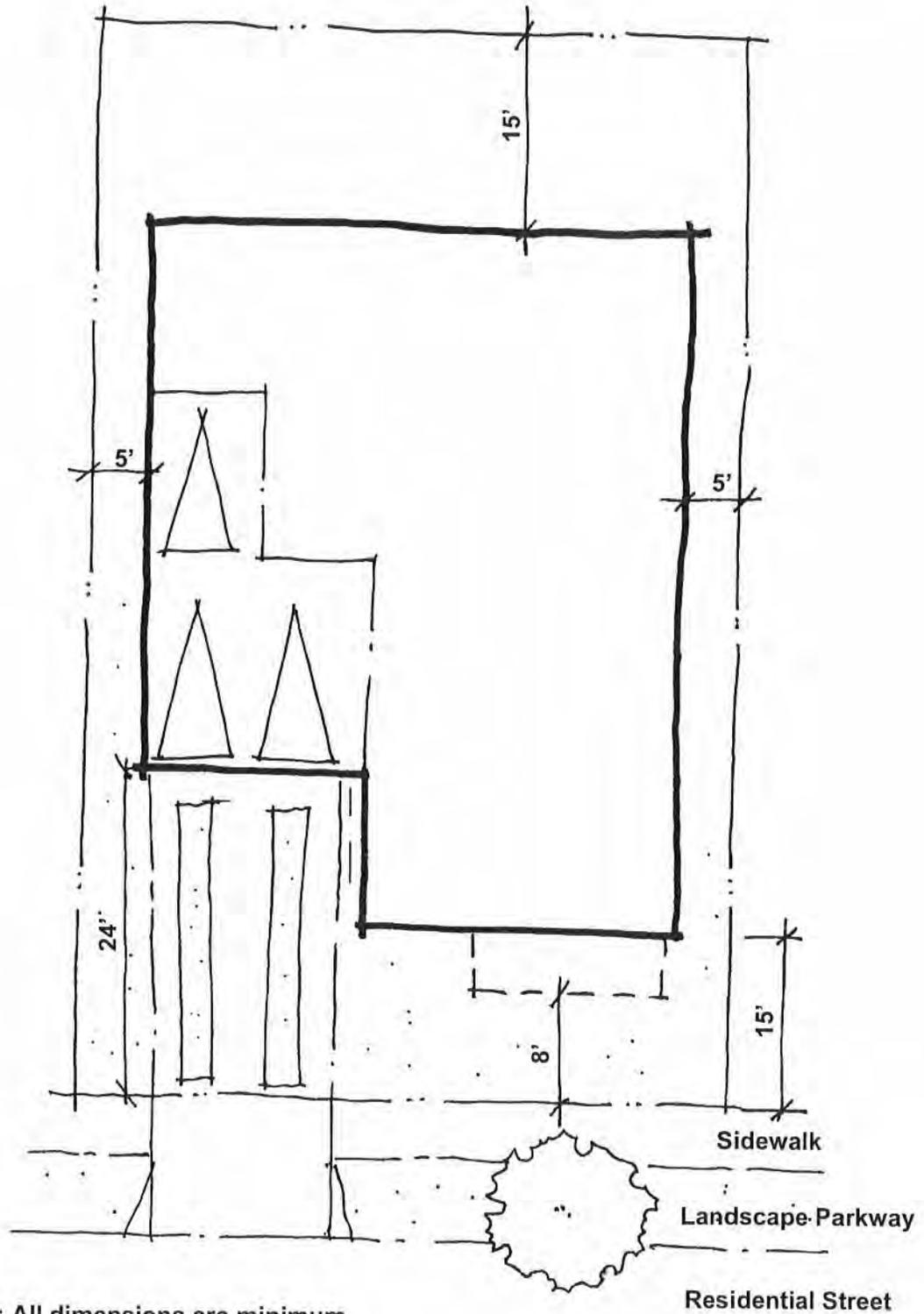
Garage Plotting Options

- 2 or 3 car garages
  - Shallow recessed
  - Deep recessed
  - Side entry
  - Split
  - Tandem



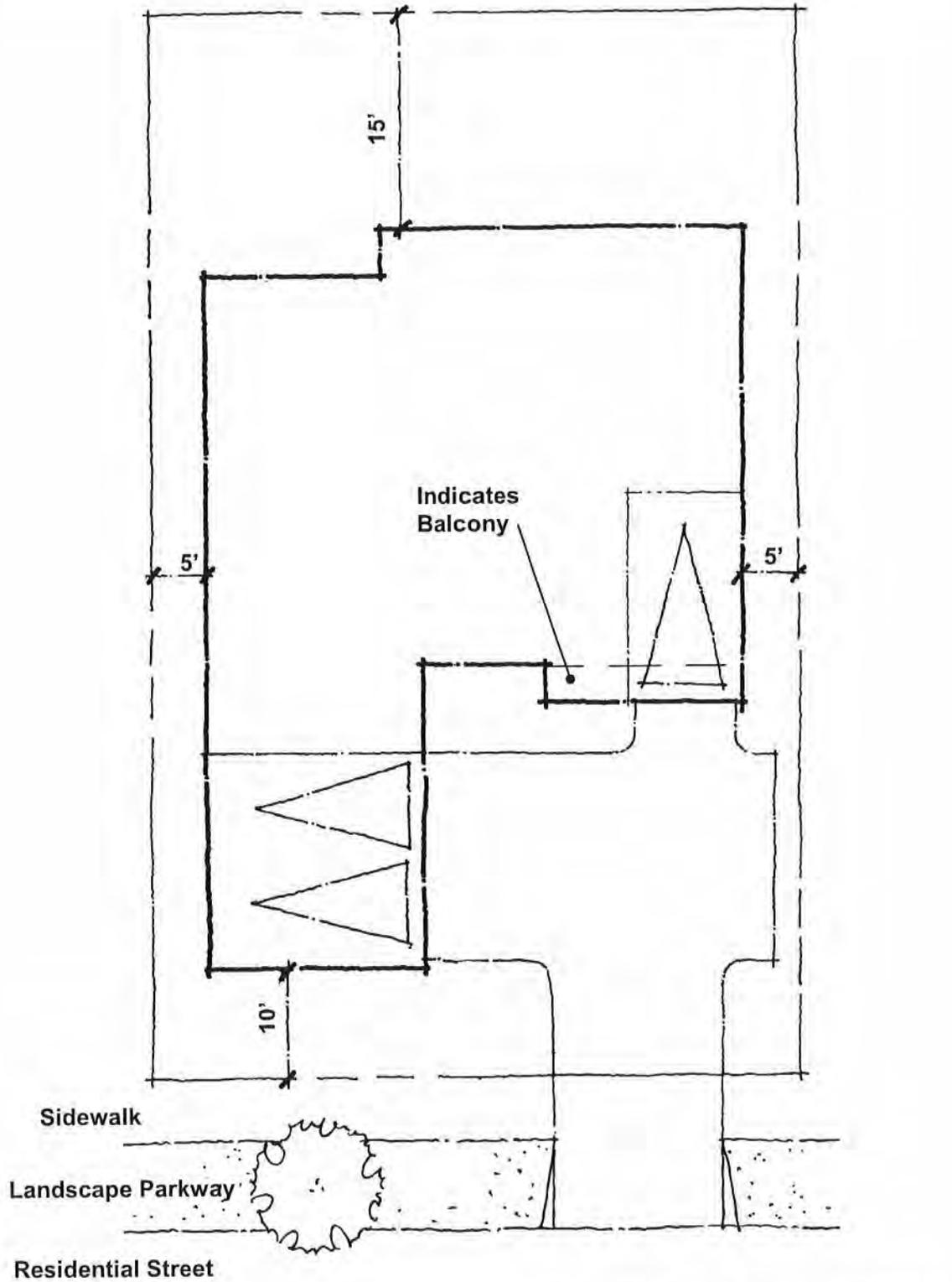
Note: All dimensions are minimum.

Figure II.4.4.2-8  
60 x 100 Lot - Shallow Recessed Tandem Garage Concept



Note: All dimensions are minimum.

Figure II.4.4.2-9  
60 x 100 Lot – Mid-Recessed Tandem Garage Concept



Note: All dimensions are minimum.

Figure II.4.4.2-10  
60 x 100 Lot - 2 Side Entry, 1 Front Entry Garage Concept

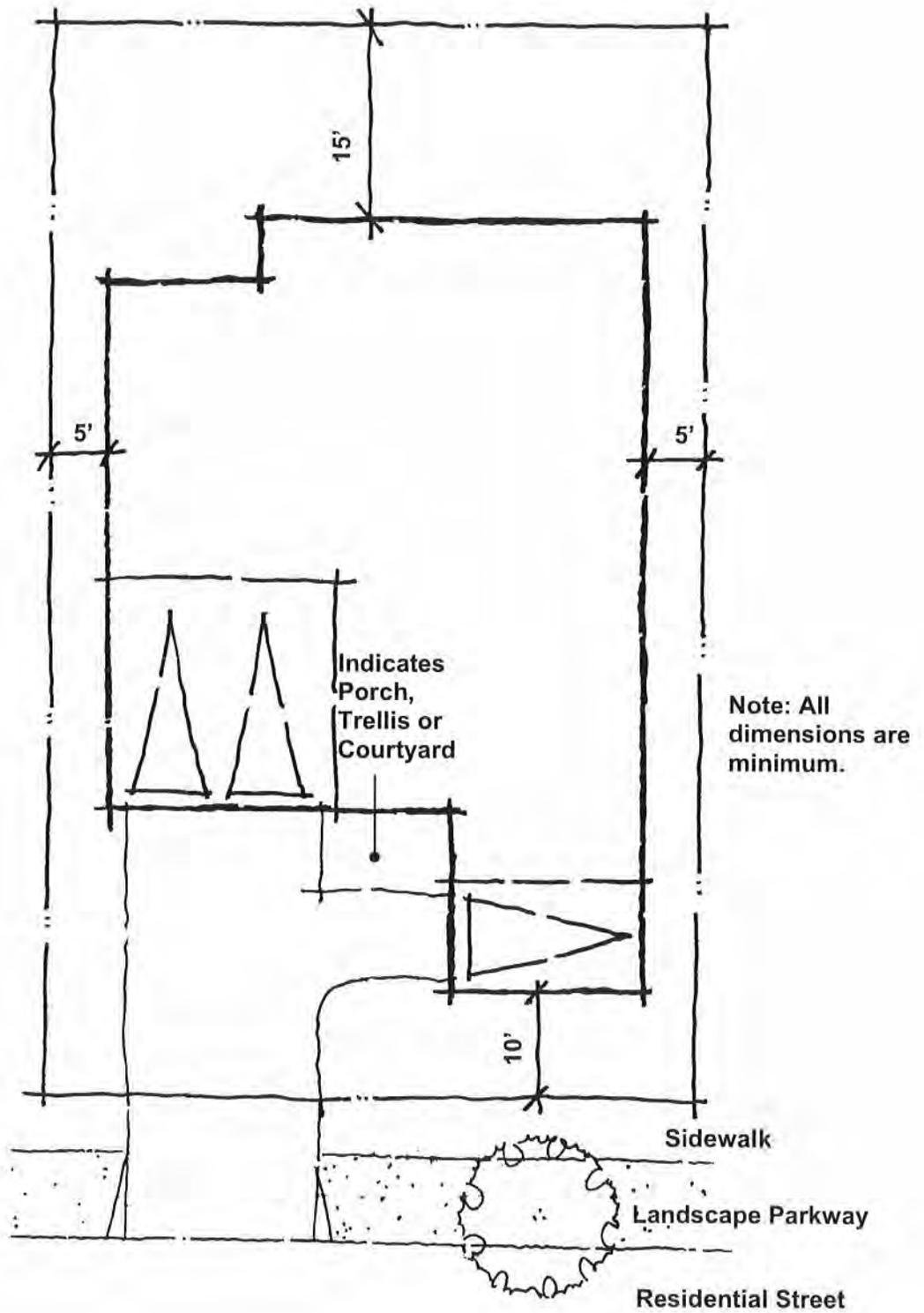


Figure II.4.4.2-11  
60 x 100 Lot – 1 Side Entry, 2 Front Entry Garage Concept

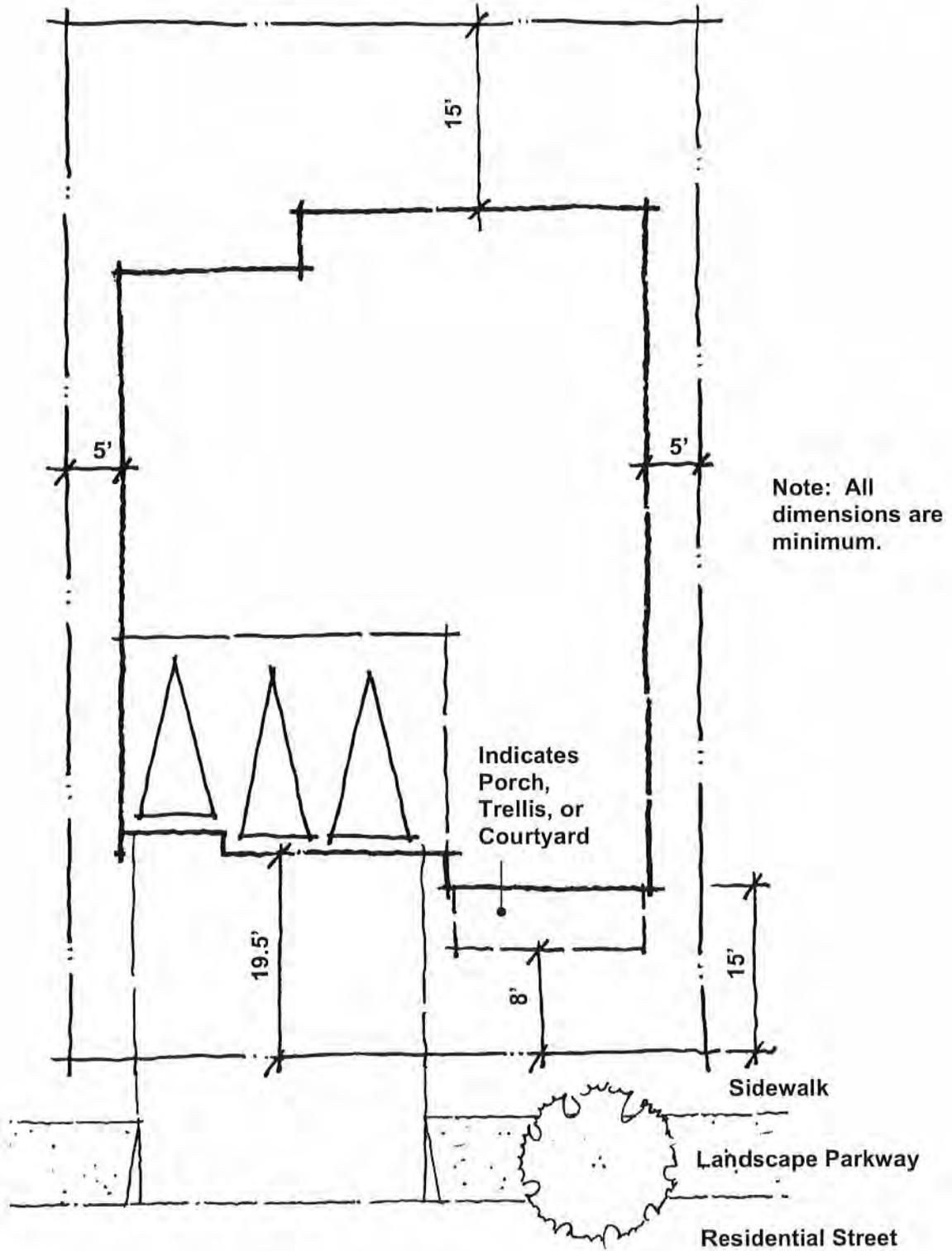


Figure II.4.4.2-12  
60 x 100 Lot – Shallow Recessed 3 Car Garage Concept

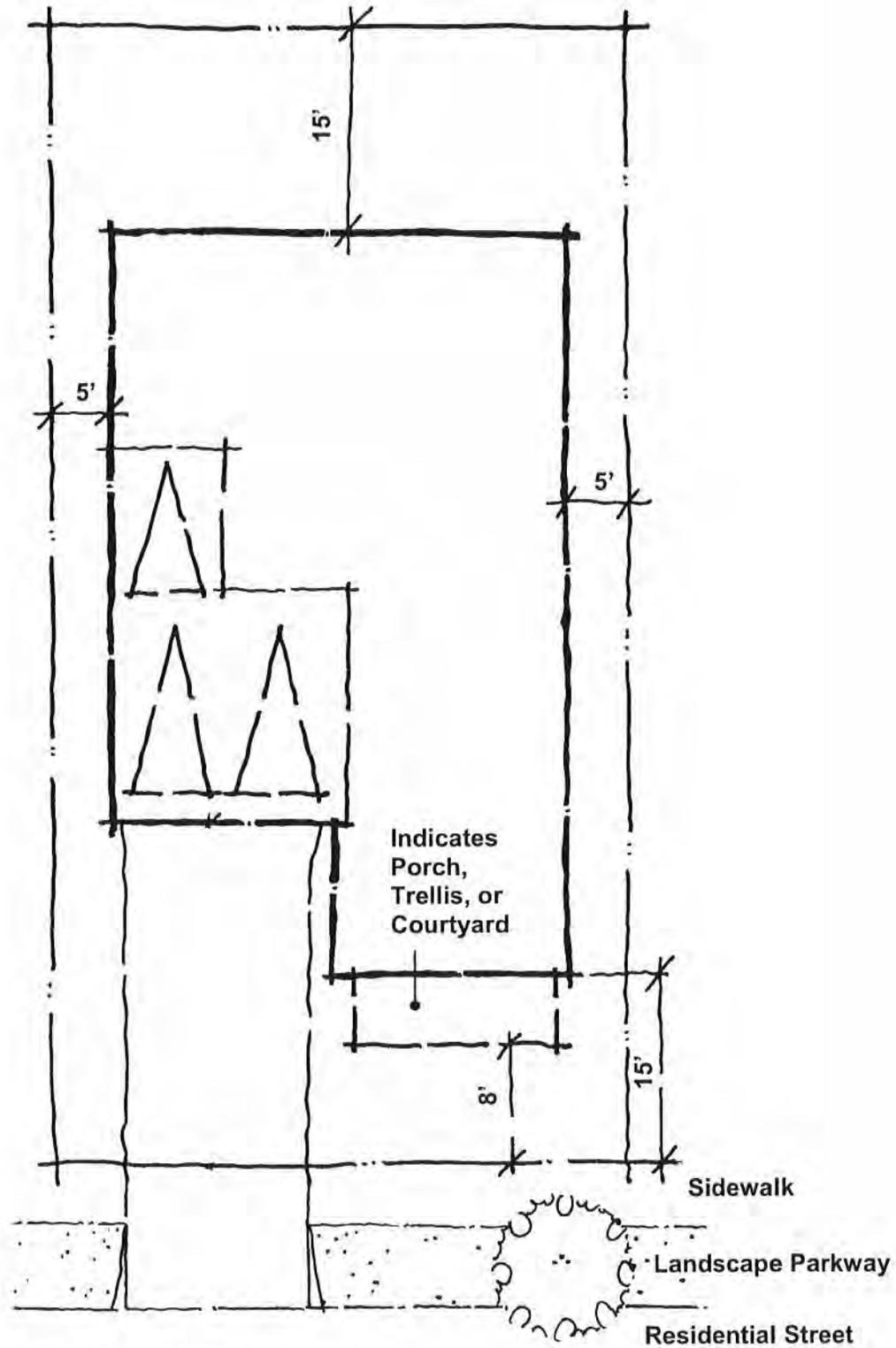
**50 x 100 Lot (5,000 SF) Plotting Concepts**

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients front doors and entries toward street where possible.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

Garage Plotting Options

- 2 or 3 car garages
- Shallow recessed
- Deep recessed
- Side entry
- Split
- Tandem



Note: All dimensions are minimum

Figure II.4.4.2-13  
50 x 100 Lot – Mid Recessed 3 Car Tandem Garage Concept

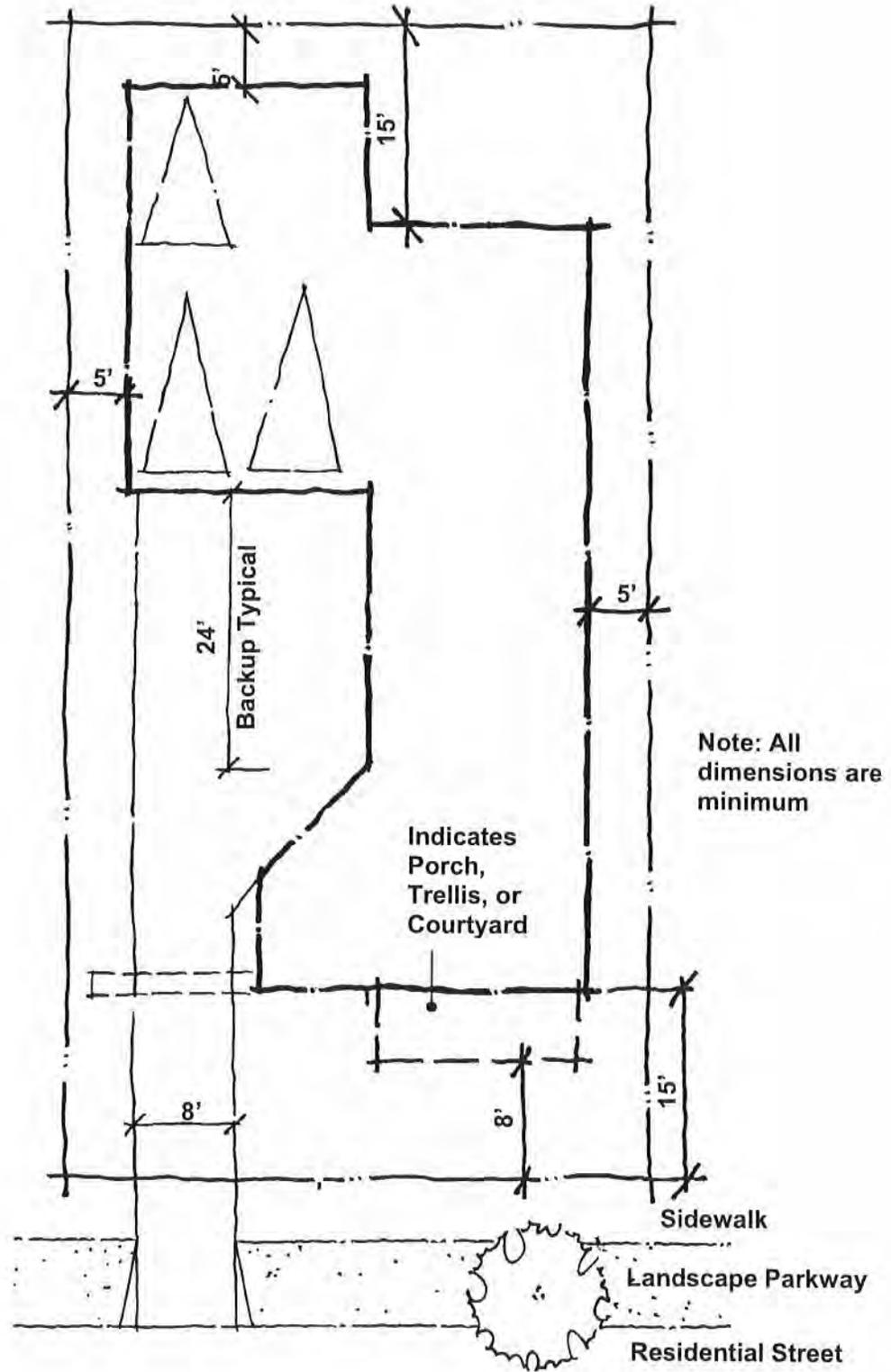


Figure II.4.4.2-14  
50 x 100 Lot – Deep Recessed 3 Car Tandem Garage Concept

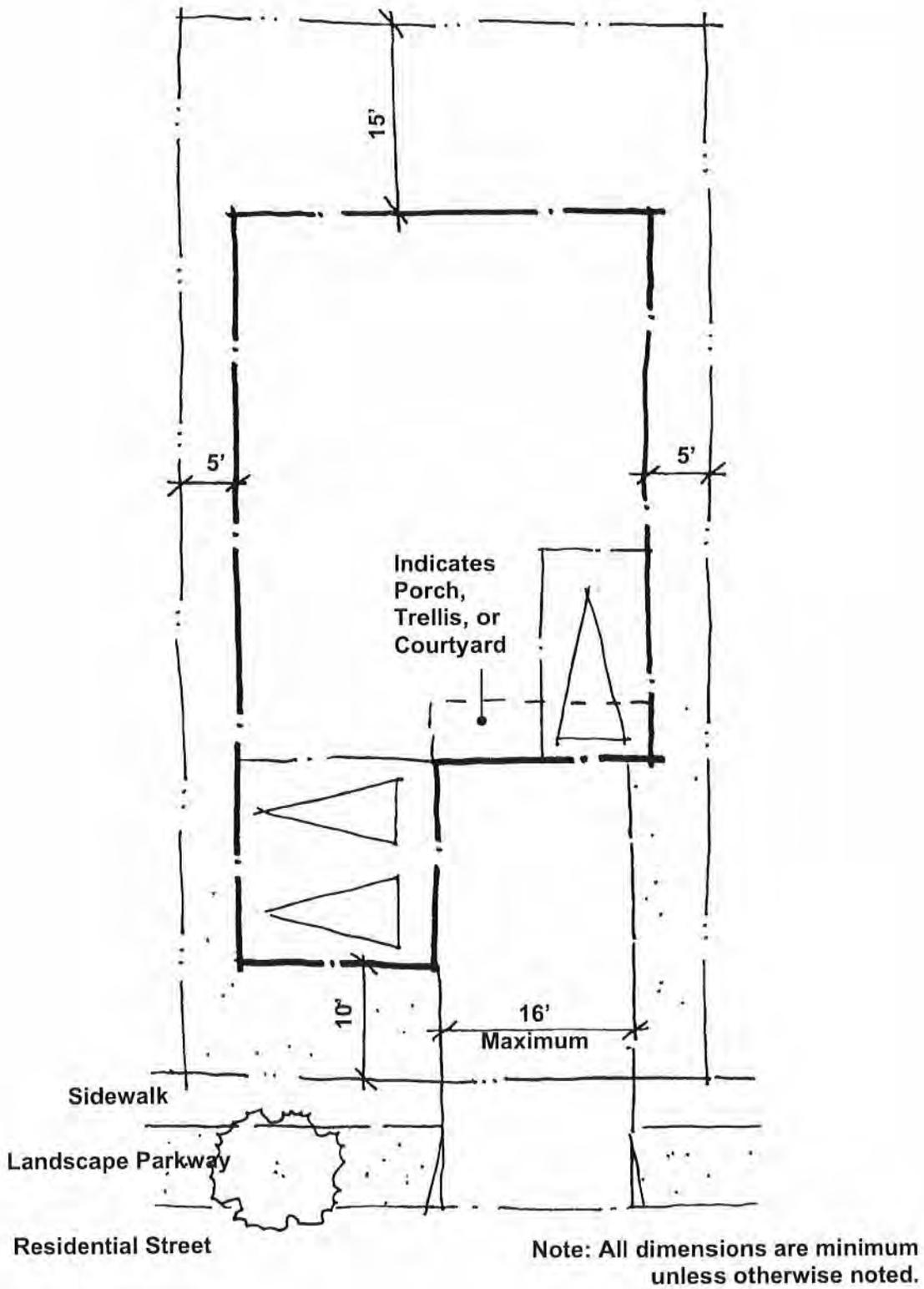
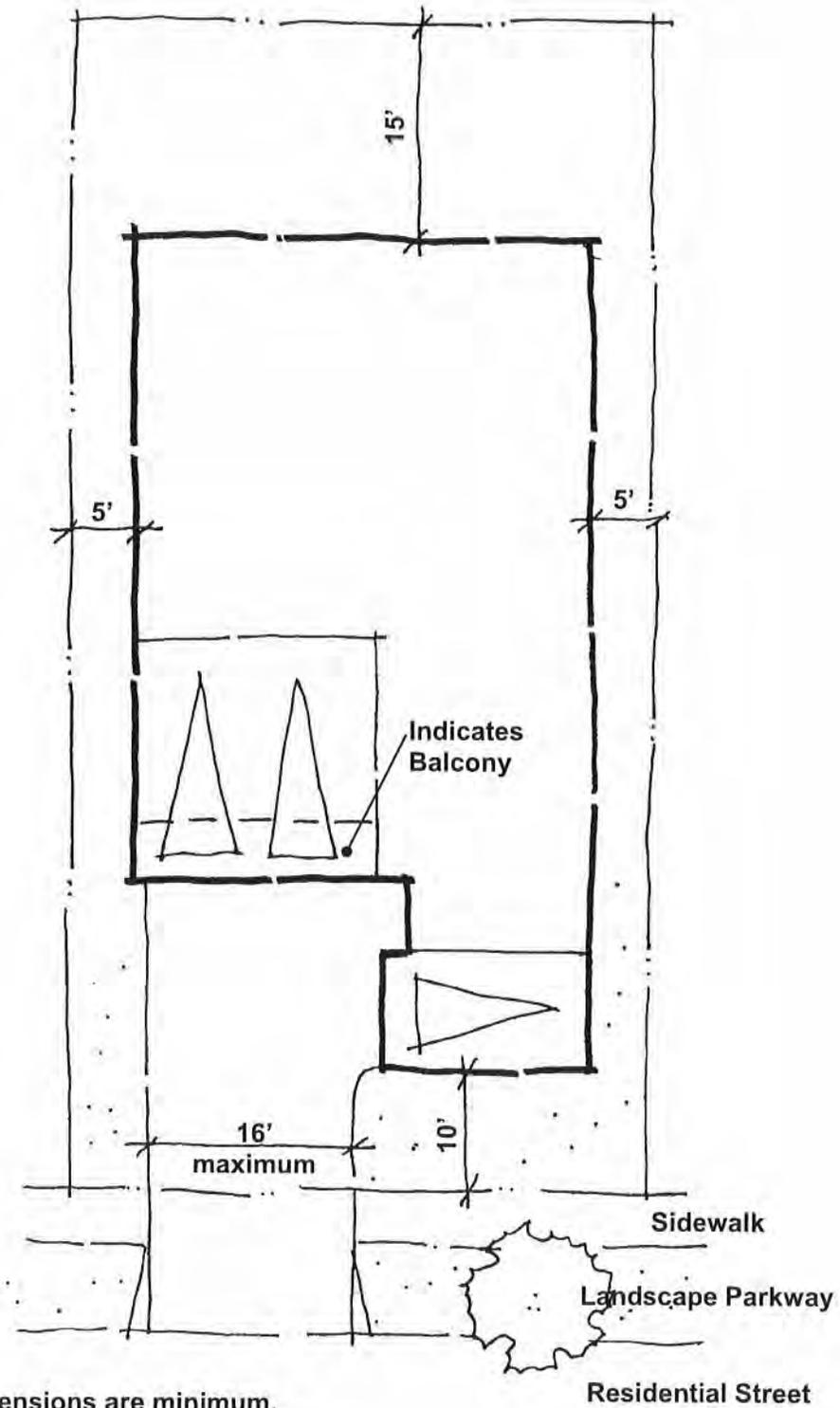


Figure II.4.4.2-15  
50 x 100 Lot – 2 Side Entry, 1 Front Entry Garage Concept



Note: All dimensions are minimum, unless otherwise noted.

Figure II.4.4.2-16  
50 x 100 Lot – 1 Side Entry, 2 Front Entry Garage Concept

**50 x 90 Lot (4,500 SF) Plotting Concepts**

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients front doors and entries toward street where possible.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

Garage Plotting Options

- 2 or 3 car garages
- Shallow recessed
- Deep recessed
- Side entry
- Split
- Tandem

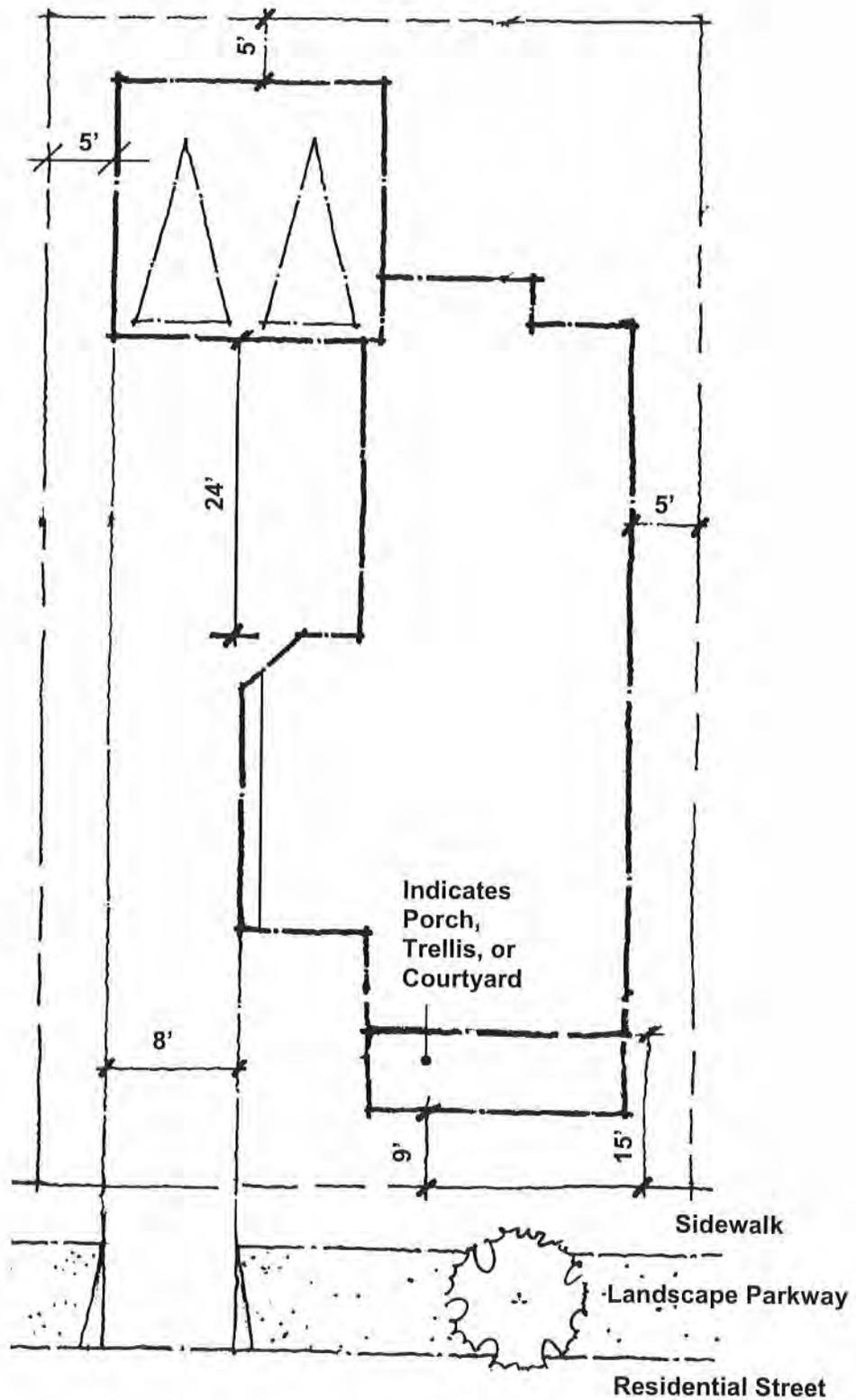
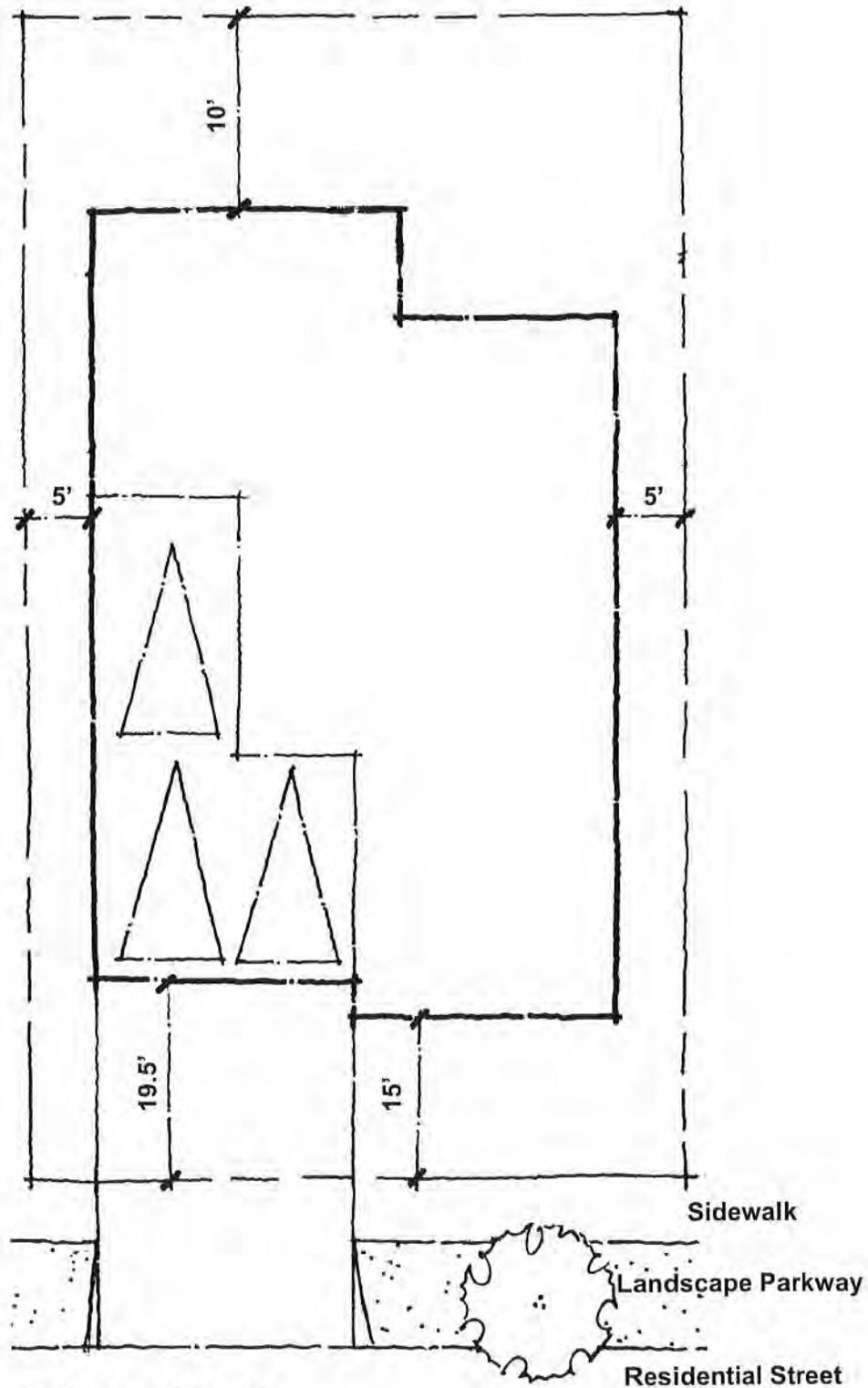
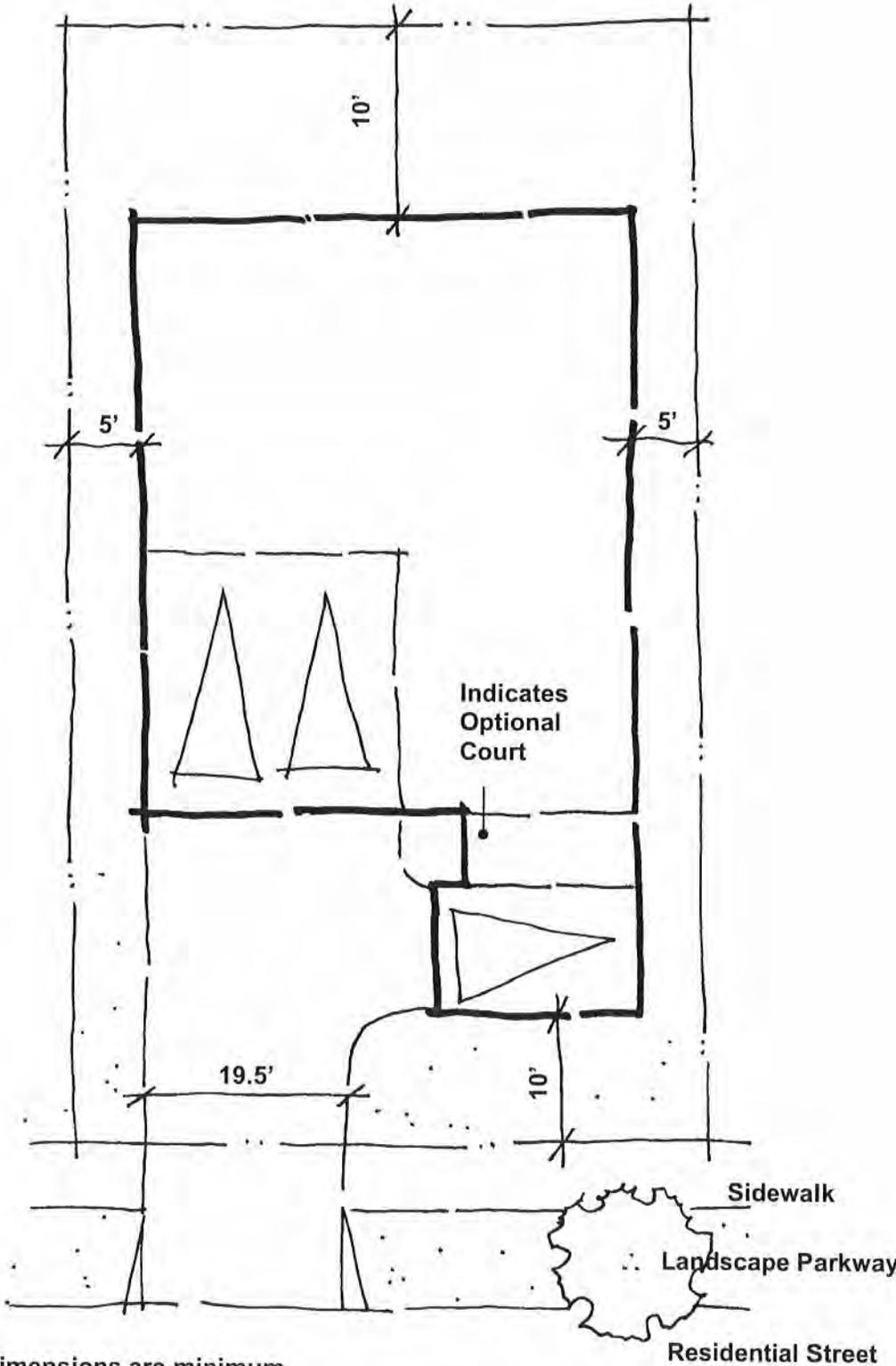


Figure II.4.4.2-17  
50 x 90 Lot – Deep Recessed Garage Concept



Note: All dimensions are minimum

Figure II.4.4.2-18  
50 x 90 Lot – Shallow Recessed 3 Car Tandem Garage Concept



Note: all dimensions are minimum

Figure II.4.4.2-19  
50 x 90 Lot – 1 Side Entry, 2 Front Entry Garage Concept

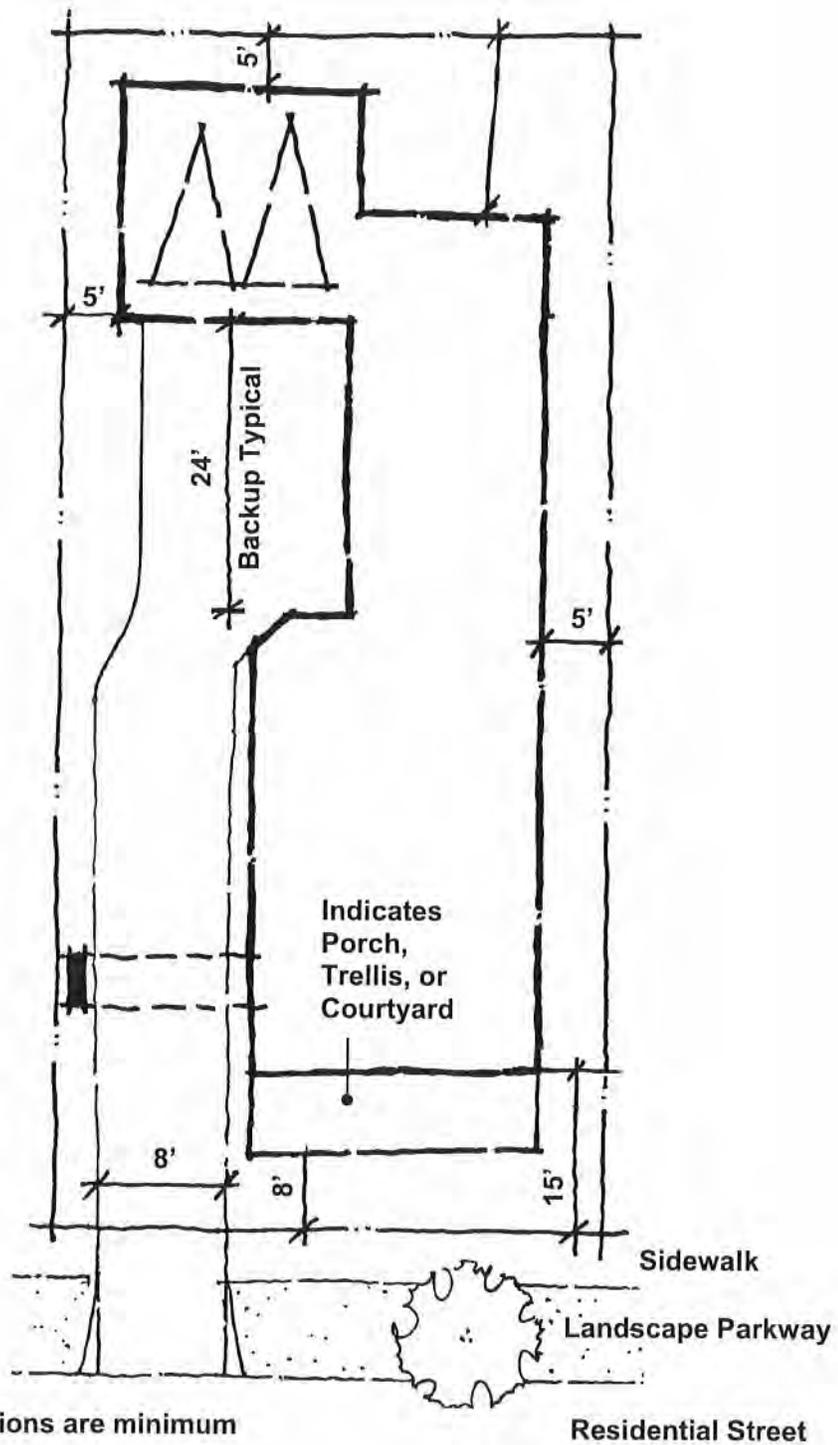
**45 x 100 Lot (4,500 SF) Plotting Concepts**

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients front doors and entries toward street where possible.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

Garage Plotting Options

- 2 car garages
- Shallow recessed
- Deep recessed
- Split
- Tandem for 3<sup>rd</sup> garage



Note: All dimensions are minimum

Figure II.4.4.2-20  
45 x 100 Lot – Deep Recessed Garage Concept



**45 x 90 Lot (4,050 SF) Plotting Concepts**

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients front doors and entries toward street where possible.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

Garage Plotting Options

- 2 car garages
- Shallow recessed
- Deep recessed
- Split

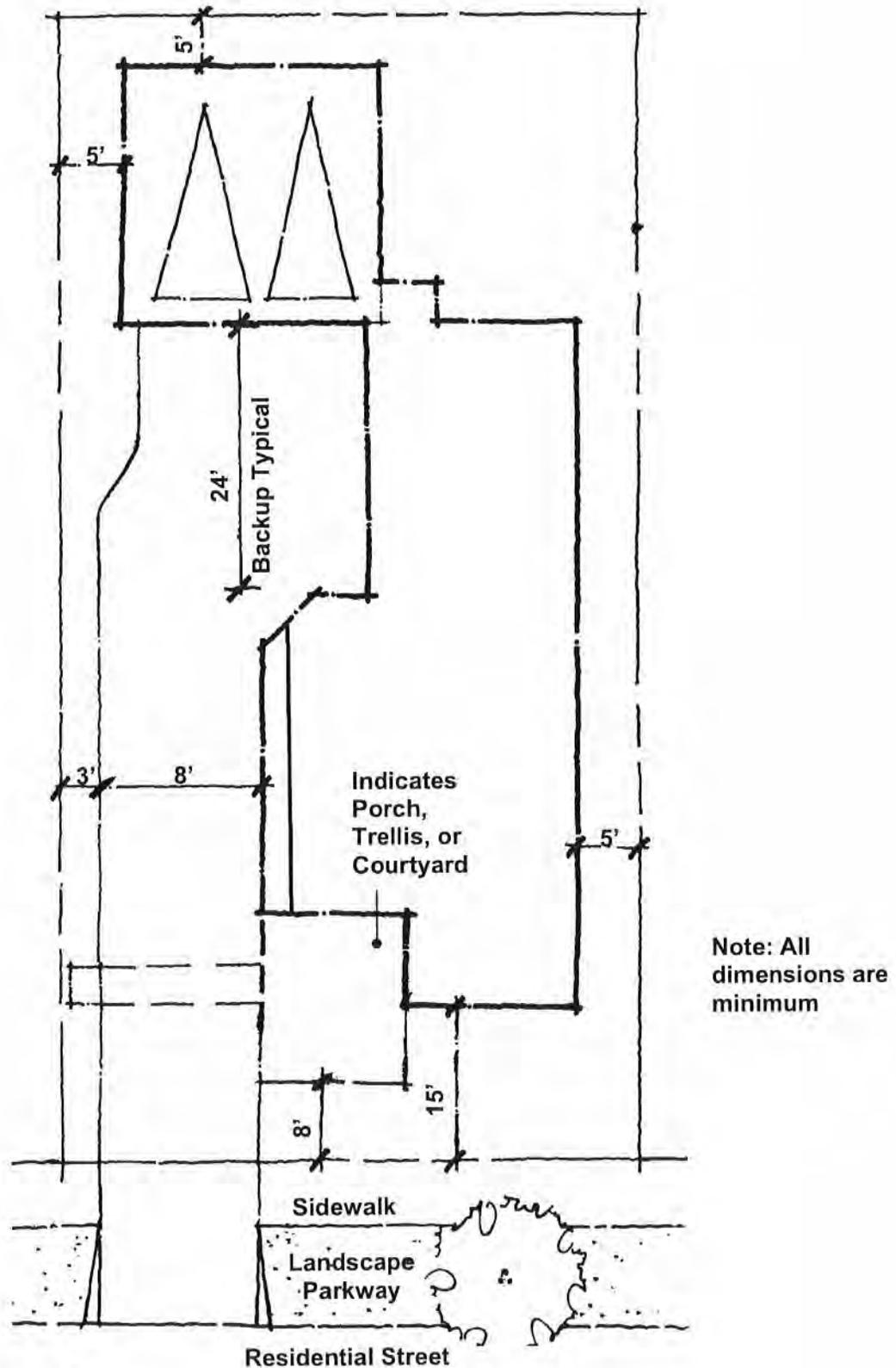
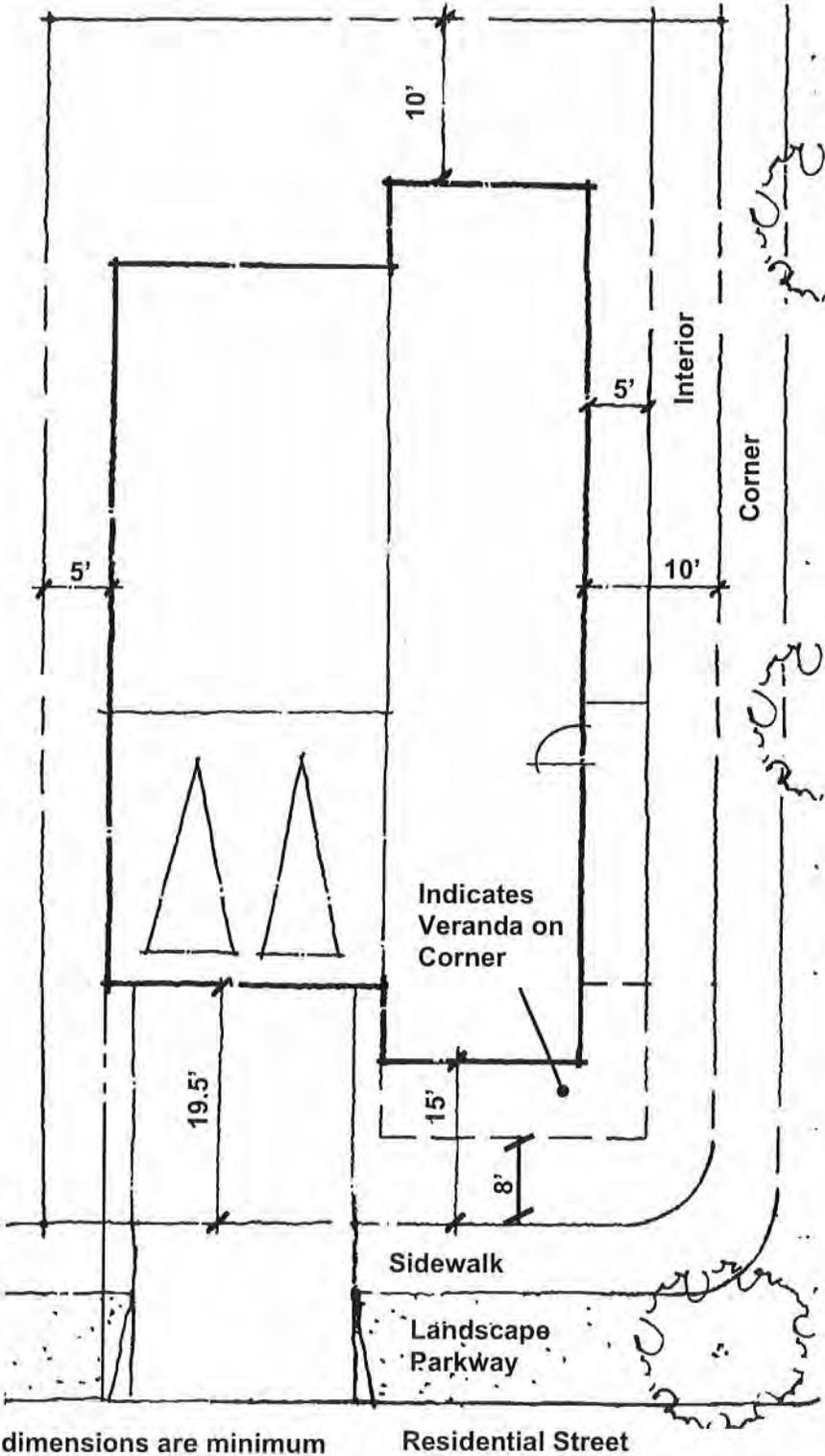


Figure II.4.4.2-22  
45 x 90 Lot – Deep Recessed Garage Concept



Note: All dimensions are minimum

Residential Street

Figure II.4.4.2-23  
45 x 90 Lot – Shallow Recessed Garage Concept

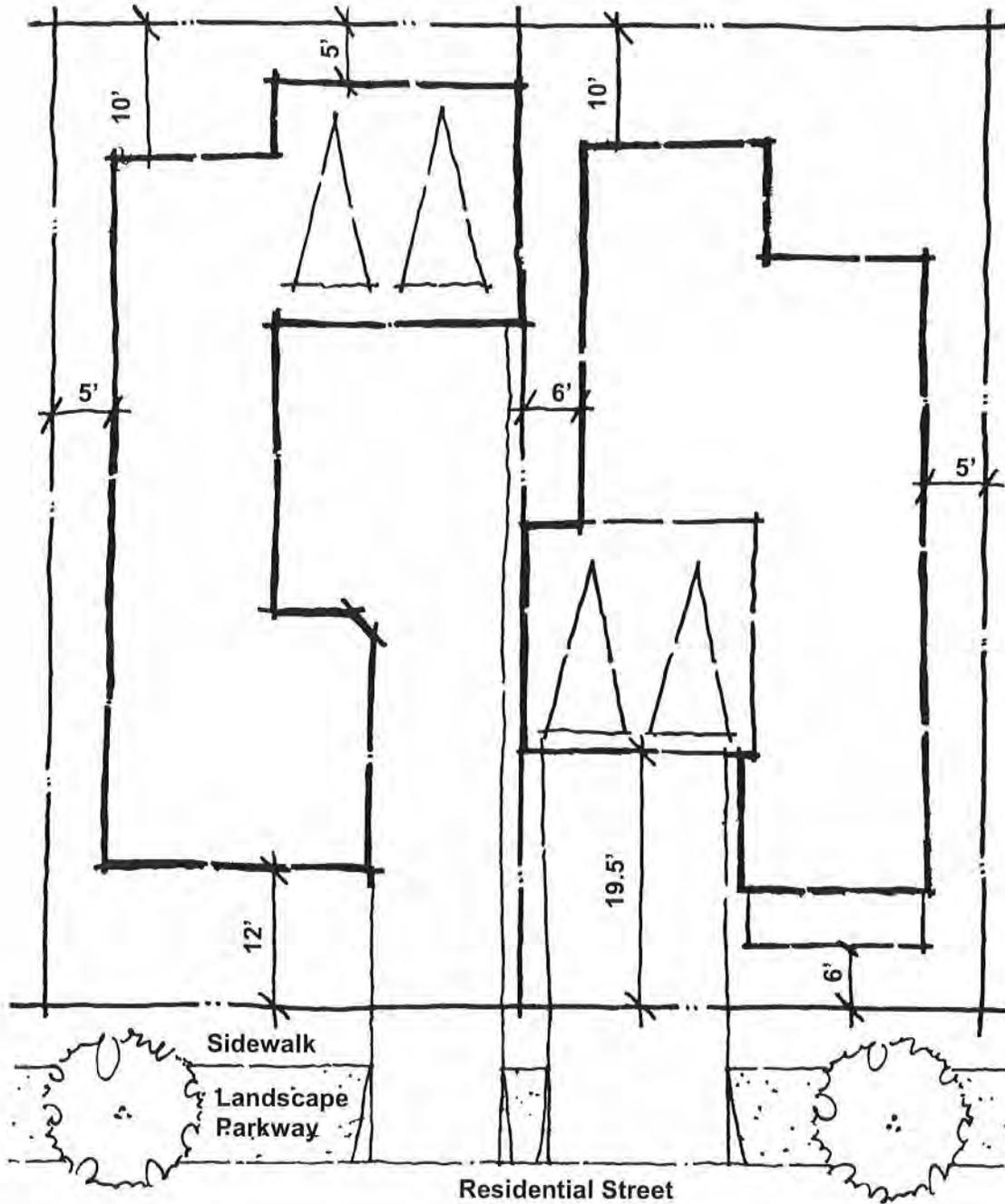
**40 x 90 Lot (3,600 SF) Plotting Concepts**

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entry features toward street with doors at front or side.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

Garage Plotting Options

- 2 car garages
- Shallow recessed
- Deep recessed
- Split



Note: All dimensions are minimum

Figure II.4.4.2-24  
40 x 90 Lot – Two Pack Layout, Zero Lot Line Configuration Concept

Note: All dimensions are minimum.

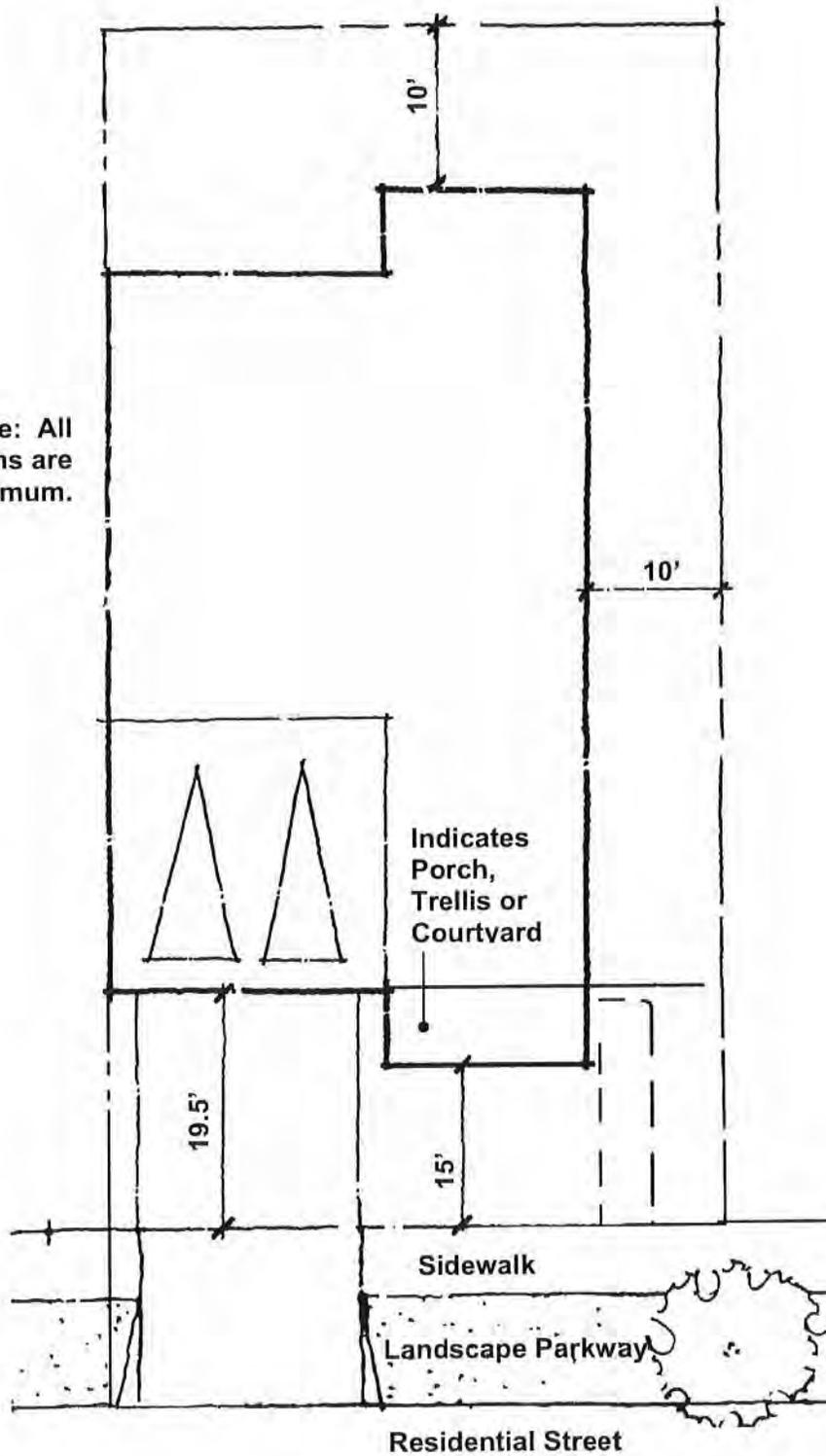


Figure II.4.4.2-25  
40 x 90 Lot – Zero Lot Line Configuration Concept

### **40 x 85 Lot (3,400 SF) Plotting Concepts**

#### Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entry features toward street with doors at front or side.
- Provides for private, usable rear yards.
- Curb separated sidewalks provides a traditional tree-lined foreground for homes.

#### Garage Plotting Options

- 2 car garages
- Shallow recessed
- Deep recessed

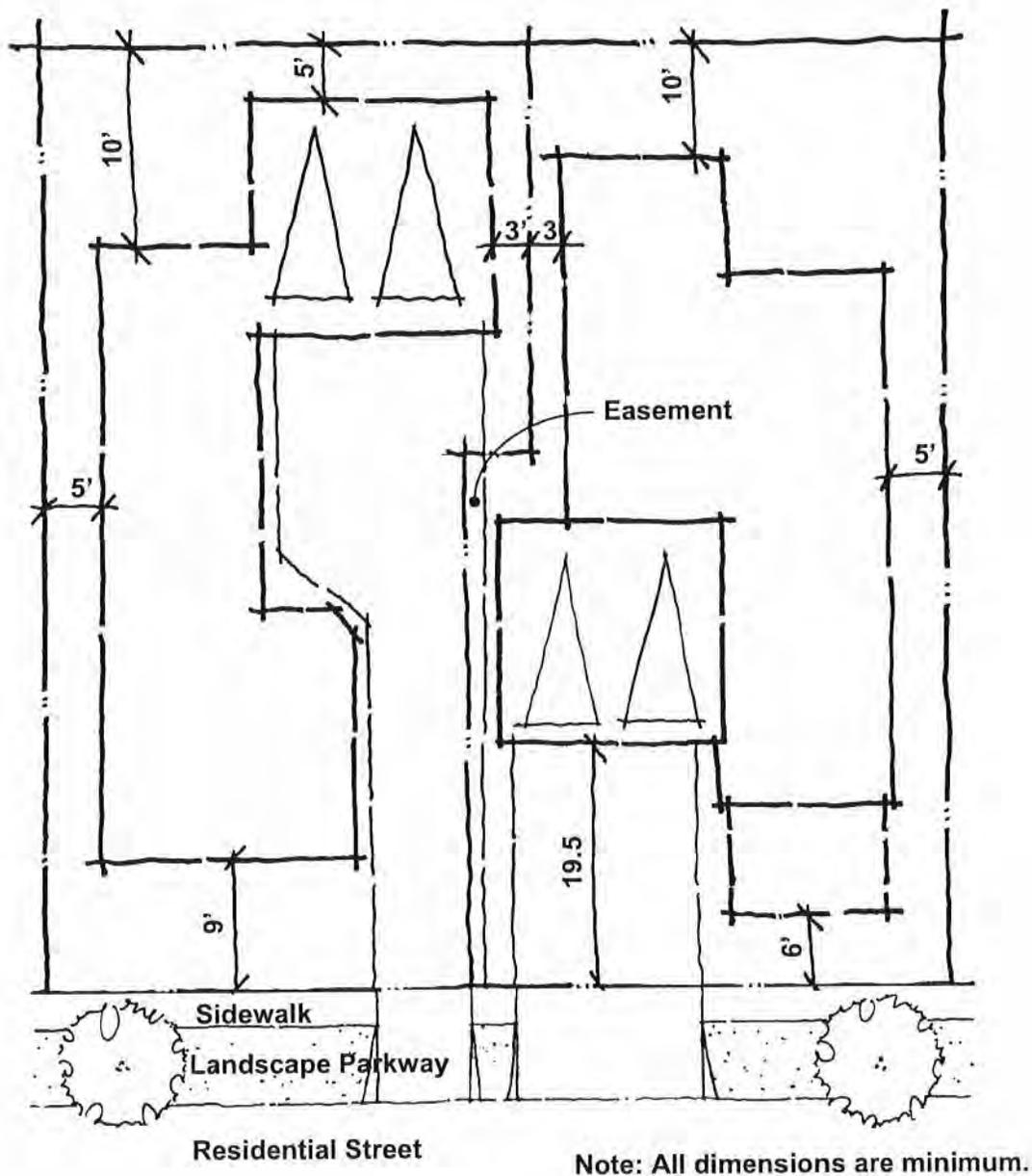


Figure II.4.4.2-26  
40 x 85 Lot – Two Pack Z Lot Layout Configuration Concept

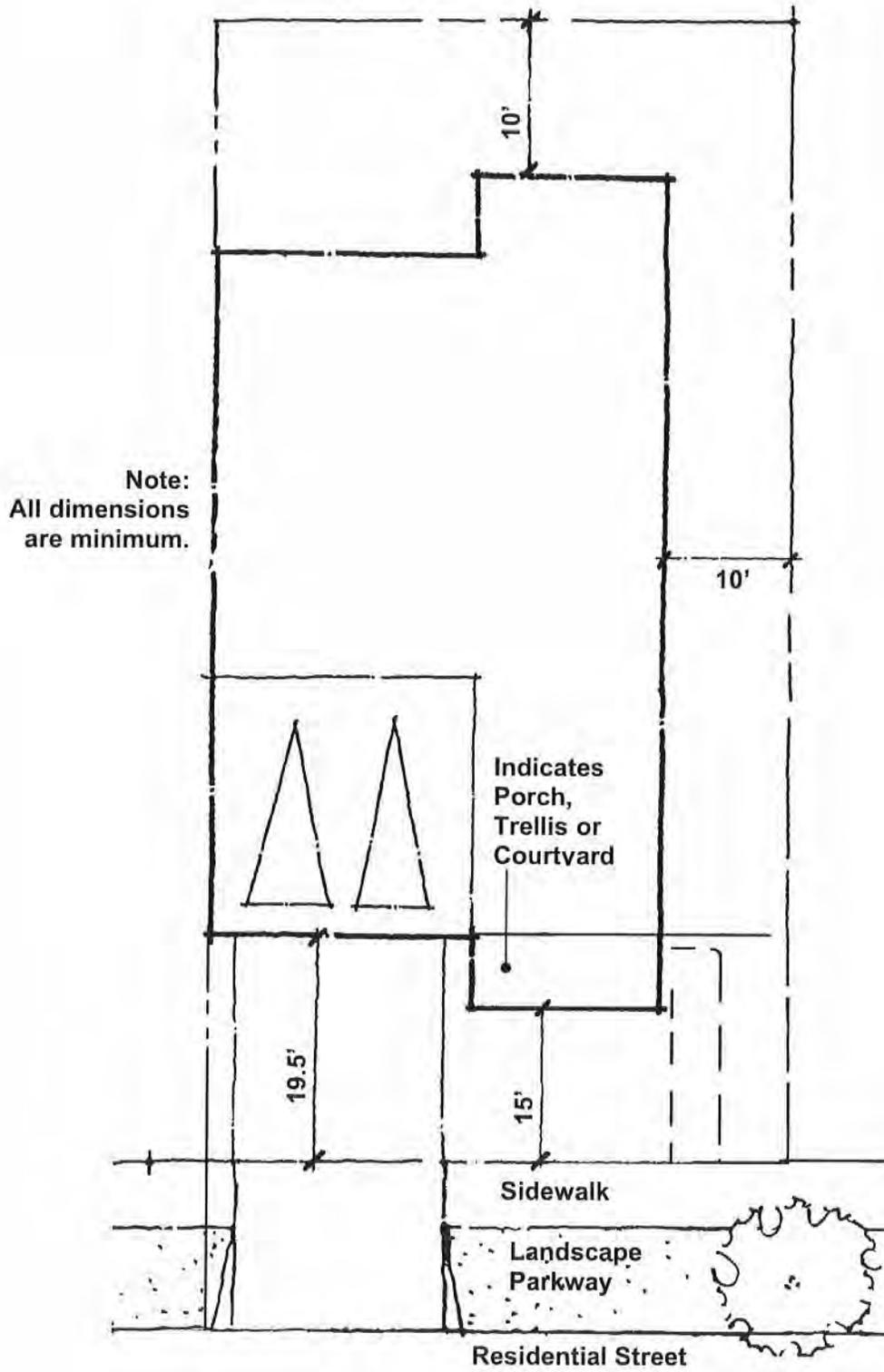


Figure II.4.4.2-27  
40 x 85 Lot – Zero Lot Line Configuration Concept

**II.4.5 Multifamily Residential Design**

## **II.4.5 MULTI-FAMILY RESIDENTIAL DESIGN**

### **II.4.5.1 Architectural Themes**

The multi-family residential neighborhoods are located in the western portion of Village Eleven. As a fundamental component of the village core, the architecture of multi-family development should be compatible with the Irving Gill architectural theme of the village core community buildings. The appropriate architectural styles are described in the previous Section II.4.4.1-1, Single Family.

Multi-family residential in Village Eleven may include a variety of housing types, ranging from small lot, detached homes, to medium to high-density townhouses and flats. Figures II.4.5.1-1 through 3 illustrate historic and contemporary applications of appropriate architectural styles for a range of multi-family housing densities.



Historical Reference



Historical Reference

**Figure II.4.5.1-1**  
**Inspiration Imagery – Courtyard and Small Lot**



Historical Apartments



Contemporary Townhomes

**Figure II.4.5.1-2**  
**Inspiration Imagery – Medium to Medium High Density**



Historical Reference



Modern or Current Applications

**Figure II.4.5.1-3**  
**Inspiration Imagery – Medium High to High Density**

#### II.4.5.2 Pedestrian-oriented Design

The pedestrian-oriented village concept is enhanced by the intensity of multi-family development in the village core located in proximity to public transit, shopping, and community facilities. It is anticipated that residents of multi-family developments will take advantage of the available opportunities to walk to neighboring shops, the town square and pedestrian park. Pedestrian access and amenities are fundamental components of the village core. The siting, access, entries and architecture of multi-family development should complement the pedestrian orientation of the village.

Multi-story attached developments, such as townhomes and apartments are the primary focus of the guidelines in this section. The small lot, detached residential developments within the multi-family category shall adhere to the guidelines for single family residential development. However, examples of site planning for small lot residential development are included in this section to identify the particular site requirements of that type of housing.

#### Façade Elements

Multi-family residential development should be designed to promote variety and enhance the human-scaled pedestrian activity of the village. The following guidelines suggest methods for creating vital, interesting architecture:

- Developments should be unique, but share fundamental architectural characteristics consistent with the village theme styles.
- Building elevations that are visible from all village and major roadways shall be articulated with elements such as wall offsets, balconies, and windows, appropriate to the architectural style.
- The architectural style along the same street or within an individual development shall be compatible through the use of similar building heights, materials, window or door style, detailing, porches, arcades, overhangs, roofing or color.
- Varied building elements and roof pitches should be employed to avoid monotony.
- Each development shall provide a well-articulated, identifiable pedestrian entry oriented towards the village street.
- Distinctive building elements shall be oriented towards the corners of prominent village core and entry street intersections.
- Street facing facades shall incorporate a range of scale-defining elements that relate larger building masses to the scale of the pedestrian. Elements may include trellises, columns, archways, doorways, porches or patios and upper floor balconies and windows.
- Individual residential unit entries shall be oriented towards the village streets wherever possible.
- Internal residential units shall be connected to the village streets by courtyards or landscaped walkways wherever possible.

- Stairs shall be sensitively designed and integrated into the overall building design.
- Utilitarian areas, including parking, loading, mechanical equipment and trash enclosures, shall be screened from view from village streets to the extent possible.

Figure II.4.5.2-1 illustrates pedestrian-oriented design elements for multi-family developments.



Residential Entries from Street



Balcony



Window



Porch



Trellis

Figure II.4.5.2-1  
Pedestrian-oriented Design Elements

**Parking, Carport and Garage Design**

Views of parking areas, carports and garages should be minimized to create the pedestrian-oriented village. Section II.4.4, Single Family Residential, provides guidelines for the design of garage facades that may also be applied to multi-family garages. The following guidelines provide direction for location and design of multi-family parking facilities and Figure II.4.5.2-2 illustrates some design options:

- Parking and vehicular access shall be located to the rear or within each development and separated from the pedestrian-oriented street frontage.
- Site planning and architectural treatments, such as offsets, should be used to minimize the appearance of garage corridors.
- Carports and freestanding garages shall be architecturally treated and designed to match the architectural style of residential buildings.
- All surface and covered parking within multi-family areas shall be separated from village streets, tops or toes of slopes, patios or courtyards with a landscaped buffer. The buffer shall include screening elements such as low walls or masses of shrubs to screen headlights and glare from reflective car surfaces.



Architecture Minimizes Garage



Side Entry Garage



Alley-Accessed Garages



Garage Court

Figure II.4.5.2-2  
Garage Design Options

**Site Planning and Building Plotting**

The site planning and plotting of multi-family residential buildings will contribute to the pedestrian-oriented village concept. Site planning which focuses on the pedestrian includes design that orients entries towards village core streets and minimizes views to garages and parking areas. The following guidelines are provided for siting and building plotting of multi-family developments.

- Developments fronting on to village core streets shall be oriented towards the street with reduced setbacks, multiple entries and pedestrian connections to ground floor units.
- Buildings should be oriented to create outdoor rooms, such as courtyards, connected by landscaped walkways in the Irving Gill-inspired village design theme.
- Building orientation should consider indoor and outdoor privacy, noise, solar access and overall aesthetic appearance.
- Where grade differentials occur between the street and a development, the differential may be used to create separation between the public street and private living space. Interesting entries incorporating steps, porches or landings may be integrated into the design.
- Developments adjacent to major streets surrounding the village and adjacent to village entry streets may be buffered with sound and privacy walls. Walls and view fences located along village entry streets shall incorporate inviting entry openings for both pedestrians and cars.
- The building architecture that is visible beyond sound and privacy walls shall be well-articulated with pedestrian-oriented features, such as second story windows and balconies.
- On village core streets, the use of solid masonry walls should be minimized and used primarily between buildings to screen parking areas or to enclose private entries and courtyards.

**Building Lot Schematics**

A wide variety of housing types are suitable for Village Eleven and creative site planning solutions are encouraged. The following Figures II.4.5.2-3 through 12 illustrate site planning and building plotting for small lot, townhome and apartment developments. These examples are not intended to be all-inclusive or restrictive. The following plotting concepts list minimum setbacks, however, these may be reduced or modified through the Design Review process. That process provides for consideration of unique site planning and architectural solutions for multi-family housing.

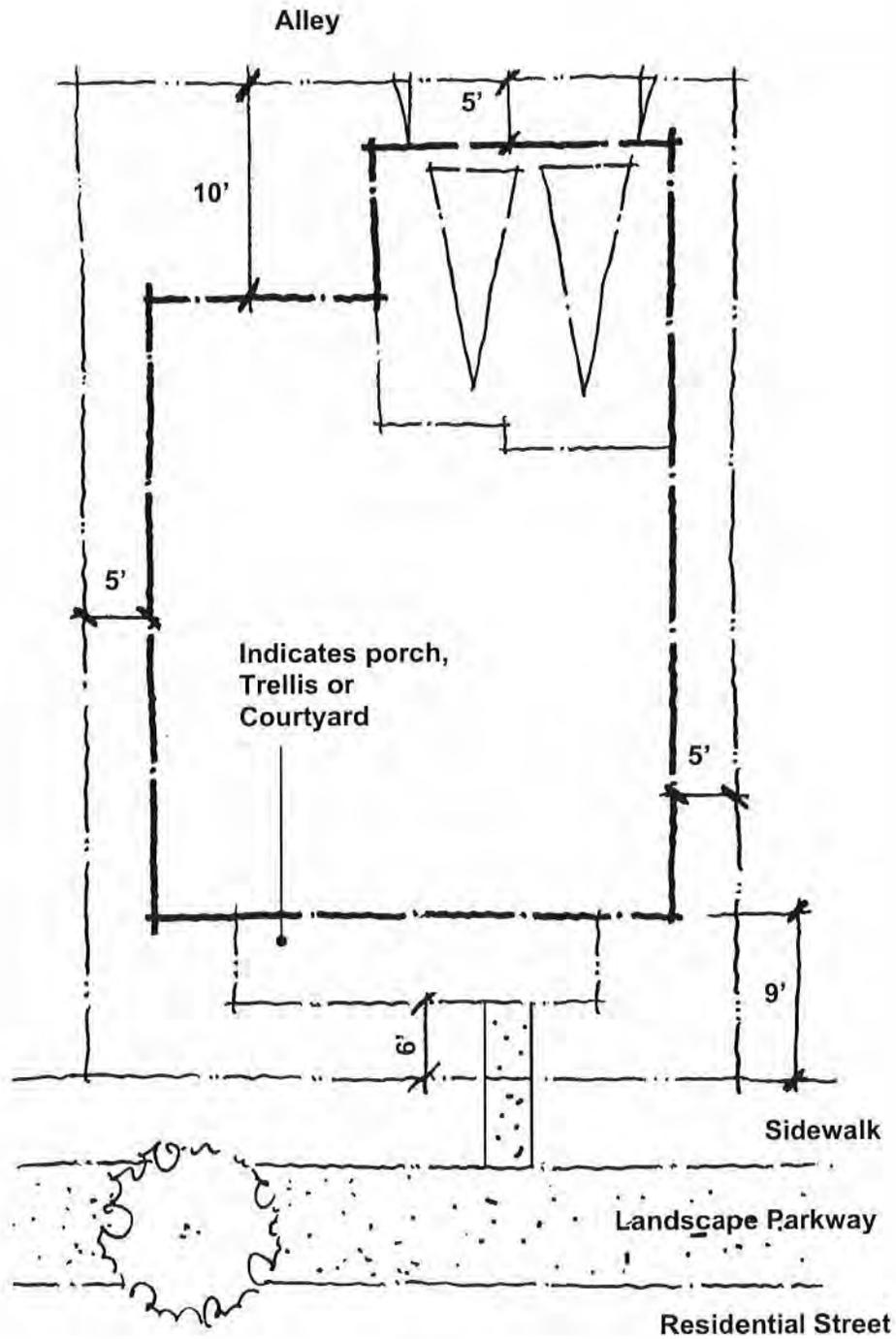
**Small Lot Residential (Multi-Family Land Use)**

Characteristics:

- Optimizes architecture on the street frontage.
- De-emphasizes garages through varied plotting design.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entry features toward street with doors at front or side.
- Provides for private, usable rear yards.

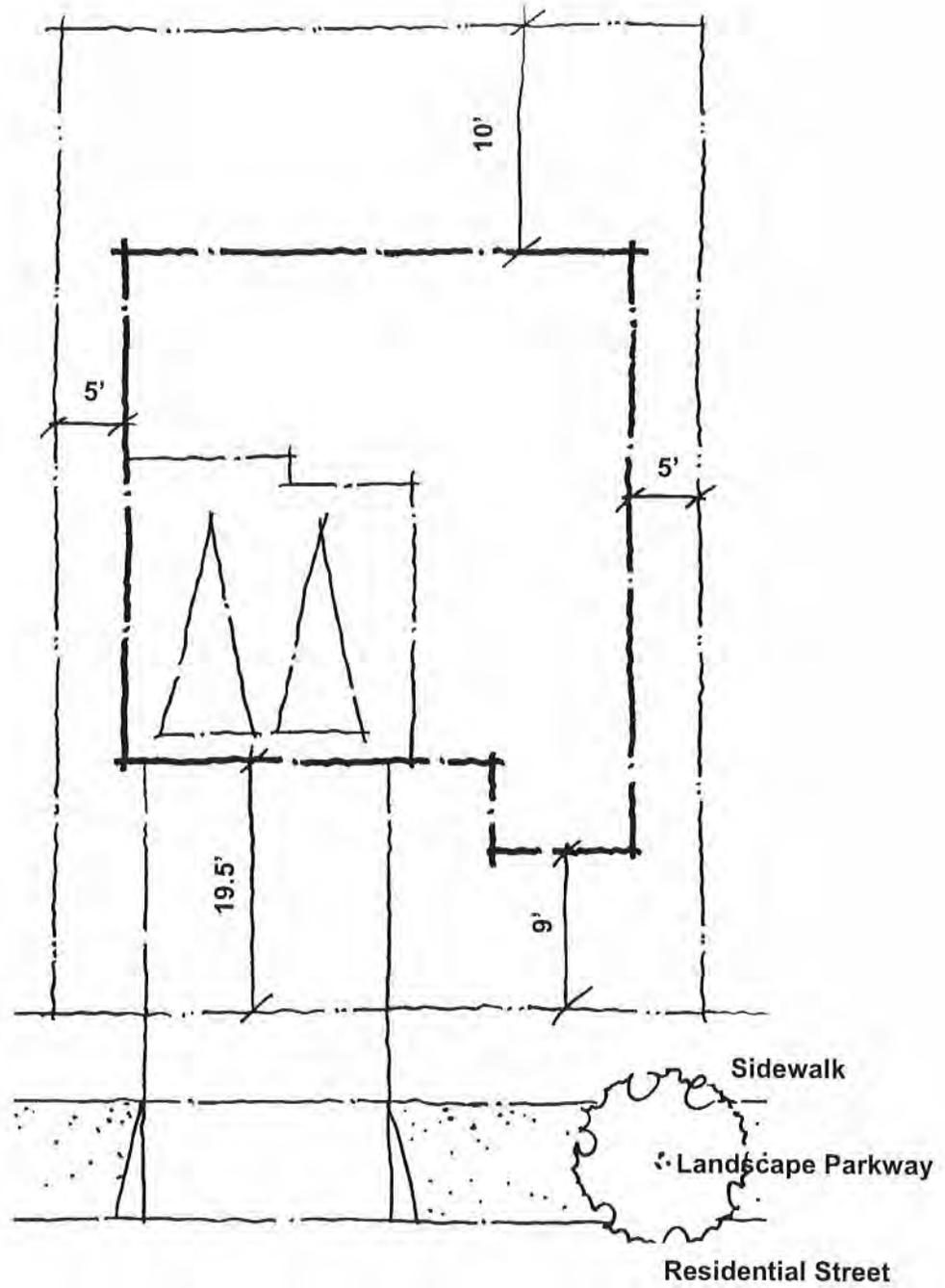
Garage Plotting Options

- 2 car garages
- Shallow recessed
- Deep recessed
- Alley entry
- Parking court



Note: All dimensions are minimum.

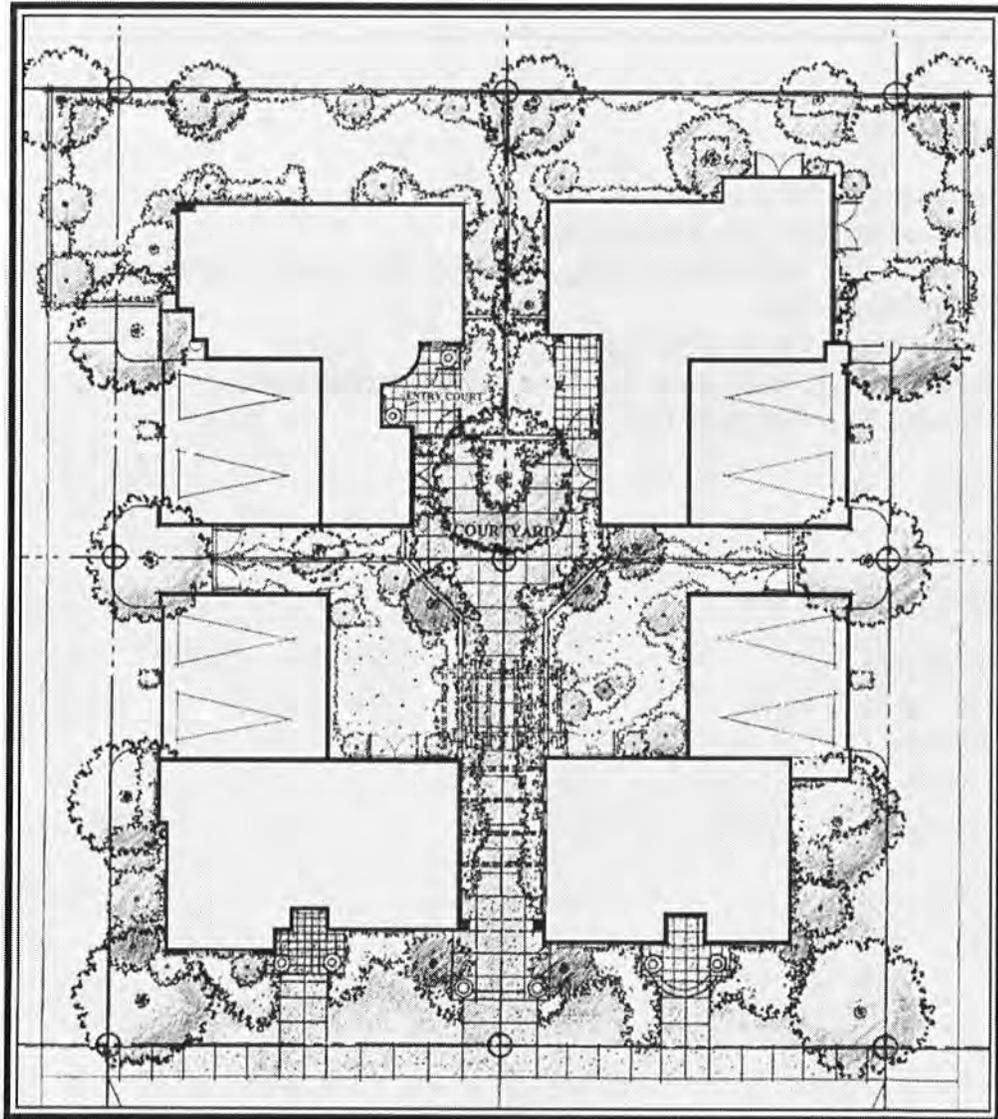
Figure II.4.5.2-3  
40 x 70 Small Lot Alley Entry 2-Car Garage Concept



Note: All dimensions are minimum.

Figure II.4.5.2-4  
40 x 70 Small Lot Front Entry 2-Car Garage Concept





Taylor Woodrow  
Alley Loaded w/ Courtyard  
Builder Magazine August 2000  
Carmelita @ Woodlands

Figure II.4.5.2-6  
Small Lot Alley Entry Courtyard Cluster Concept

**12.5 – 15 du/ac Townhomes**

Characteristics:

- Optimizes architecture on the street frontage.
- Garages located in alleys or parking courts.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entries toward street or interior pedestrian courtyards or walkways.
- Provides for private open space.

Garage Plotting Options

- Alley entry
- Internal street
- Tandem
- Carport

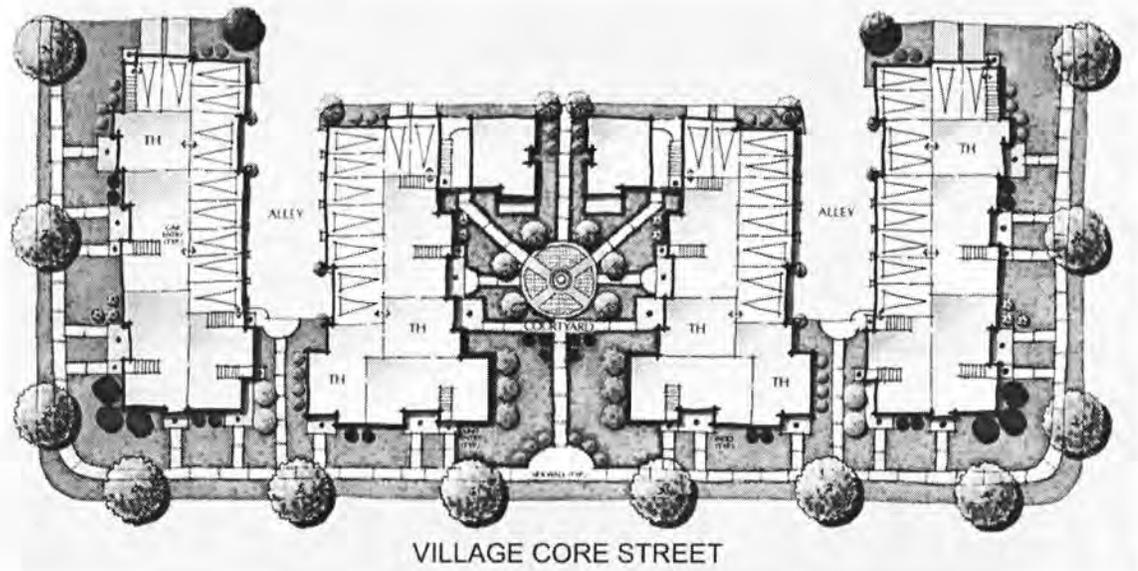


Figure II.4.5.2-7  
12.5 – 15 du/ac 2 Story Courtyard Townhomes Concept

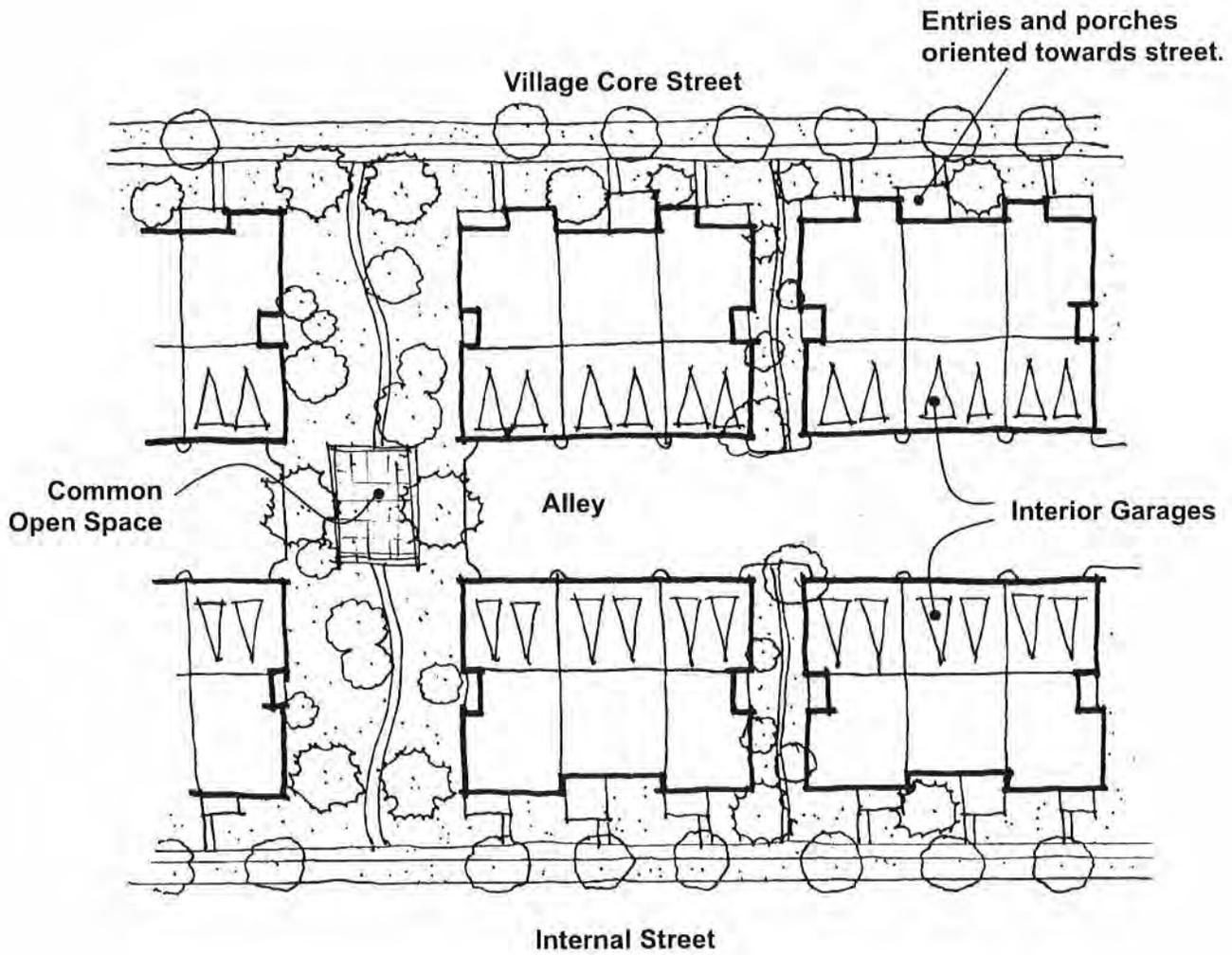


Figure II.4.5.2-8  
12.5 – 15 du/ac 2 Story Common Green Townhomes Concept

**15 –18 du/ac 2 and 3-Story Townhomes with Carriage Units or Flats**

Characteristics:

- Optimizes architecture on the street frontage.
- Garages located in alleys or parking courts.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entries toward street or interior pedestrian courtyards or walkways.
- Provides for private open space.

Garage Plotting Options

- Alley entry
- Court entry
- Internal street
- Tandem
- Carport

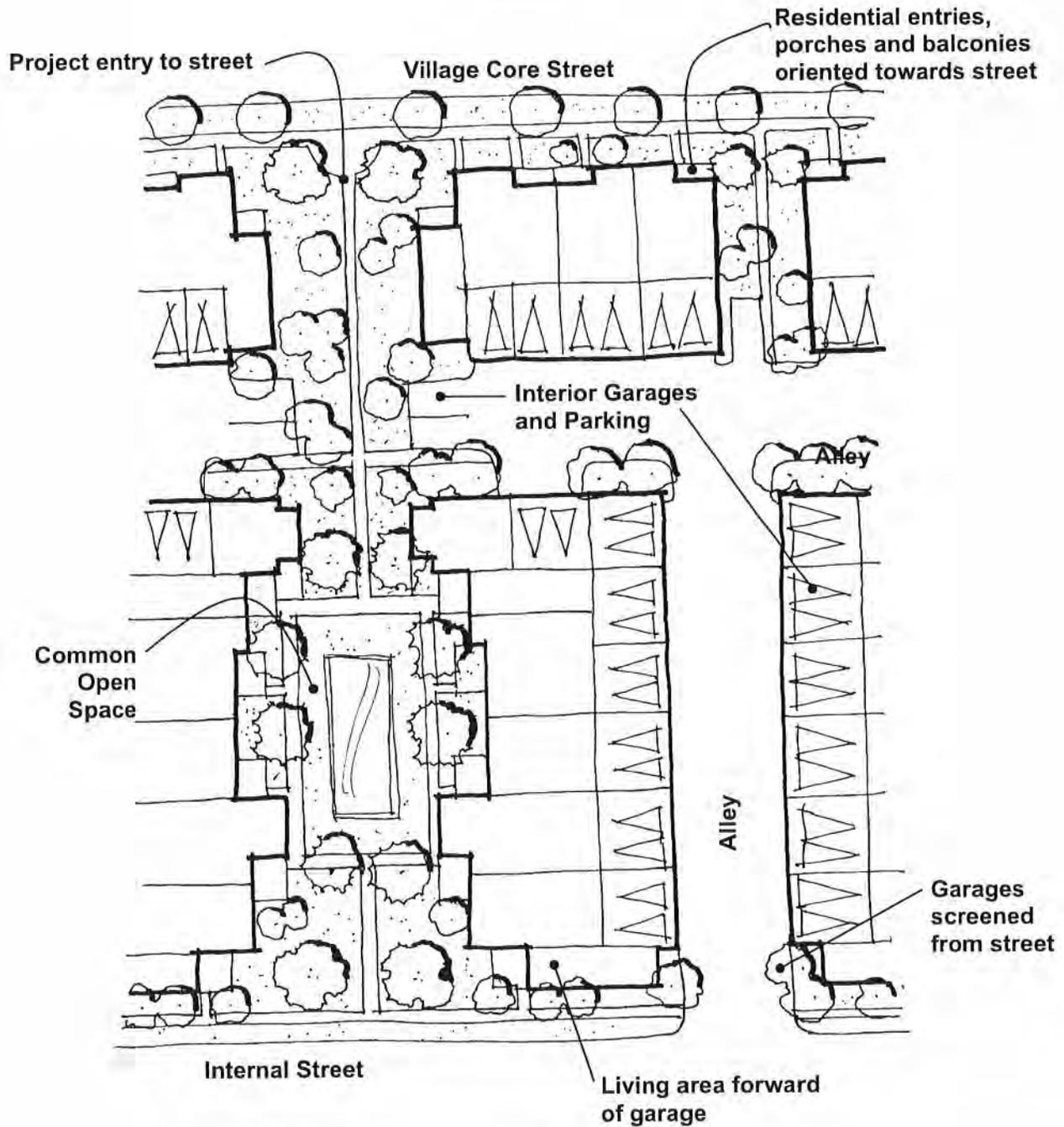


Figure II.4.5.2-9  
15-18 du/ac 2 and 3-Story Townhomes with Carriage Units or Flats Concept

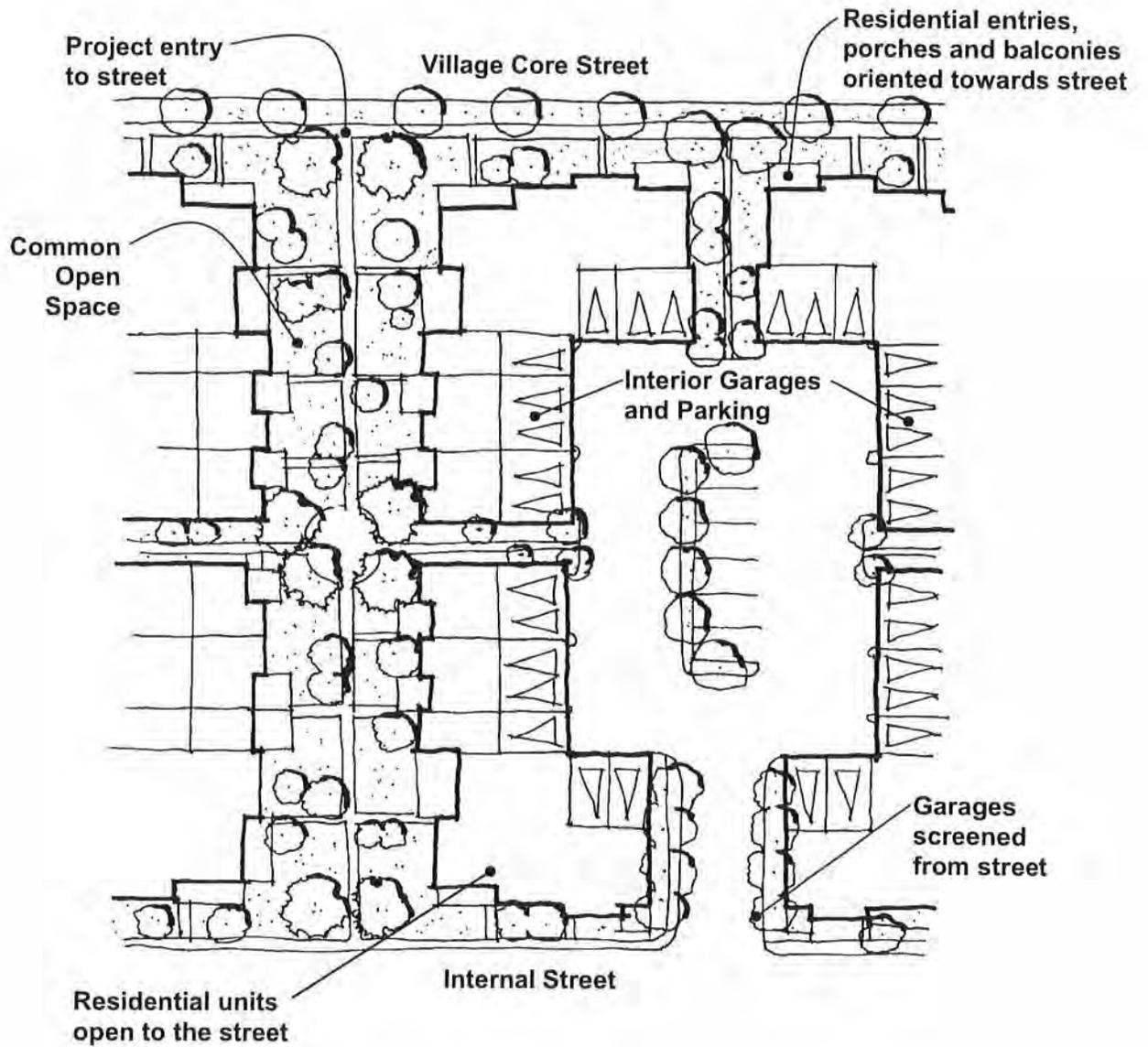


Figure II.4.5.2-10  
15-18 du/ac 2 and 3 Story Townhomes and Flats Concept

**18-25 du/ac 2, 3 and 4 Story Townhomes and Stacked Flats**

Characteristics

- Optimizes architecture on the street frontage.
- Garages located in alleys or parking courts.
- Provides for undulated building massing and varied setbacks appropriate to architectural styles.
- Provides for varied roof pitches and directions.
- Orients entries toward street or interior pedestrian courtyards or walkways.
- Provides for private open space.

Garage or Carport Plotting Options

- Alley entry
- Court entry
- Internal street
- Tandem
- Carport

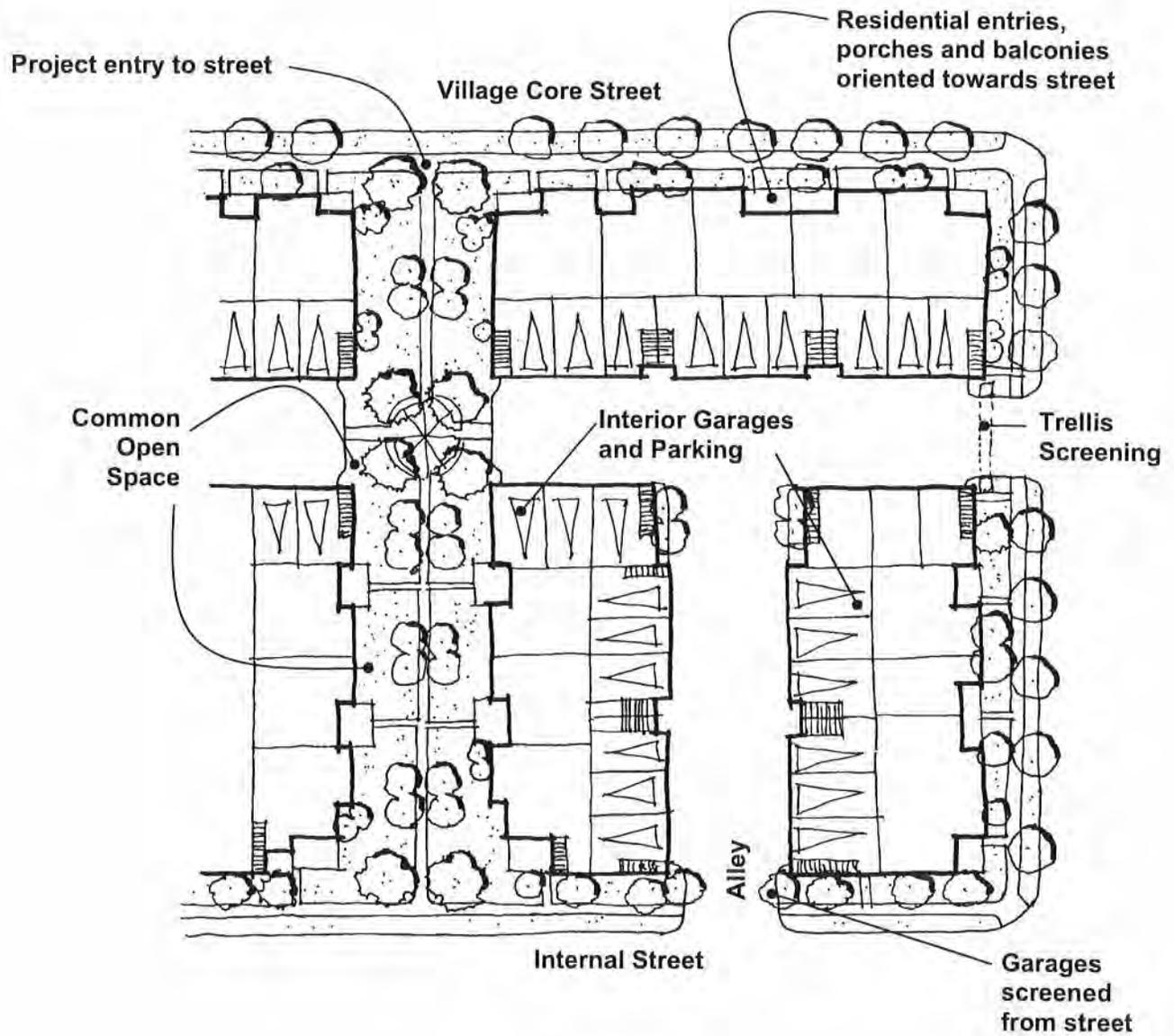


Figure II.4.5.2-11  
18 du/ac 2 and 3 Story Townhomes and Flats Concept

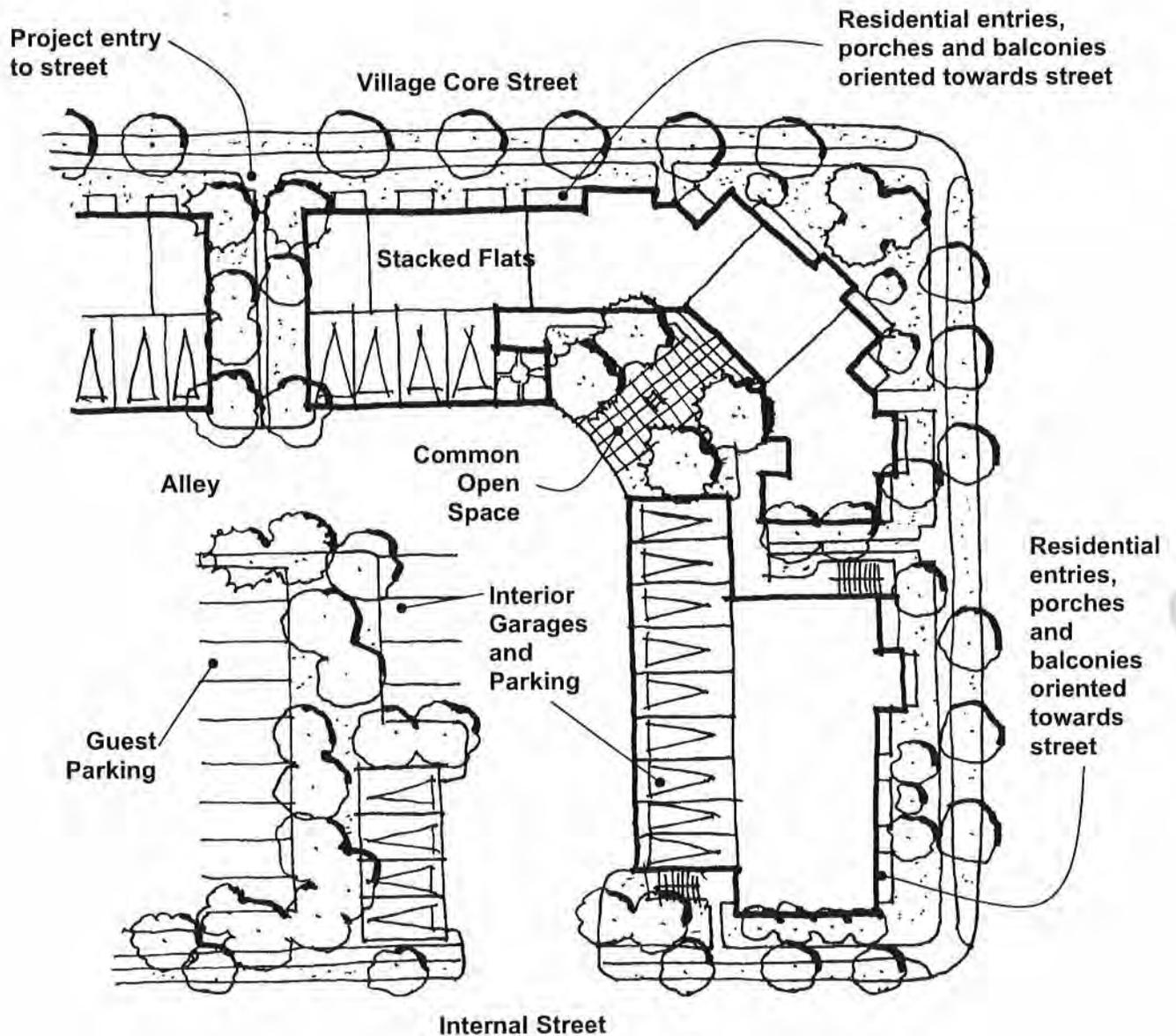


Figure II.4.5.2-12  
25 du/ac 2 and 3 Story Stacked Flats Concept

### II.4.5.3 Landscape

The streetscapes surrounding multi-family developments shall be implemented as described and illustrated in Section II.4.2.3. Landscape in multi-family developments shall adhere to the Chula Vista Design Manual and Landscape Manual. The front and side yard landscaping shall be complementary to the streetscape and adhere to the overall village design theme. The interiors of multi-family residential projects shall provide for common and private outdoor spaces that are functional and aesthetically pleasing. Interior landscapes are encouraged to maintain the tranquil, courtyard style landscapes established by the village design theme. Individual developments may provide common amenities as desired, however, the village core private recreation facility and the neighborhood park are intended to provide for active recreation and community meeting space. The following guidelines are for multi-family landscapes:

- All of the front, side, and rear yard areas and all interior common area landscapes are to be installed by the builder and commonly maintained by a homeowner's association (H.O.A.). Private patios and courtyards, if provided, may be landscaped and maintained by the individual homeowners.
- The landscape is to be comprised of trees, shrubs, vines, and ground covers that are consistent with the overall village theme.
- Tree plantings in the front yard areas shall be varied to provide interest in the landscape.
- Side and rear yard areas shall be landscaped to soften the architecture and provide privacy for residential units.
- All planting areas are to be permanently irrigated and use low water consumptive plant material wherever practical.
- Slope areas shall be planted with drought tolerant trees and shrubs.
- Trees planted on slope areas shall be arranged in such a manner as to allow for some vistas to distant hills where practical and to screen undesirable visual sightlines to streets, buildings, or other features.
- Landscape and irrigation plans shall be prepared by a licensed landscape architect.
- Transformer and cable box locations are to be carefully planned and coordinated with the both the utility company and the landscape architect. Transformers and cable boxes should be located to be unobtrusive and screened from view with plantings where possible.
- Mailboxes and mail box structures are to be designed to complement the architectural style of the development for which they are intended. Ganged mail boxes are to be used with a maximum of 4 boxes per cluster. Only Postmaster approved boxes will be allowed.
- Trash enclosures shall be designed to complement the architectural style of the development for which they are intended.
- Large expanses of asphalt paving shall be avoided and the appearance softened by landscape screening where possible.

**II.4.6 Landscape Design**

## II.4.6 LANDSCAPE DESIGN

The Otay Ranch overall landscape design concept for Village Eleven is derived from its adjacency to Salt Creek. The design concept is intended to take advantage of the flavor of the foothills views toward Salt Creek and integrate the village between natural areas and urban development. The design theme of Village Eleven recognizes this unique transition area by creating semi-formal landscapes in the village core, parks and paseos, and informal landscaping at the interface with open spaces.

The overall landscape design theme and landscape for specific development types (i.e., streetscapes, village core, residential, and slopes) have been described in previous sections. This section provides additional guidelines and plant palettes.

Guidelines are provided in this section to assist the project builders, landscape architects, and the contractors in the design and construction process for the planting and irrigation of Village Eleven. These guidelines shall be used in conjunction with the Otay Ranch Overall Design Guidelines, the city of Chula Vista Design Manual and Landscape Manual, as well as the appropriate Federal, State, and County codes:

### General

- All landscape and irrigation plans shall be prepared by a licensed California landscape architect and shall be submitted to the City of Chula Vista, and to the Master Developer for review and approval prior to the start of construction. All submissions shall demonstrate compliance with the "Landscape Design and Development Guidelines" section contained herein.
- These guidelines are design concept guidelines only and are not intended to be used for engineering and or construction purposes. The fence and wall concepts shown are for aesthetic reference only. It is the responsibility of the project merchant builder to have the appropriate consultants (civil, structural, and geotechnical engineers as well as architects, and landscape architects) to provide the necessary structural details, and specifications for the construction of these fences, walls, monuments or other structures based on the concepts provided herein.

### II.4.6.1 Slope and Erosion Control

Manufactured slopes will occur throughout the village as described in the previous section. The following conditions shall be applied to all manufactured slopes:

- Erosion control shall be required for all graded areas to protect newly created slopes or denuded areas from erosion or unsightly appearance.

- Based on the surrounding setting and design intent of the area, compatible plant material should be informally grouped to stabilize and accent the slope.
- Slopes adjacent to Salt Creek shall be graded to blend with the natural contours. Slope planting shall consist of native plant materials.
- Manufactured slopes along Olympic, Hunte and Eastlake Parkways shall be planted to reinforce the Otay Ranch design theme and adhere to scenic corridor guidelines and the approved Olympic Parkway Master Plan.
- Slopes located within neighborhoods shall be planted to provide vertical interest and buffer adjacent uses.
- Permanent, interior slopes shall be planted with a mixture of compatible, drought tolerant species and shall have a permanent automatic irrigation system.
- Individual homeowner lot slopes shall have permanent plantings and irrigation systems.
- Where necessary, cut slopes shall be serrated to aid in plant revegetation and help retard erosion.

#### **II.4.6.2 Brush Management/Fuel Modification Plan**

Brush management is required where the development abuts native areas. In Village Eleven, development is separated from native areas by Hunte Parkway and the 75-foot landscape buffer which should provide adequate protection. The SDG&E/SDCWA easement is regularly maintained by the utility companies to minimize vegetation and potential fire hazard. If deemed necessary, a brush management program will be implemented to the satisfaction of the City of Chula Vista and the Fire Authority.

#### **II.4.6.3 Irrigation**

Landscape and irrigation installation shall conform to the City of Chula Vista Landscape Manual. Standard details will be followed to assure uniformity and a high quality of materials and construction. The following general irrigation concepts shall be considered in the design and installation of irrigation systems in Village Eleven.

- Sprinkler systems shall be circuited according to the following criteria:
  - Provide 100 percent coverage
  - Zone separately to top, toe and center of slope
  - Contour along slope, where possible
  - Zone separately to north/east and south/west exposures
  - Zone for different plant water requirements
  - Different root depth zones
- Irrigation shall be permanent, below ground and automatically controlled for adequate establishment of plant material.
- Temporary irrigation may be used in certain situations, such as slopes planted with native species adjacent to Salt Creek.

- Irrigation systems shall be installed as soon as possible after grading, and prior to amending soils, plant installation or any hydroseeding.
- Pop-up operation type sprinkler heads shall be used adjacent to all walks, drives, curbs, parking areas and public rights-of-way to avoid breakage and reduce maintenance costs.
- Irrigation sprinkler heads used to water slopes shall have application rates which reduce the amount of run-off and shall be of a type, such as stream rotors, which do not apply water in a fixed, steady stream.
- Sprinklers with proper nozzles shall be selected to compatibly provide water to their landscape. Soil information shall be obtained prior to the design of any irrigation system.
- Trees shall be irrigated with bubbler systems.
- As it becomes available, reclaimed water is proposed to be used for all commonly maintained slopes, parks and public rights-of-way including landscape buffer easements.
- Proper irrigation techniques shall be used throughout the village to maximize efficient water usage.

#### **II.4.6.4 Street Planting Standards**

- Parkway separating the sidewalks from the vehicular traffic will be sized to accommodate the mature growth of the street trees.
- Root barriers and deep watering (bubbler ) systems shall be used.
- Routine tree pruning and maintenance will be conducted pursuant to City standards. Depending on the location of street trees, pruning activities may be the responsibility of the City, a CFD or HOA.

#### **II.4.6.5 Landscape Maintenance Standards**

The developer will be responsible for landscape maintenance during project implementation. Ultimate responsibility for maintenance will belong to individual private property owners, Community Facilities District, Homeowner Associations and public agencies. Definition of these responsibilities will occur during the subdivision review process. The following summarizes how landscape maintenance responsibilities are intended to be divided within Village Eleven.

**Individual Private Property Owner Maintenance**

The individual property owner will be responsible for maintaining landscaping within privately owned areas, such as individual residential lots.

**Community Facilities District and Homeowners Association**

Landscape areas not maintained by private property owners or a public agency will be maintained through Community Facilities Districts and Homeowners Associations. Such areas will include common areas, common slope areas, common open space, private parks, entry landscaping, walls facing the public right-of-way, trails, paseos, and landscape improvements in the utility/SDG&E easement. Certain public landscaped areas may also be included, as determined by the Director of Public Works, such as detention basins and enhanced median and parkway landscaping in the public right-of-way.

**Public Agency Maintenance**

Public agencies will be responsible for maintaining the landscape on publicly owned land. These areas include landscaping within street and highway rights-of-way (unless maintained by a homeowners association or a community facilities district), public parks, schools, SDG&E utility easements and other similar public lands.

**Public Works Department**

Public streets, walks, parkways and trails which are located on public land and drainage structures other than those designed as swales or brow ditches will be the maintenance responsibility of the Public Works Department (unless maintained by a homeowners association, a community facilities district or individual property owners).

#### II.4.6.6 Plant Palettes

The following plant lists have been selected to complement the village design theme. These lists are not intended to be all-inclusive or restrictive. Street trees species are subject to approval by the Department of Parks and Recreation Landscape Division and the Department of Public Works.

##### Street Trees

###### Olympic Parkway Master Plan

Alnus rhombilfolia	White Alder
Phoenix dactylifera	Date Palm
Platanus racemosa	California Sycamore
Schinus molle	California Pepper Tree

###### Eastlake Parkway

Alnus rhombilfolia	White Alder
Cinnamomum camphora	Camphor Tree
Eucalyptus spp.	Eucalyptus
Jacaranda acutifolia	Jacaranda
Olea europaea 'Fruitless'	Fruitless Olive
Platanus acerifolia	London Plane Tree
Platanus racemosa	California Sycamore
Schinus molle	California Pepper Tree

###### Hunte Parkway Adjacent to Village Eleven Only

Alnus rhombilfolia	White Alder
Cinnamomum camphora	Camphor Tree
Eucalyptus spp.	Eucalyptus
Jacaranda acutifolia	Jacaranda
Olea europaea 'Fruitless'	Fruitless Olive
Platanus acerifolia	London Plane Tree
Platanus racemosa	California Sycamore
Schinus molle	California Pepper Tree

###### Village Entry Streets

Cinnamomum camphora	Camphor Tree
Olea europaea 'Fruitless'	Fruitless Olive
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date Palm
Platanus acerifolia	London Plane Tree
Prunus calleryana 'Bradfordii'	Bradford Pear
Schinus molle	California Pepper Tree
Tristania conferta	Brisbane Box

Secondary Village Entry Streets

Jacaranda acutifolia	Jacaranda
Lagerstroemia indica 'Faurei'	Crape Myrtle
Magnolia g. 'Samuel Sommer'	Magnolia
Phoenix canariensis	Canary Island Palm
Platanus racemosa	California Sycamore
Platanus acerifolia	London Plane Tree
Schinus molle	California Pepper Tree
Tristania conferta	Brisbane Box

Village Core Streets

Cinnamomum camphora	Camphor Tree
Eucalyptus sideroxylon rosaea	Red Ironbark
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date Palm
Platanus acerifolia	London Plane Tree
Prunus calleryana 'Bradfordii'	Bradford Pear
Tristania conferta	Brisbane Box

Residential Streets

Arbutus unedo	Strawberry Tree
Agonis flexuosa	Peppermint Tree
Bauhinia variegata	Purple Orchid Tree
Betula pendula	European White Birch
Brachychiton populneum	Bottle Tree
Cassia leptophylla	Gold Medallion Tree
Cinnamomum camphora	Camphor Tree
Eucalyptus ficifolia	Red-Flowering Gum
Geijera parviflora	Australian Willow
Gleditisa tricanthos inermis	Honey Locust
Jacaranda mimosifolia	Jacaranda
Lagerstroemia x 'Faurei'	Crape Myrtle
Liquidambar 'Palo Alto'	Sweet Gum
Melaleuca linariifolia	Flaxleaf Paperbark
Melaleuca quinquinervia	Cajeput Tree
Melaleuca nesophilla	Pink Melaleuca
Metrodrosideros excelsa	New Zealand Christmas Tree
Pistachia chinensis	Chinese Pistache
Podocarpus gracilior	Fern Pine
Quercus ilex	Holly Oak
Tabebuia chrysotricha	Golden Trumpet Tree

**Minor Otay Ranch Community Entry Trees**

The following is a list of trees for use at the community entry located at the intersection of Olympic and Hunte Parkways. The design of these areas shall be coordinated with the Olympic Parkway Landscape Master Plan.

Trees

Jacaranda acutifolia	Jacaranda
Olea europaea 'Fruitless'	Fruitless Olive
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date palm
Platanus racemosa	California Sycamore
Schinus molle	California Pepper Tree

**Village Core Trees and Shrubs**

The following is a list of trees and shrubs for use within developments in the village core:

Trees

Bauhinia variegata	Purple Orchid Tree
Cassia leptophylla	Gold Medallion Tree
Cinnamomum camphora	Camphor Tree
Eriobotrya deflexa	Bronze Loquat
Eucalyptus sideroxylon rosaea	Red Ironbark
Gleditisa tricanthos inermis	Honey Locust
Jacaranda acutifolia	Jacaranda
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date Palm
Platanus acerifolia	London Plane Tree
Pyrus kawakamii	Evergreen Pear
Prunus calleryana 'Bradfordii'	Bradford Pear
Tipuana tipu	Tipu Tree
Tristania conferta	Brisbane Box
Ulmus parvifolia 'True Green'	True Green Elm

Shrubs

Agapanthus africanus	Lily of the Nile
Alyogne huegelii	Blue Hibiscus
Asparagus sprengeri	Sprenger's Asparagus
Buxus microphylla 'Japonica'	Japanese Boxwood
Calliandra inaequilatera	Pink Powder Puff
Cistus purpureus	Purple Rockrose
Cuphea hyssopifolia	Breath of Heaven
Dietes bicolor	Fortnight Lily
Diosma pulchrum	Breath of Heaven
Eleagnus pungens	Silverberry
Escallonia 'Fradesii'	Escallonia
Lantana spp	Lantana

Lavendula spp.	Lavender
Ligustrum 'Texanum'	Texas Privet
Limonium perezii	Statice
Pittosporum tobira 'variegata'	Mock Orange
Pittosporum tobira 'Wheeleri'	Dwarf Pittosporum
Plumbago auriculata	Cape Plumbago
Raphiolepis indica	Indian Hawthorne
Rosmarinus officinalis 'prostratus'	Dwarf Rosemary
Tecomaria capensis	Cape honeysuckle
Trachelospermum jasminoides	Star Jasmine
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus	Laurustinus

### Residential

The following is a list of, shrubs, vines, ground covers and slope trees and shrubs proposed for use within residential developments.

#### Shrubs

Agapanthus africanus	Lily of the Nile
Alyogne huegelii	Blue Hibiscus
Asparagus sprengeri	Sprenger's Asparagus
Buxus microphylla 'Japonica'	Japanese Boxwood
Calliandra inaequilatera	Pink Powder Puff
Cistus purpureus	Purple Rockrose
Dietes bicolor	Fortnight Lily
Diosma pulchrum	Breath of Heaven
Eleagnus pungens	Silverberry
Escallonia 'Fradesii'	Escallonia
Lantana spp	Lantana
Lavendula spp.	Lavender
Limonium perezii	Statice
Pittosporum tobira 'variegata'	Mock Orange
Pittosporum tobira 'Wheeleri'	Dwarf Pittosporum
Plumbago auriculata	Cape Plumbago
Raphiolepis indica	Indian Hawthorne
Rosmarinus officinalis 'prostratus'	Dwarf Rosemary
Tecomaria capensis	Cape honeysuckle
Trachelospermum jasminoides	Star Jasmine
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus	Laurustinus

Vines

Bougainvillea spp.	Bougainvillea
Clytostoma callistegoides	Violet Trumpet Vine
Distictis buccinitoria	Blood Red Trumpet Vine
Gelsemium sempervirens	Carolina Jessamine
Mandevilla 'Alice du Pont'	Mandevilla
Trachelospermum jasminoides	Star Jasmine

Ground Covers

Delosperma alba	White Trailing Ice Plant
Gazania spp.	Gazania
Hedera spp	Ivy
Lonicera japonica 'Halliana'	Halls Honeysuckle
Myoporum parvifolium	Prostrate Myoporum
Pelargonium peltatum	Ivy Geranium
Potentilla verna	Cinquefoil
Rosmarium officinalis 'prostratus'	Prostrate Rosemary
Vinca spp	Periwinkle

Turf

Marathon or Medallion Tall Fescue Blend

Vertical / Screen Trees for Sideyard Areas

Brachychiton populneum	Bottle Tree
Eucalyptus spp.	Eucalyptus
Melaleuca quinquinervia	Cajeput Tree
Pinus canariensis	Canary Island Pine
Tristania conferta	Brisbane Box

Slope Trees

Eucalyptus spp.	Eucalyptus
Geijera parviflora	Australian Willow
Melaleuca nesophilla	Pink Melaleuca
Metrosideros excelsa	New Zealand Christmas Tree
Pinus spp.	Pine
Tristania conferta	Brisbane Box

Slope Shrubs

Acacia redolens	Dwarf Acacia
Baccharis pilularis spp.	Dwarf Coyote Bush
Calliandra inaequilatera	Pink Powder Puff
Cistus purpureus	Purple Rockrose
Eleagnus pungens	Silverberry
Heteromeles arbutifolia	Toyon
Limonium perezii	Statice
Nerium oleander 'Petite Pink'	Dwarf Oleander
Plumbago auriculata	Cape Plumbago

Raphiolepis indica	Indian Hawthorne
Rosmarium officinalis 'prostratus'	Prostrate Rosemary
Tecomaria capensis	Cape honeysuckle
Trachelospermum jasminoides	Star Jasmine
Viburnum tinus	Laurustinus

### **SDG&E/SDCWA Easement Adjacent Planting**

Dense screen buffer planting on slopes adjacent to the easement will be necessary to block undesirable views and to soften the appearance of the manufactured slope. The plant palette for these areas may include the following:

#### Trees

Eucalyptus sideroxylon rosacea	Red Ironbark
Liquidambar styraciflua 'Palo Alto'	Liquidambar
Pinus canariensis	Canary Island Pine
Pinus halepensis	Aleppo Pine
Populus fremontii	Fremont Cottonwood
Tristania conferta	Brisbane Box

#### Shrubs

Calliandra inaequilatera	Pink Powder Puff
Eleagnus pungens	Silverberry
Pittosporum tobira 'variegata'	Mock Orange
Raphiolepis indica	Indian Hawthorne
Tecomaria capensis	Cape Honeysuckle
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus	Laurustinus

### **Hunte Parkway Transition Planting**

The parkway along Hunte that is adjacent to Salt Creek will be planted with shrubs and groundcovers that are compatible with the Salt Creek habitat preserve.

#### Shrubs

Anemopsis californica	Yerba Mansa
Baccharis salicifolia	Mule-Fat
Baccharis sarothroides	Coyote Bush
Isocoma menziesii	Coast Golden Bush
Encelia californica	California Encelia
Heteromeles arbutifolia	Toyon
Mimulus guttatus	Yellow Monkey Flower
Rhmanus californica	Coffeberry
Rhus integrifolia	Lemonadeberry
Ribes speciosm	Fuschia Flowered Gooseberry

### Edge Plan - Hunte Parkway Native Slope Planting

An "Edge Plan" is required for all development adjacent to the Preserve. The Edge Plan area is a public or privately owned 100-foot wide strip of land adjacent to the preserve. The Edge Plan area of Village Eleven is occupied by natural and manufactured slopes and Hunte Parkway. Parkways and the 75-foot wide buffer adjacent to residential development in Village Eleven provide additional separation between development and the Preserve. The Edge Plan for Village Eleven is provided in the Appendices of the Village Eleven SPA Plan. The following is an excerpt from the Edge Plan describing landscape requirements:

#### Invasive Species

##### ***Policy:***

No invasive non-native plant species shall be introduced into areas immediately adjacent to the Preserve. All slopes immediately adjacent to the Preserve should be planted with native species that reflect the adjacent native habitat. The plant list contained in the "Wildland / Urban Interface: Fuel Modification Standards," dated November 1995 and provided as Appendix H of the Subarea Plan, must be reviewed and utilized to the greatest extent feasible when developing landscaping plans in areas adjacent to the Preserve. No restrictions shall be placed on plantings internal to the project.

##### ***Compliance:***

Landscape along Hunte Parkway will not contain any invasive exotic species, as listed by the City. The slope located between Hunte Parkway and the Salt Creek Preserve boundary will be planted with native species compatible with the surrounding landscape. The area may be planted with container stock or hydroseed mix. The following is a list prepared by a qualified biologist, of species to be planted on manufactured slopes.

#### Shrubs

Artemisia Californica	California Sagebrush
Encelia Californica	Bush Sunflower
Eriogonum fasciculatum	California Buckwheat
Eriophyllum confertiflorum	Golden Yarrow
Eschscholzia Californica	California Poppy
Isocoma menziesii	Coast Goldenbush
Isomeris arborea	Bladderpod
Lotus scoparius	Deerweed
Lupinus succulentus	Arroyo Lupine
Mimulus puniceus	Mission Red Monkey Flower
Orthocarpus puppurascens	Owl's Clover
Salvia apiana	White Sage
Salvia mellifera	Black Sage
Sisyrinchium bellum	Blue Eyed Grass

## **II.4.7 Design Review Process**

## **II.4.7 DESIGN REVIEW PROCESS**

### **II.4.7.1 Introduction**

Formal design review processes have been established to ensure all development within Otay Ranch is consistent with the Overall Design Plan, Village Eleven Design Plan and Planned Community District Regulations, and the City of Chula Vista policies and development standards. The process requires preparation of site, landscape and architectural plans that will be reviewed and approved by the Master Developer, City of Chula Vista Zoning Administrator and City of Chula Vista Design Review Committee, depending on the type of proposed project. The various review processes are described in the following sections.

### **II.4.7.2 Master Developer Review**

Village Eleven will be developed primarily by Brookfield Shea Otay, LLC., the Master Developer. Some parcels may be developed by Merchant Builders, so a design review process is also provided for that circumstance.

The design review process includes two integrated procedures: design review and approval by the master developer and review and approval by the City of Chula Vista. The process requires the Merchant Builder to formulate the design for their parcel and review it with the Master Developer prior to formal application and review by the City. The review requirements of the Master Developer are intended to ensure that the builder's intended product and designs meet the standards and criteria for the entire planned community. The items to be included in the Merchant Builder's design submittal package to the Master Developer would typically consist of preliminary site, landscape and architectural plans. Following acceptance of the Merchant Builder's schematic design, a continuing exchange of information will be expected as the design is finalized and the City's review process begins. Final, approved plans shall be provided to the Master Developer.

### **II.4.2.3 Zoning Administrator Design Review**

The Zoning Administrator is authorized to approve applications on several subjects as provided in Section 19.14.030 of the Chula Vista Zoning Code, specifically including: Site, Architectural and Landscape Plan approval. Public buildings under 20,000 square feet in size are subject to Administrative Design Review. The Administrative approval process shall be used for all single-family detached units on lots of/or exceeding an average size of 3000 square feet, including all proposals in the SF3 and SF4 zone designations which have tentative subdivision map approval. All proposals shall be consistent with the Planned Community District Regulations and Village Eleven Design Plan.

**II.4.2.4 Design Review Committee**

All proposals for single-family detached units on lots less than an average size of 3000 square feet, all proposals within the RM1 and RM2 zone designations, and all proposals for non-residential land uses, shall be approved through the Design Review Committee approval process. The Design Review Committee shall review plans as required by the Village Eleven Planned Community District Regulations, and as provided herein. They shall base their findings on the City's Design Manuals and this Village Design Plan. Refer to Sections 19.14.581 through 19.14.600 of the Zoning Ordinance for additional information.

**II.4.2.5 Appeals**

An appeal to the Planning Commission on a decision to the Design Review Committee may be filed within ten days after the decision as provided for in Section 19.14.583 of the City's Zoning Ordinance.

**APPENDIX GDP Compliance**

## APPENDIX

### GDP Compliance

The Otay Ranch General Development Plan (GDP) requires that each Village Design Plan include a discussion of compliance with the village policies identified in the Land Use Section of the GDP. This chapter includes a re-statement of the description and policies for Village Eleven (in italics) followed by a response of the proposed land use and design plans that demonstrate compliance.

#### GDP Village Eleven Description:

*Village Eleven is an Urban Village. Urban Villages are adjacent to existing urban development and are planned for transit oriented development with higher densities and mixed uses in the village cores. Village Eleven contains:*

- *A maximum of 1,335 single-family residential units*  
Response: The Village Eleven SPA proposes 1,308 single-family residential units.
- *A maximum of 1,055 multi-family residential units*  
Response: The Village Eleven SPA proposes 996 multi-family residential units.
- *Build-out population of approximately 7,194*  
Response: Village Eleven is comprised of 2,304 residential units, with a population of 6,935 persons, based on the generation factor of 3.01 persons/residential unit.
- *A junior high school*  
Response: The Sweetwater High School District proposes locating a 25-acre junior high school in Village Eleven.
- *Open space corridor*  
Response: An open space corridor is provided. Additional description is provided in the Parks and Open Space Policies section of this chapter.
- *A village core area containing:*
  - *Commercial uses in a mixed use setting*  
Response: A 10-acre mixed used/commercial site is proposed within the village core.
  - *Public and community purpose facilities*  
Response: A 5.5-acre community purpose facility site is proposed in the village core. Additional requirements for community purpose facilities may be met within the mixed use area and shared school and private recreation facilities.

□ *A transit stop*

Response: A bus stop is proposed in the village core in proximity to the town square.

□ *An elementary school*

Response: An elementary school is proposed in the village core.

□ *Multi-family residential*

Response: 993 units with densities up to 25 dus/ac are proposed within the village core.

□ *A Town Square/Village Green/Main Street*

Response: A one-acre town square is the focal point of the village core.

□ *Affordable Housing*

Response: Affordable housing can be provided as upper-level residential units above commercial uses within the mixed use area, within the 5.5-acre CPF site, and within multi-family or other residential areas in the village core.

□ *Neighborhood Park*

Response: A 7-acre (net) neighborhood park is proposed to be centrally located within the village core. The strategic location of the neighborhood park provides an open space connection between the SDGE/SDCWA easement and the elementary school open space. The park location provides opportunities for sharing play fields with the school and it acts as a buffer between the school and the transmission lines located in the SDGE/SDCWA easement to the east.

**Village Character Policies:**

□ *The village character should be guided by the following qualities:*

□ *Location adjacent to the Salt Creek corridor.*

Response: The character of Village Eleven is influenced by the adjacent, environmentally sensitive Salt Creek habitat. The dense, urban character of the village core transitions to lower density, single family residential uses for compatibility with the natural habitat. The landscape theme complements the development pattern by locating compatible plant species in the Hunte Parkway streetscape.

□ *High intensity of the village land uses.*

Response: Higher intensity land uses, including commercial, mixed use, medium, medium high and high density residential, community purpose facility and schools are concentrated in the western portion of the village adjacent to the EUC and freeway commercial developments to the west.

- *Compatibility with the Eastern Urban Center.*

Response: The highest intensity of land uses within Village Eleven are located in the western portion. These uses are compatible with the adjacent EUC and provide a transition between the EUC and less intensive residential uses to the east.

- *Views to the mountains to the northeast, east and southeast, and the Salt Creek corridor.*

Response: The grading concept for the village follows the natural terrain which slopes down towards the southeast. The village is proposed to be terraced, creating public open spaces and residential neighborhoods with views towards the surrounding mountains and open spaces.

- *Village Eleven shall contain a regional greenbelt/open space corridor which connects to and through the Eastern Urban Center.*

Response: The proposed design of Village Eleven provides a greenbelt along the southern boundary of the village. This location will connect the EUC with the university/Village Ten site to the south and the regional trails in Salt Creek and Otay Valley.

- *Multi-Family residential uses should be located within and outside the village core to provide housing opportunities adjacent to the Eastern Urban Center and freeway commercial area.*

Response: Multi-family residential occurs within and around the village core, adjacent to the EUC and freeway commercial areas.

### **Village Core Policies**

- *The Village core land uses should provide a medium density transition to the Freeway Commercial areas to the west.*

Response: The village core land uses provide a transition between the freeway commercial and residential areas. Proposed residential densities transition from high density nearest the core to medium density at the perimeter of the core.

- *The village core should utilize the greenbelt/open space corridor as an identifying feature.*

Response: A paseo provides a direct connection between the greenbelt and the village core.

### **Parks and Open Space Policies:**

*Application of the 3 acres per 1,000 residents standard would result in the requirement of 19.3 acres of local parks contributions for Village Eleven. To satisfy this requirement, a*

*neighborhood park and town square are planned for the village. The remaining obligation is satisfied through the provision of community parks in Otay Ranch.*

Response: Village Eleven proposes 2,304 units with a population of 6,935 persons, requiring 19.3 acres of local parks. The proposed park plan provides a 7-acre public neighborhood park and 1-acre private town square for a total of 8-acres of fully credited parks. The remaining 11.3-acre requirement will be met through PAD fees, pursuant to the City Park Land Development Ordinance, to be used for community parks elsewhere in the Otay Ranch.

The plan also proposes a 3-acre private recreation facility in the village core and a 3.8-acre private recreation facility in the eastern portion of the village.

*The following policies shall guide the design of parks and open spaces in Village Eleven:*

- *A regional greenbelt/open space link will be provided through the village, connecting Wolf Canyon, the Eastern Urban Center and Salt Creek. This connection may take several forms, including a greenbelt, parks, trails, or promenade streets. The GDP/SRP Land Use map provides a concept for the linkage through the village.*

Response: Village Eleven proposes two connections through the village between the Eastern Urban Center and Salt Creek. One connection is a village pathway that provides a link through the village core and within a paseo. A second connection is a greenway provided along the southern boundary of Village Eleven between Eastlake Parkway and the SDG&E/SDCWA easement.

- *Natural open space areas adjacent to Salt Creek identified on the GDP/SRP Land Use Map shall be preserved outside of individual private lots. Natural open space character along the canyon shall be based upon the concepts developed in the Overall Ranch Design Plan and refined in the Village Design Plan for this village.*

Response: The natural open space of Salt Creek is preserved and is outside the boundary of Village Eleven. Hunte Parkway separates the development and preserve areas. Landscaping along Hunte Parkway will be compatible and complement the native vegetation of Salt Creek.

- *Setbacks and landscaping shall be provided along Hunte Parkway in keeping with open space scenic corridor guidelines in the Overall Ranch Design Plan (requirements set forth in Section E, Implementation).*

Response: Setbacks and landscaping along Hunte Parkway adhere to scenic corridor guidelines and the Overall Ranch Design Plan. An average 75-foot wide landscape area is provided between the street and the development area. The village landscape will transition from ornamental to native-compatible at the edge of Salt Creek.

- *Pedestrian trails shall link the village with Salt Creek and the Otay Valley Regional Park.*

Response: Pedestrian trails provide linkages between the village, Salt Creek and the Otay Valley Regional Park. Pedestrian trail linkages include a regional trail along

Olympic Parkway, sidewalks along all surrounding major streets, and paseos extending through the village.

- *The Environmental resources contained in Salt Creek Canyon shall be protected through careful buffering, landscaping and grading techniques.*

Response: Hunte Parkway provides a buffer between development areas and Salt Creek. The Village Eleven grading concept and surface drainage plans address urban runoff. Landscaping provides for native and native-compatible plant species.

- *The SDG&E/SDCWA easement shall be integrated into the design of the village as open space. This easement may be utilized for road crossings, parking and limited landscaping, however, no habitable structures may be placed in the area. Residential and school uses should be buffered from the SDG&E powerlines. The width of the buffer will conform to school district requirements.*

Response: The utility easement provides an opportunity for open space, views and trails. Trails are proposed within the easement, provided such uses will be allowed by the utility companies. Two road crossings over the easement connect the east and west portions of the village. The school is buffered from the easements through its location beyond the distance required by the state safety standards (250 feet minimum for 345 kv lines). The neighborhood park is located adjacent to the easement to provide a buffer between the easement and the school. Residential neighborhoods are buffered from the easement by topography and landscaping. The grading plan for Village Eleven locates manufactured slopes outside the easement, creating additional separation from development areas. Manufactured slopes will be planted with a combination of trees and shrubs that can provide visual screening and separation.

#### **Other Village Eleven Policies:**

- *Landform grading guidelines were developed as part of the Overall Ranch Design Plan and shall be further refined in the Village Design Plan.*

Response: A combination of contour grading and landscaping are proposed to create aesthetically pleasing manufactured slopes. Grading guidelines are provided in this Village Design Plan.

- *Design guidelines which address the visual quality of development adjacent to Salt Creek shall be defined in the Overall Ranch Design Plan and further refined in the Village Design Plan for Village Eleven.*

Response: The Overall Ranch Design Plan describes the “Riparian Meander” design theme that unifies the Ranch. The design treatment along Salt Creek will emphasize its riparian character through the use of appropriate native and native-compatible plant species.