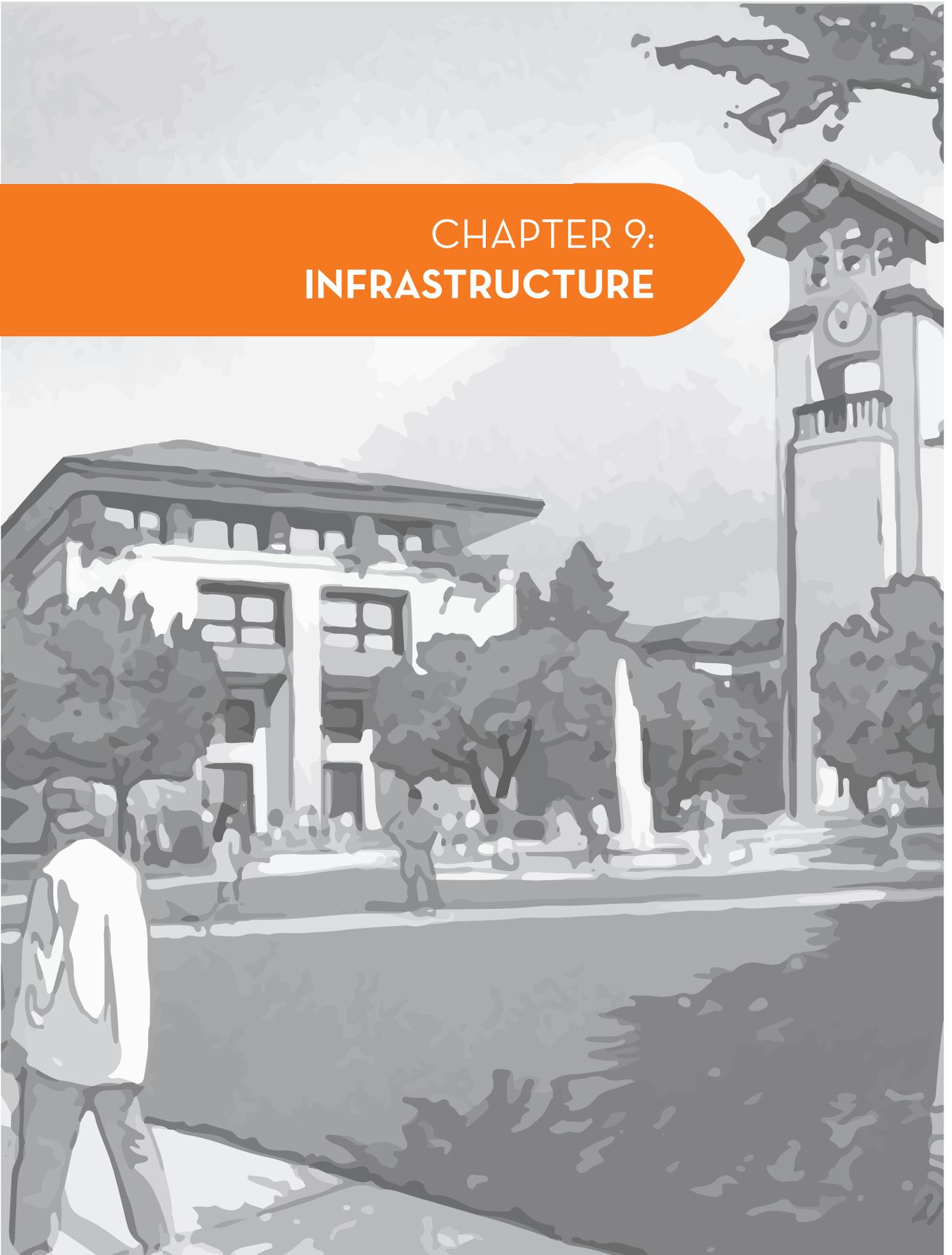


CHAPTER 9: INFRASTRUCTURE



This chapter provides a brief summary of the planned infrastructure, utility systems, and public services necessary to support the UI District development. The PFFP and utility master plans, to be developed at a later date, will provide more detailed explanations of these backbone facilities and assign responsibilities for construction and financing as development proceeds.

Infrastructure, public utility systems, facilities, and services will be designed based upon the specific land uses, development intensity and phasing within the SPA. Facilities will be right-sized according to estimated demands and necessary distribution. The design and phasing of facilities may be modified during the tentative map and final map process with the City's approval in order to reflect the actual development and construction phasing.

9.1. Phasing

Development of the UI District will be completed in multiple phases to ensure construction of necessary infrastructure and amenities for each phase as the project progresses. Figure 9A: Conceptual Phasing Plan reflects development phasing that is dependent upon the market and the ability to secure academic and business innovation users.

The Conceptual Phasing Plan is non-sequential. It is recognized that sequential phasing is frequently inaccurate due to unforeseen market changes or regulatory constraints. Therefore, this SPA and the associated PFFP permits non-sequential phasing by imposing specific facilities requirements per the PFFP, for each phase to ensure that the UI District is adequately serviced and the City threshold standards are met. If necessary, infrastructure within the UI District boundary may be installed in overlapping or consecutive phases to be determined by project-specific requirements.

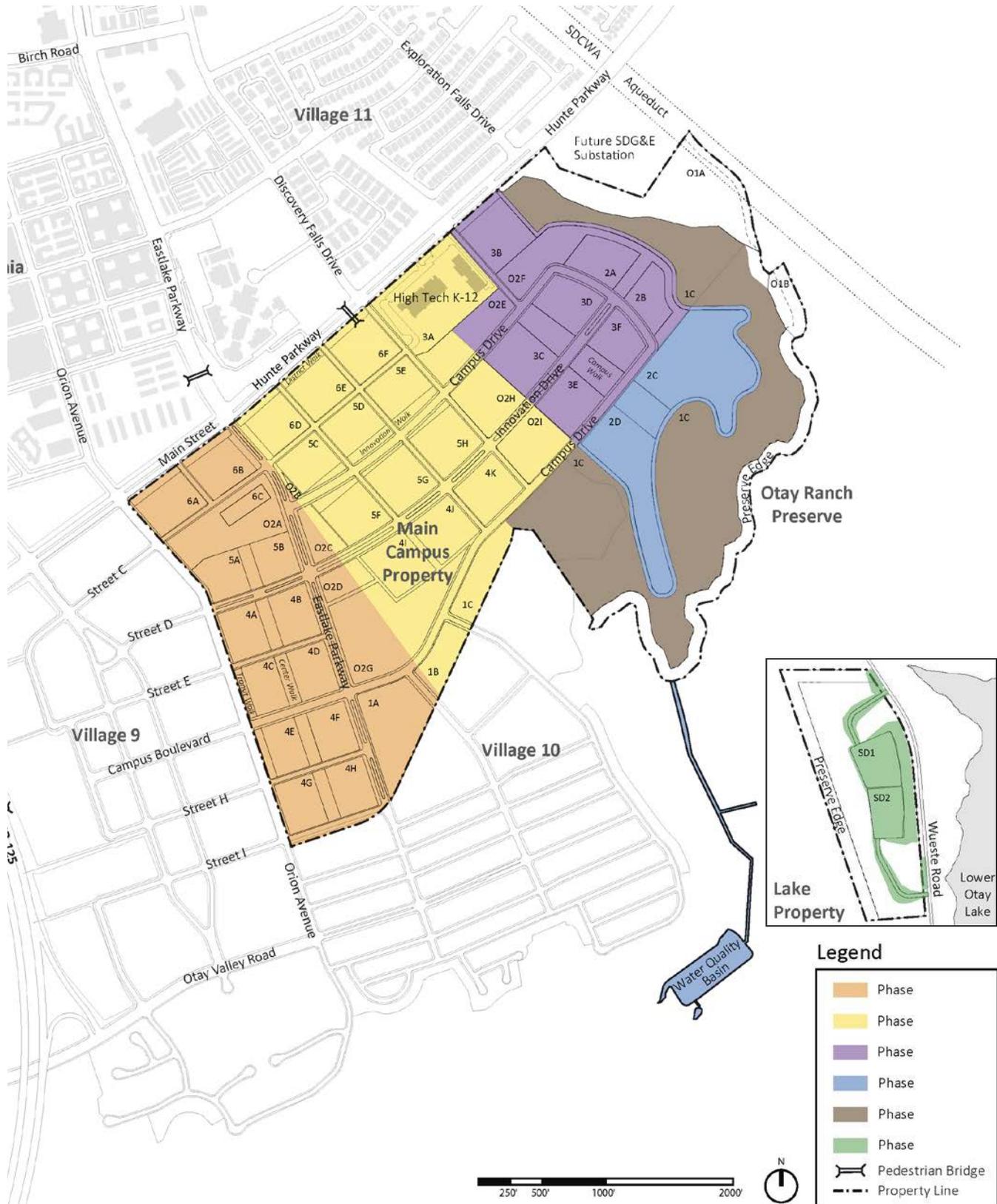


FIGURE 9A: CONCEPTUAL PHASING PLAN

9.2. Water Supply and Master Plan

Water service and facilities for the UI District are addressed in the SPA Overview of Water Service (“Water Plan”) prepared by Dexter Wilson Engineering Inc., dated July 2016. In conformance with the GDP and SPA requirements, the Water Plan demonstrates compliance with state and local agency requirements and the ability to serve the UI District. A summary of key points from the Water Plan are outlined below.

9.2.1. Water Supply

The City of Chula Vista formally requested that the Otay Water District prepare a water supply assessment report for the project. The Otay Water District Board of Directors formally approved the Water Supply Assessment and Verification Report, Otay Ranch UI District in October 2016.

The UI District is within the boundaries of the OWD, San Diego County Water Authority (SDCWA), and Metropolitan Water District of Southern California (MWD) for water service. Retail water service for the project is to be provided by the OWD. The SPA will require annexation into an OWD Improvement District in order to obtain water service. This annexation is an internal action by OWD and requires a written request and payment of processing fees.

The OWD has existing and planned facilities in the vicinity of the UI District and water service can be provided by expanding the existing system. In particular, water service will be provided by the 711 Pressure Zone (711 Zone) and the 624 Pressure Zone (624 Zone) within the Central Area System of the OWD.

9.2.2. Potable Water Demand

The UI District can receive potable water service by expanding the existing 624 Zone and 711 Zone water systems. The precise boundary between the 624 Zone and 711 Zone systems on-site will be determined as the on-site grading design progresses. Figure 9B: Conceptual Potable Water Plan provides the recommended on-site water facilities for the project. To provide preliminary sizing of water facilities in this study, the worst case fire flow scenario and the OWD Master Planning were taken into consideration. A Subarea Master Plan (SAMP) will be prepared prior to the approval

of the first final map for the project. In general, the project will be phased and must ensure that the OWD looping criteria is met during all phases of development. An analysis of available water supply will also be completed to assure that sufficient supplies are planned to be available as demand is generated by the project. A brief description of facilities by water service zone is provided below.

Development within the southern portion of UI District to elevations below approximately 474 feet will involve service from the 624 Zone. The 624 Zone will be formed by extending 624 Zone lines that are proposed within Otay Ranch Villages 9 and 10 and by constructing a 711/624 Zone pressure reducing station on-site. OWD has master planned a 16-inch backbone line in the 624 Zone that will convey flow through the project and southern Otay Ranch Villages. To provide adequate looping to development in the 624 Zone, two sources of 624 Zone water will be required. The first source will be the on-site 711/624 Zone pressure reducing station and the second source will be by connecting to the 624 Zone piping within Village 9 or Village 10. In the worst case, if no facilities have been constructed within Villages 9 or 10, the development will be required to construct the 711 Zone line and temporary pressure reducing station along the western property boundary to provide a redundant feed to development within the 624 Zone.

The majority of the UI District is within the 711 Zone for water service. Potable water service to this portion of the site can be served by connecting to the existing 711 Zone line in Hunte Parkway at multiple locations and constructing looped piping on-site. The majority of on-site piping is anticipated to be 12-inch to meet fire flow requirements. No off-site facilities are required to serve 711 Zone development south of Hunte Parkway, even if facilities in Village 9 and 10 have not yet been constructed.

The Lake Property area can be served by extending the 711 Zone system that is stubbed out within the Chula Vista Elite Athlete Training Center just to the north. This will include a short section of off-site piping. The Otay Water District has master planned a 20-inch 711 Zone extension from the Chula Vista Elite Athlete Training Center to the existing 30-inch 624 Zone Control Area/Otay Mesa Interconnect Pipeline. The Lake Property development will be required to construct a portion of this pipeline extension and then connect to this pipeline for service to the proposed development.

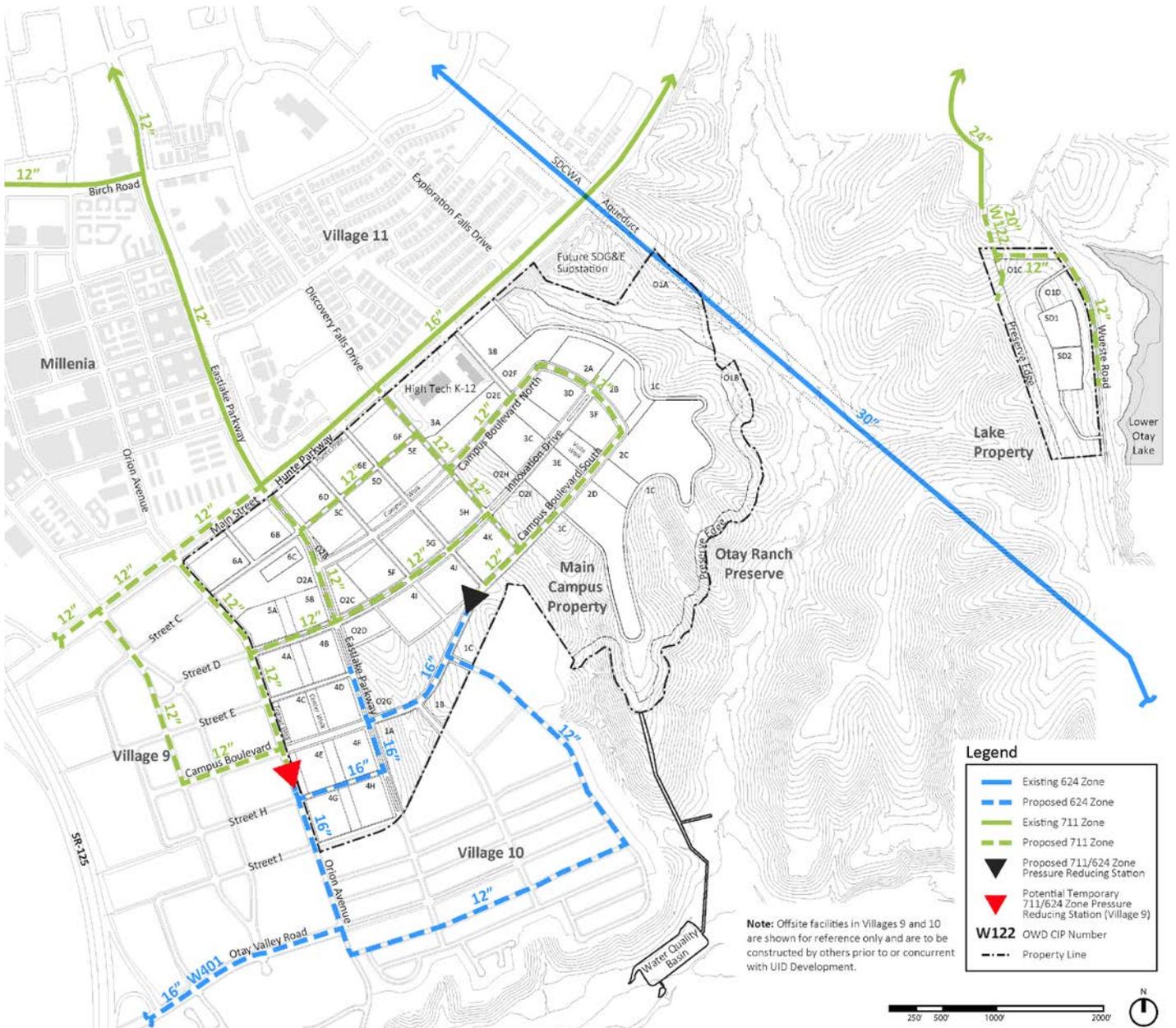


FIGURE 9B: CONCEPTUAL POTABLE WATER PLAN

9.2.3. Recycled Water Supply and Master Plan

Current OWD policies regarding new subdivision development require the use of recycled water where available. Consistent with the Otay Ranch GDP, it is anticipated that recycled water will be used to irrigate street parkway landscaping, parks, and common area landscaped areas.

The largest potential recycled water use areas in the UI District includes irrigation of common areas. The development will be served by connecting to the existing line in Hunte Parkway and extending the 680 Zone recycled water system within the property and to the boundaries with Village 9 and Village 10. The primary source of supply for the 680 Zone is the 680-1 Pump Station and the 3.4 MG 680 Zone reservoir that are supplied water from the South Bay Treatment Plant. The development will also extend the 815 Zone in Main Street to the west of Eastlake Parkway. Depending on final site elevations and irrigation locations, a portion of the northwest corner of the site may require service from the 815 Zone. Figure 9C: Conceptual Recycled Water Plan provides the existing and proposed recycled water system in the vicinity of the UI District.

For the Lake Property, there are no existing recycled water lines in the area and recycled water is not proposed to be used for these parcels. Aside from the limited potential for recycled water use on the parcel, the City of San Diego has not historically allowed recycled water to be used within the Otay Reservoir watershed.

Recycled water requirements for the UI District will be coordinated by the Water District and the City. Phased construction of recycled water facilities, based on the approved master plan, will be incorporated into the PFFP and/or subdivision map conditions to assure timely provision of required facilities

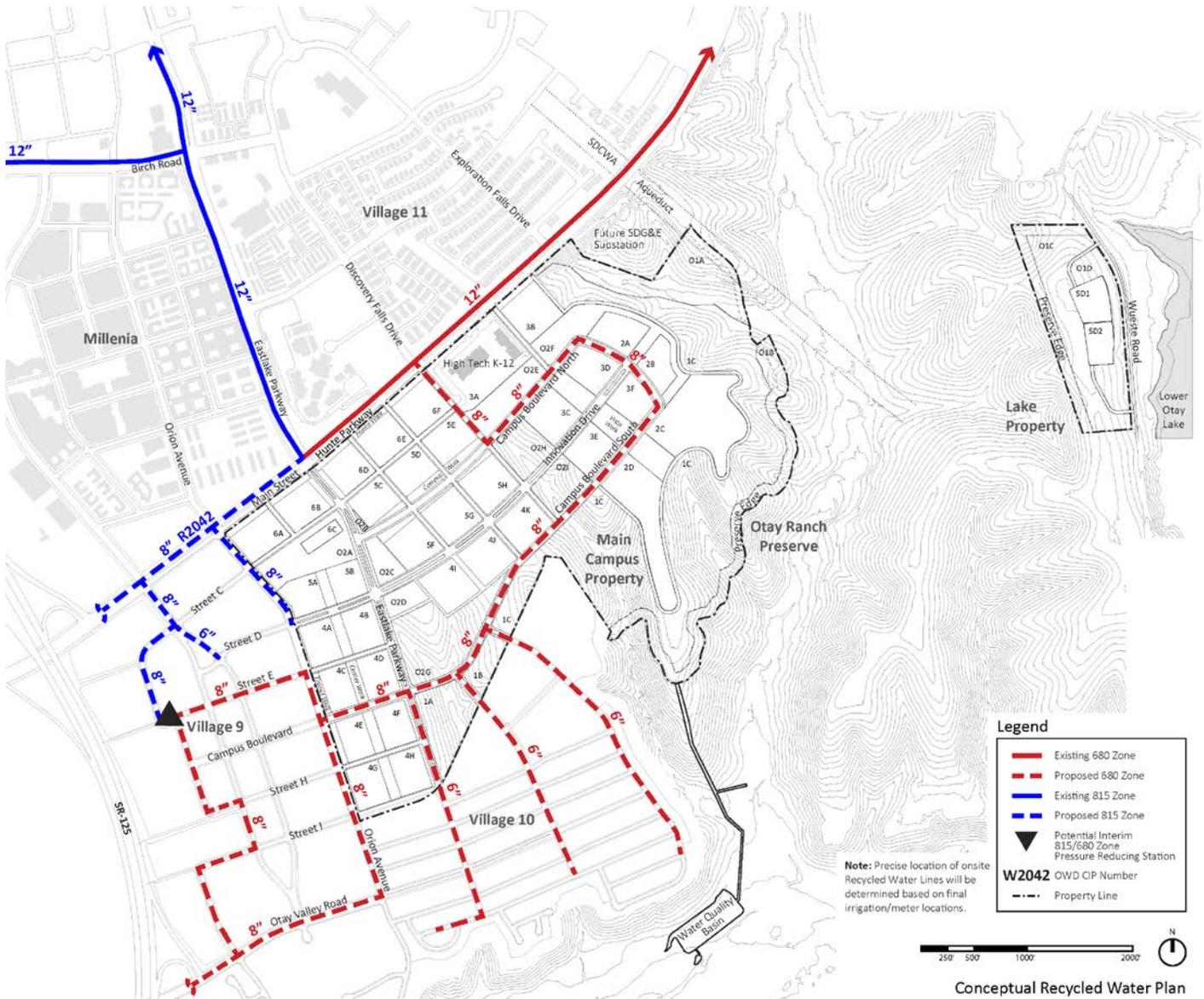


FIGURE 9C: CONCEPTUAL RECYCLED WATER PLAN

9.2.4. Water Conservation

A Water Conservation Plan has been prepared as a component of this SPA Plan in conformance with the requirements of the Otay Ranch GDP and the Chula Vista Growth Management.

As described in the Water Plan prepared by Dexter Wilson Engineering Inc., certain landscaped areas are required to utilize recycled water where available based on current OWD policies regarding new subdivision development. Consistent with the Otay Ranch GDP, it is anticipated that recycled water will irrigate landscape areas identified in the Water Plan.

Development within the UI District must comply with all State Water Resource Control Board (SWRCB) and OWD regulations, emergency, or otherwise that are applicable and in effect at the time of building permit issuance. All development will implement interior water conservation project design features. As applicable, the UI District development will follow all SWRCB usage restrictions which include the following prohibitions:

- The application of potable water to outdoor landscapes in a manner that causes run-off such that water flows onto adjacent property, non-irrigated areas, private and public walkways, roadways, parking lots, or structures.
- The use of a hose that dispenses potable water to wash a motor vehicle, except where the hose is fitted with a shut-off nozzle or device attached to it that causes it to cease dispensing water immediately when not in use;
- The application of potable water to driveways and sidewalks;
- The use of potable water in a fountain or other decorative water feature, except where the water is part of a recirculating system;
- The application of potable water to outdoor landscapes during and within 48 hours after measurable rainfall;
- The serving of drinking water other than upon request in eating or drinking establishments, including but not limited to restaurants, hotels, cafes, cafeteria's, bars, or other public places where food or drink are served and/or purchased;
- The irrigation with potable water of ornamental turf on public street medians; and
- The irrigation with potable water of landscapes outside of newly constructed homes and buildings in a manner inconsistent with regulations or other requirements established by the California Building Standards Commission and the Department of Housing and Community Development.

9.3. Sewer Services

Sewer services and facilities are addressed in detail in the *Sewer Study for University and Innovation District* dated March 17, 2016. Chula Vista operates and maintains its own sanitary sewer collection system that connects to the City of San Diego's Metropolitan Sewer System.

The UI District is located within the Salt Creek sewer basin. There are no existing sewer facilities within the UI District except that High Tech K-12 connects into the Hunte Parkway sewer system which flows easterly in Hunte Parkway. Currently Village 9 and Village 10 are not constructed; however they are anticipated to be completed before the UI District. If the UI District is developed before Village 9 and 10, then an additional 2,200 linear feet of 12-inch and 15-inch sewer mainline needs to be constructed to connect into the Salt Creek interceptor sewer. Refer to Figure 9D: Main Campus Property Conceptual Sewer Plan and Figure 9E: Lake Property Conceptual Sewer Plan for the locations of the existing and proposed sewer facilities in the vicinity of the UI District.

9.3.1. Sewage Generation Factors

Commercial land use generation sewage generation factor of 2,500 gallons per day (gpd) per acre was used to project sewage flows on the Main Campus Property. A maximum population of 1,000 persons was used to determine peak usage for the Lake Property. The population-based peaking factor curve in the City of Chula Vista Subdivision Manual (CVDS) 18 was utilized to convert daily flows to peak wet weather flows. The peak daily flow into the Salt Creek basin from the UI District is estimated at 1,220,000 gpd. This flow will be conveyed to the existing Salt Creek Interceptor.

Sewer facilities required to serve the SPA Plan will be constructed in phases. As development of the UI District is refined and the surrounding development's sewer flows are updated, flows in the Salt Creek Interceptor sewer should be further evaluated to determine if any upgraded sections are required. The phasing and financing requirements are addressed in the PFFP and/or subdivision map conditions to assure timely provision of required facilities.

9.3.2. Treatment Capacity

All sewage generated within the City of Chula Vista is currently conveyed to the City of San Diego Metropolitan (Metro) Sewer System for treatment and disposal. The Metro sewer system treats wastewater from the City of San Diego and 15 other municipalities, including the City of Chula Vista. Flows are conveyed to the Point Loma Wastewater Treatment Plant which has a capacity of 240 million gallons per day (mgd) and currently treats approximately 180 mgd. The City of Chula Vista has capacity rights of 20.864 mgd in the Metro sewer system. Current flows in the City average approximately 16.2 mgd. It is anticipated that the UI District's total sewage will be 1.220 mgd and would be within the City of Chula Vista's allowable 20.864 mgd limits. However, it is projected that in the year 2030, City sewage production will be 32.548 mgd which will exceed the City's limit. The sewage generation from the UI District will add to the overall capacity rights for Chula Vista and the time frame of this project will be a factor to when Chula Vista meets its Metro capacity.

9.3.3. Main Campus Property

There are two alternatives for a sewer system for the Main Campus Property. Alternative one—the recommended one—is a gravity based sewer system. The sewer system for the Orange, Yellow and Purple phases would flow to the proposed Village 9 sewer system and then to the Salt Creek Interceptor sewer. A portion of the Village 9 sewer system will have to be up-sized from the recommendations identified in the report titled *Final Overview of Sewer Service for Otay Ranch Village 9*. The Blue and Brown phases will require a separate gravity sewer line that will follow an existing trail to the Salt Creek Interceptor sewer. This connection will be located upstream of Village 9. The elevations of the Blue and Brown phases are lower than the Purple phase and cannot flow into the rest of the main campus sewer system without a pump system. This alternative requires fewer linear feet of sewer pipe and no sewage lift station.

Alternative two uses a sewage lift station to pump the sewer flow to the existing Hunte Parkway sewer system. This system involves adding a pump station with dual systems producing the capacity for approximately 110' of static head and an additional 4,400 linear feet of 8-inch force main sewer. See Figure 9D: Main Campus Property Conceptual Sewer Plan for the proposed alignments.

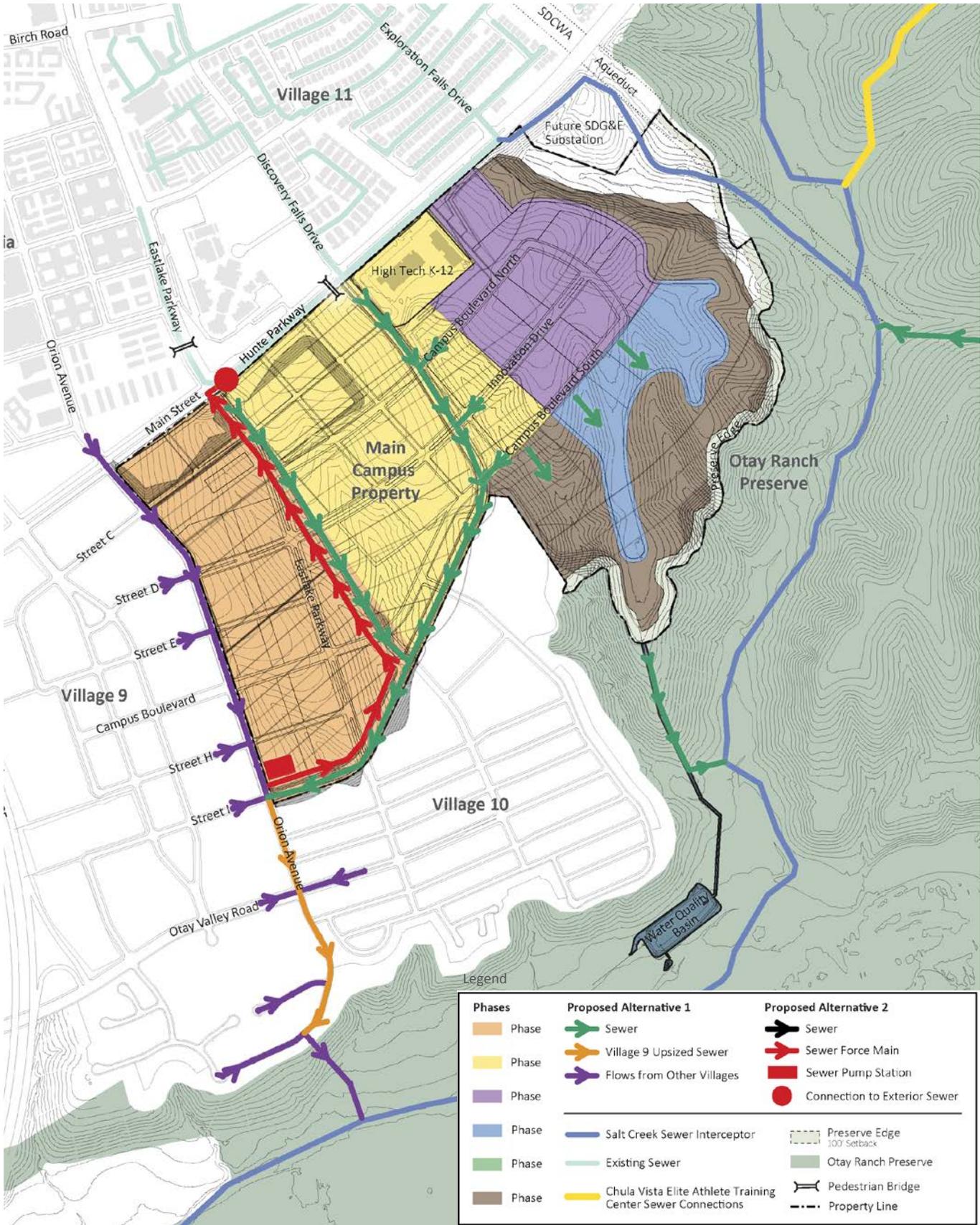


FIGURE 9D: MAIN CAMPUS PROPERTY CONCEPTUAL SEWER PLAN

9.3.4. Lake Property

The Lake Property also has two alternatives for a sewer system. The recommended alternative one runs 4,100 linear feet of a gravity sewer line south of the site to the existing open space trail system. The existing trails may also provide access for maintenance. The sewer pipe would then follow the existing trail to the Salt Creek Sewer Interceptor. The terrain in this area provides enough elevation change for a gravity sewer connection, but the surrounding habitat is considered environmentally sensitive area and will potentially lead to construction limitations. Also the sewer line would have to cross a County Water Authority pipeline. See Figure 9E: Lake Property Conceptual Sewer Plan for the proposed alignment.

Alternative two would include a sewage lift station to allow the sewer to go north along one of the existing trails, and connect into the existing Chula Vista Elite Athlete Training Center sewer system. The existing Chula Vista Elite Athlete Training Center sewer then connects to the Salt Creek sewer via a gravity sewer line. The first segment of sewer pipe will need to use a 1% slope to keep the system to a maximum depth of 20 feet deep. The static head for this alternative is approximately 25 feet. This alternative contains 1,400 linear feet of gravity sewer and 700 linear feet of 6-inch force main which is less sewer pipe than the first alternative. See Figure 9E: Lake Property Conceptual Sewer Plan for the proposed alignment.

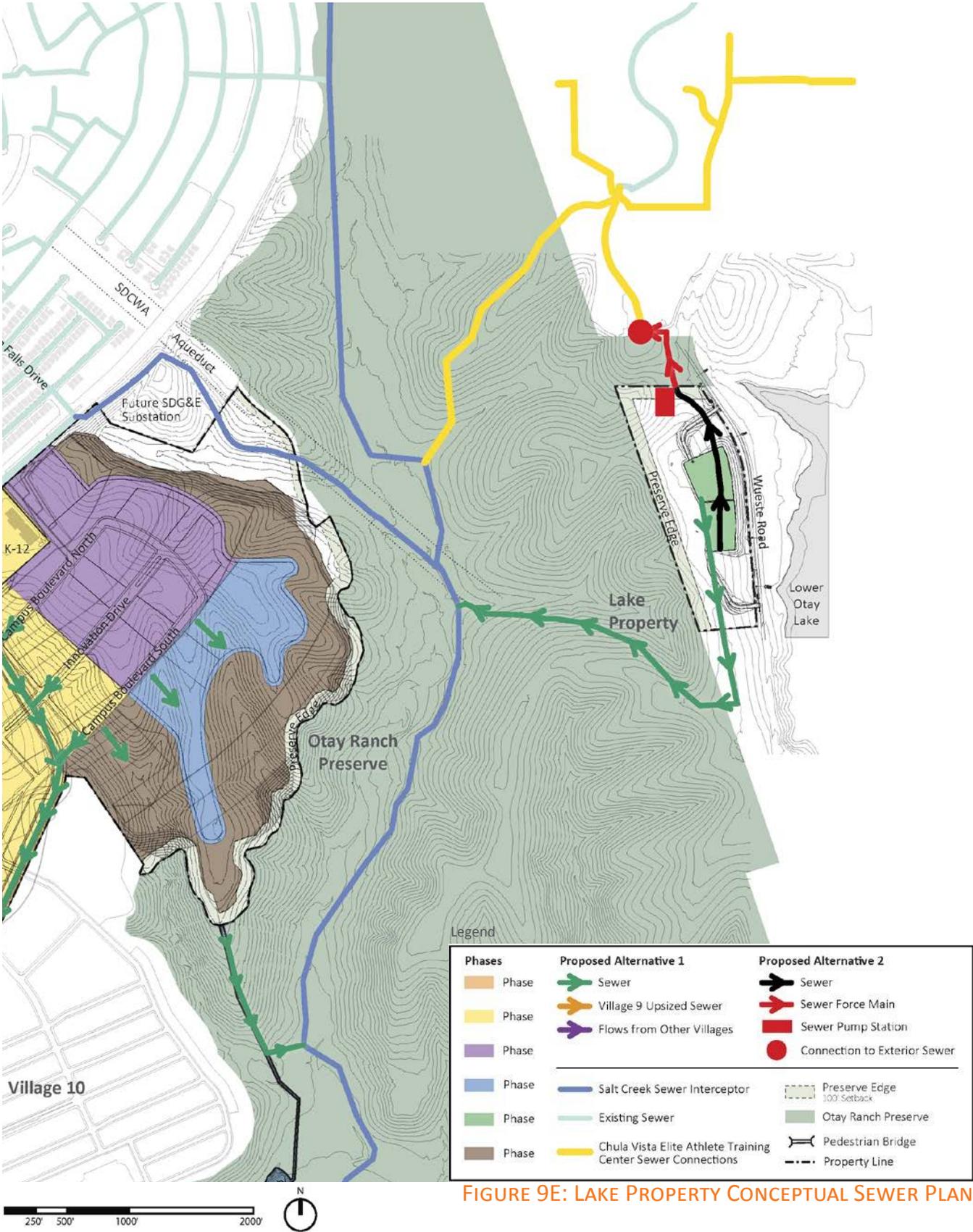


FIGURE 9E: LAKE PROPERTY CONCEPTUAL SEWER PLAN

9.4. Storm Drain & Urban Run-off

The *Drainage Study for the University Park and Innovation District* prepared by Rick Engineering Company dated September 17, 2015, assessed the existing and developed drainage and water quality conditions in the UI District. In conformance with the GDP and SPA requirements, the Drainage Plan provides the necessary hydrological studies, analysis and design solutions to provide appropriate urban run-off and water quality for the SPA Plan. Key elements of the Drainage Plan and water quality are provided below.

9.4.1. Drainage Characteristics

The UI District includes ten major drainage basins: Basins 100, 200, 300, 400, 500, 600, 700, 1000, 1100, and 1200. For locations of these drainage basins, refer to Figure 9F: Conceptual Main Campus Property Drainage Plan. In the pre-project condition, run-off from Basins 100 and 200 sheet-flows in a southerly direction towards Otay River. Run-off from Basins 300, 400, 500, 600, and 700 sheet-flows in a southeasterly direction towards Salt Creek, which flows in a southerly direction and conflues with Otay River. For the Lake Property, run-off from Basins 1000, 1100, and 1200 sheet-flows in an easterly directions towards three existing culvert crossings beneath Wueste Road and outlets into Lower Otay Reservoir.

In the post-project condition, the general drainage characteristics will remain similar as compared to the pre-project condition. Run-off from Basins 100 and 200 will be conveyed in the southerly direction via a network of the on-site proposed storm drain systems, which will connect to the proposed storm drain system that is part of the future Village 10 development and directly discharge into Otay River. Run-off from Basins 300, 400, 500, 600, and 700 will be conveyed in a southwesterly direction via a network of on-site proposed storm drain systems and a proposed storm drain system through an off-site easement that will outlet into a proposed storm water management feature (i.e. – bioretention basin) located northwest of the confluence of Salt Creek and Otay River and discharge directly into Otay River. Run-off from Basins 1000, 1100, and 1200 will be conveyed in an easterly direction via a network of on-site proposed storm drain systems towards the proposed storm water management features (i.e. – bioretention basins) for Basins 1100 and 1200 (except Basin 1000 will be a self-treating area) and outlet into Lower Otay Reservoir via three proposed culvert crossings in the future that will replace the three existing culvert crossings beneath Wueste Road. See Figure 9F: Conceptual Main Campus Property Drainage Plan and Figure 9G: Conceptual Lake Property Drainage Plan.

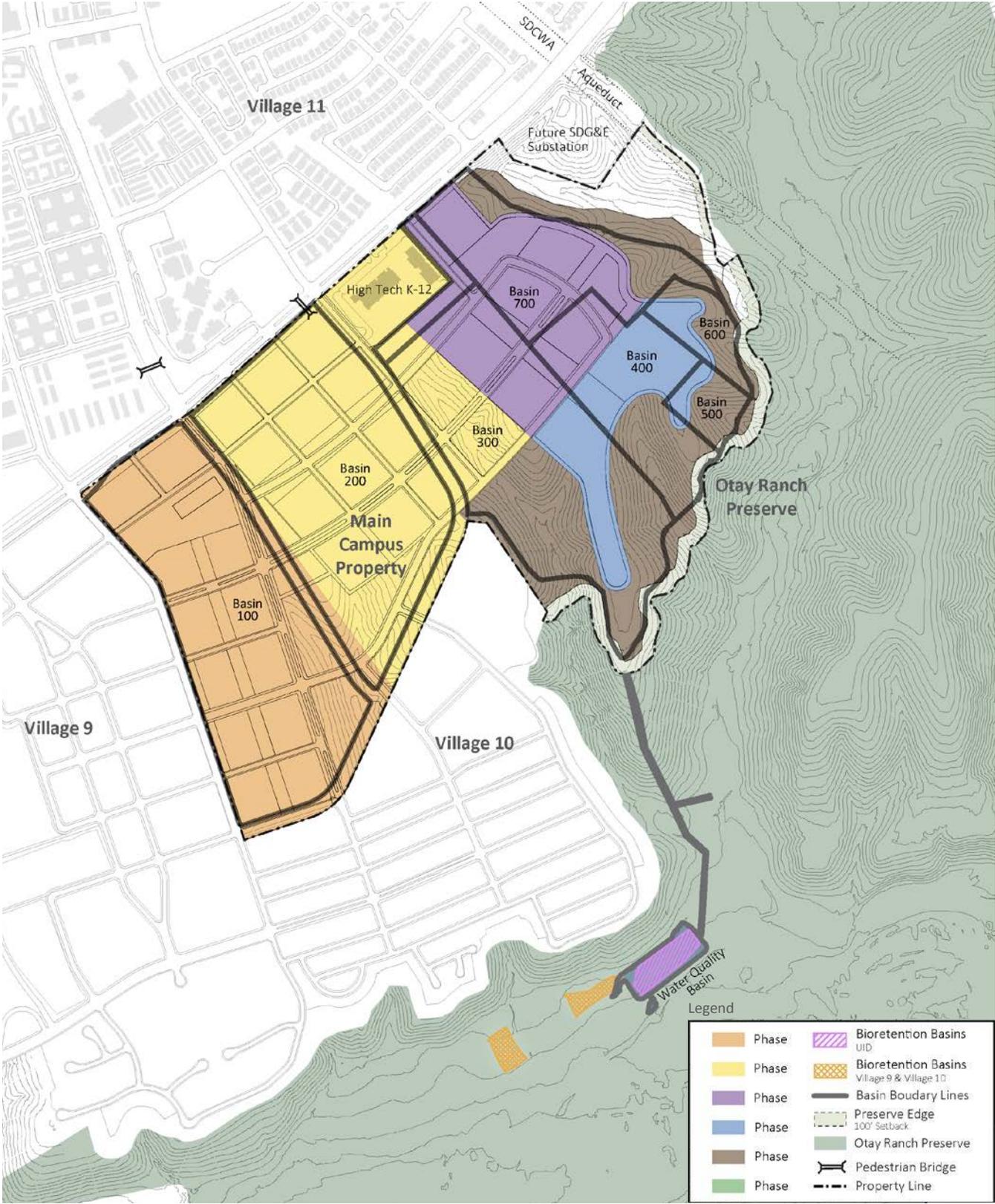


FIGURE 9F: CONCEPTUAL MAIN CAMPUS PROPERTY DRAINAGE PLAN

For the Main Campus Property, discharge locations are within the lower portion of the Otay River so the increase to peak run-off rates is not considered significant, as the increased run-off entering the lower portion of the Otay River would be conveyed downstream prior to the peak run-off within the overall Otay River Watershed reaching this lower portion of the river. With regards to potential erosion, the proposed storm drain system (to be constructed by for Village 10) will include an energy dissipater designed to reduce discharge velocities to non-erosive conditions.

For the Lake Property, the discharge locations are conveyed directly to the Lower Otay Reservoir. The increase to peak run-off rates is not considered significant as the increased run-off entering the Lower Otay Reservoir would be stored as part of the overall water supply. With regards to potential erosion, the proposed storm drain systems conveying flow under Wueste Road will include an energy dissipater designed to reduce discharge velocities to non-erosive conditions, prior to conveyance directly into the Lower Otay Reservoir which provides energy dissipation based on the ponded water surface elevation.

In the event that the Otay Ranch Village 10 project is not in place prior to or in conjunction with the development of the initial development phases, a similar bioretention basin approach would be implemented within the project footprint during the initial phases as an interim BMP until the ultimate BMP solutions are installed with Village 10.

With regards to drainage infrastructure, the temporary on-site basins would include temporary storm drain outfalls into the existing canyon areas along the southerly edge of the UI District boundary, within the development footprint (unless environmental approvals are in place to extend south of the UI District boundary), in order to mimic pre-project drainage boundaries. The temporary basins would be designed for both water quality volume and hydromodification management criteria since the existing tributaries between the project and the Otay River are not exempt from Hydromodification Management Plan (HMP) criteria.

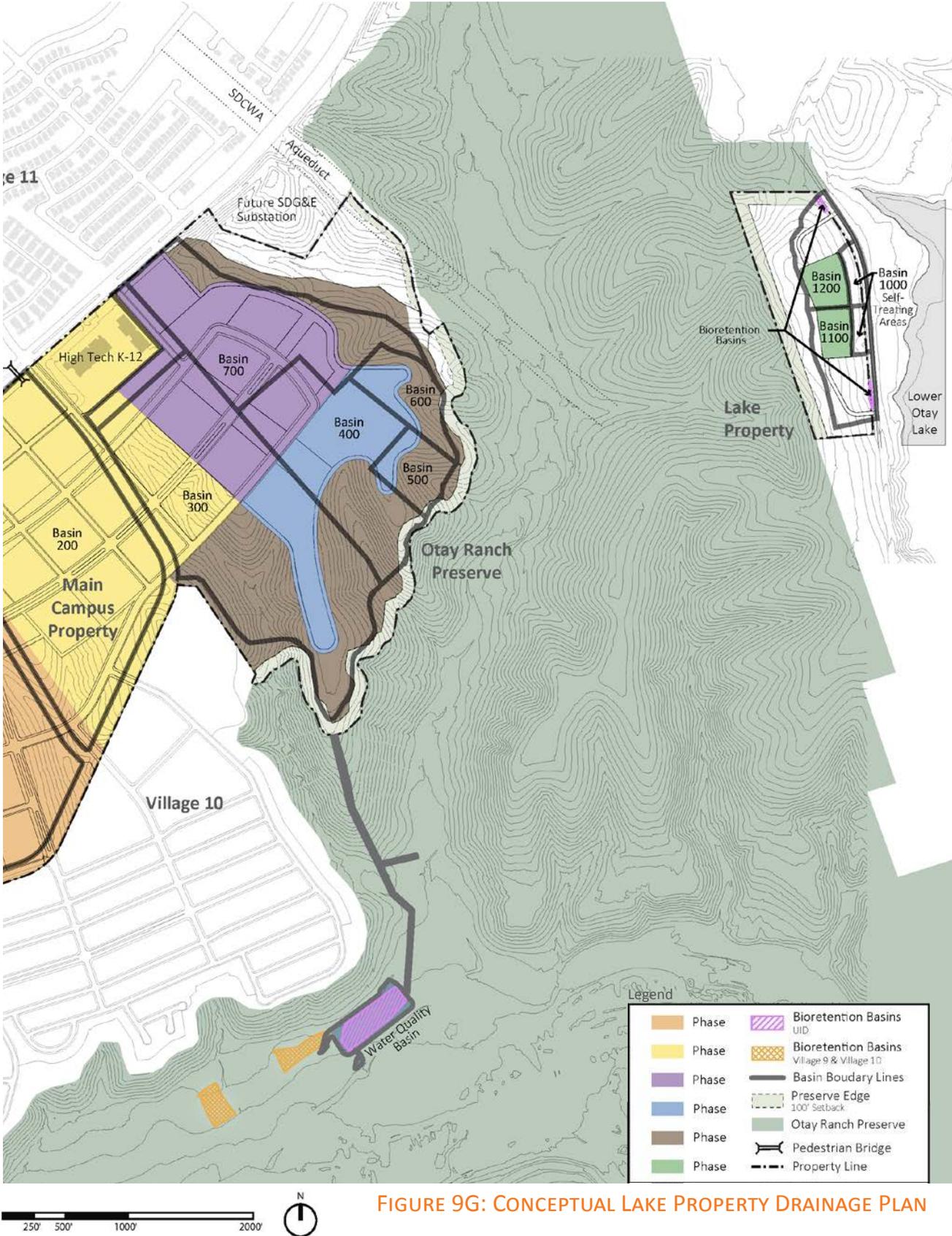


FIGURE 9G: CONCEPTUAL LAKE PROPERTY DRAINAGE PLAN

9.4.2. Water Quality

Development within the UI District is considered a Priority Development Project (PDP) according to the City of Chula Vista guidance manual titled, *BMP Design Manual for Permanent Site Design Storm Water Treatment and Hydromodification Management*, dated December 2015.

The development will be required to implement all necessary requirements for water quality as specified by the State and local agencies. The development will meet the requirements of the City's SUSMP, the Jurisdictional Urban Run-off Management Plan and the Storm Water Management and Discharge Ordinance, as specified in the City of Chula Vista's BMP Design Manual. In general, a combination of Low Impact Development (LID) site design, source control and treatment control. Best Management Practices (BMP) will be utilized for UI District Development.

The bioretention basins do not have concrete portions. The bioretention basins should be planted/landscaped with native plant species based on a specific group of plant species that are suitable for bioretention basins. The selection of the plant palette is typically coordinated with the landscape architect when construction documents are developed.

The Otay River is a United States Geological Survey (USGS) blue line stream, which makes it a waterway of the United States under the CWA. All development in excess of five acres must incorporate urban run-off planning, which will be detailed at the Tentative Tract Map level. The conceptual grading and storm water control plan for the SPA Plan provides for water quality control facilities to ensure protection for the Otay River. At this time it is unknown if the Otay River will remain an exempt receiving water for Hydromodification Management Plan purposes. Development will meet the requirements at the time of application for permit.

For the Main Campus Property, a total of three bioretention basins are proposed including two bioretention basins to be constructed as part of the adjacent Village 10 that will treat the Orange and Yellow Phases, one large bioretention basin that will treat Purple, Blue and Brown Phases. Flows from the Main Campus Property will outlet directly to the Otay River.

The Lower Otay Reservoir is a drinking water reservoir owned and operated by the City of San Diego Water Department. To protect reservoirs, the City of San Diego Water Department prepared a document titled, *Source Water Protection Guidelines for New Developments*, dated January 2004, to guide future activities within the San Diego County watersheds which drain into drinking water reservoirs.

For the Lake Property, BMPs ensure a high level of treatment for storm water runoff in order to protect Lower Otay Reservoir with a total of two proposed bioretention basins designed to treat storm water runoff before it enters the Lower Otay Reservoir.

An Operation and Maintenance Plan (O&M Plan) will be prepared to describe the designated responsible parties to manage the proposed BMPs and the training requirements, operating schedule, maintenance frequency, routine service schedule, specific maintenance activities, record keeping requirements and any other necessary activities. For the UI District, it is anticipated that the City of Chula Vista is will maintain the proposed BMPs. If a separate entity is identified prior to UI District completion, the UI District owner is the responsible party for funding and maintenance of the BMPs implemented on-site.

9.5. Roads

UI District roads are addressed in Chapter 4: Circulation Plan. The PFFP details their phasing and financing.

9.6. Schools

The Otay Ranch GDP requires preparation of a School Master Plan for each SPA. No schools are provided in the UI District. The need for any school facilities is addressed in the PFFP.

9.7. Child Care Facilities

The GDP encourages siting child care facilities where compatible with land use to be available, accessible and affordable for all economic levels. The UI District and the Otay Ranch Community as a whole may have a mix of child care providers, such as school, church, non-profit or commercial facilities. Childcare facilities may be located within private homes, commercial centers, offices, government and industrial complexes and/or adjacent to public and private schools where appropriate. The UI District Land Use Plan provides opportunities to locate and phase facilities to meet the needs of the community.

Child care uses are allowed as an affiliated use with an Administrative Conditional Use Permit in all transects except in the SD: Lake Blocks. Facility-based (not in home) child care may be conducted by non-profit, quasi-public organizations or commercial providers as an affiliated use in all transects except in the SD: Lake Blocks. Both Child Care Centers and Facility-Based Child Care are permitted as a non-affiliated use with a Conditional Use Permit.

Home-based child care includes small family day care homes (SFDCH) that serve up to 8 children and large family day care homes (LFDCH) that serve 9-14 children. Consistent with CVMC 19.04, SFDCHs could potentially be located within all residences in the UI District. However, typically the size of homes allowed in the UI District will not be large enough to operate many home-based child care.

The State of California adopted regulations related to licensing, application procedures, administrative actions, enforcement provisions, continuing requirements and physical environment for child day care, day care centers and family day care homes. All child care facilities within UI District shall comply with State and local regulations.

9.8. Police, Fire and Emergency Services

9.8.1. Police Protection

The Chula Vista Police Department (CVPD) currently provides police services within the City of Chula Vista. The demand for police services and facilities necessary to serve the SPA Plan is described and analyzed in the UI District PFFP.

9.8.2. Fire Protection

Fire protection services are provided by the City of Chula Vista Fire Department (CVFD). Currently the nearest Fire Station is Fire Station #7, located in Village 2. Pursuant to the draft Chula Vista Fire Master Plan, approved by the Chula Vista City Council on January 28, 2014, an additional fire station is planned within the Village 8 West Town Center. In addition, a new fire station is approved within the within Millenia development. The demand for fire protection equipment and facilities to serve the SPA Plan is described in the PFFP. The UI District must comply with the Chula Vista Fire Facility Master Plan (1/28/14), as adopted.

The FPP for UI District has been developed with direction from the Fire Department. Fire Department-approved architectural measures, such as boxed eaves, exterior sprinkler systems and solid block wall fencing may also be used for fire protection in certain circumstances. The fuel modification and fire protection strategies are more fully described in the FPP.

9.8.3. Brush Management

Pursuant to the UI District FPP and Chula Vista MSCP Subarea Plan; fuel modification zones have been incorporated into the UI District development areas adjacent to natural open space. These fuel modification zones are consistent with the requirements of the Chula Vista MSCP Subarea Plan and Otay Ranch Phase 2 RMP. No fuel modification activities will occur within Otay Ranch Preserve/MSCP areas. Graded landscaped slope areas will be maintained pursuant to FPP requirements and will be outside of the Otay Ranch Preserve. Streets (hard surface and irrigated landscaped areas) may be included in the Brush Management Zone, in accordance with any specific requirements of the FPP.

9.8.4. Emergency Medical Services

American Medical Response (AMR) provides contract emergency medical services for the City of Chula Vista, National City, and Imperial Beach. There are five AMR South County paramedic units. Two are located in Chula Vista, two in National City, and one in Imperial Beach. The UI District will be served through a contract arrangement between the City of Chula Vista and AMR.

9.8.5. Emergency Disaster Plan

The San Diego Region is exposed to a number of hazards that have the potential for disrupting communities, causing damage and creating casualties. Possible natural disasters include earthquakes, floods, fires, landslides and tropical storms. There is also the threat of man-made incidents such as war, nuclear disasters, hazardous materials spills, major transportation accidents, crime, fuel shortages, terrorism or civil disorder.

The San Diego County Emergency Plan is a comprehensive emergency management system that provides for a planned response to disaster situations associated with natural disasters, technological incidents and nuclear defense operations. The Plan includes operational concepts relating to various emergency situations, identifies components of the Emergency Management Organization and describes the overall responsibilities for protecting life and property and assuring the overall well-being of the population. The Plan also identifies the sources of outside support that might be provided (through mutual aid and specific statutory authorities) by other jurisdictions, state and federal agencies and the private-sector.

The Unified San Diego County Emergency Services Organization consists of the County and the cities within the County. It was established in 1961 and provides for “preparing mutual plans for the preservation of life and property and making provisions for the execution of these plans in the event of a local emergency, state of emergency, and to provide for mutual assistance in the event of such emergencies.”

The foundation of California’s emergency planning and response is a statewide mutual aid system that is designed to ensure that adequate resources, facilities and other support are provided to jurisdictions whenever their own resources prove to be inadequate to cope with a given situation. The basis for the system is the California Disaster and Civil Defense Master Mutual Aid Agreement, as provided for in the California Emergency Services Act. This Agreement was developed in 1950 and adopted by California’s unincorporated cities and by all 58 counties. San Diego County is in Mutual Aide Region 6 of the State system.

The City of Chula Vista participates in the Unified County Emergency Services Organization described above. The City of Chula Vista has comprehensive agreements with the Bureau of Land Management, California Department of Forestry, California Conservation Corps., Urban Search and Rescue Corps., San Diego County Fire Mutual Aid and other agencies in conjunction with the California Disaster and Civil Defense Master Mutual Aid Agreement. The project is incorporated into Chula Vista’s existing emergency disaster programs, including all fire and emergency services and mutual aid agreements. In April 2011, the City of Chula Vista City Council approved Resolution 2011-067 which adopted the 2010 San Diego County Multi-Jurisdictional Hazard Mitigation Plan as the official Multi-Jurisdictional Hazard Mitigation Plan of the City of Chula Vista.

9.9. Library Services

Library services are provided by the City of Chula Vista as described by the City Library Master Plan.

9.10. Parks, Recreation, Open Space & Trails Facilities

Recreation, open space and trails are addressed in Chapter 5, Parks and Open Space and Trails Master Plan and the PFFP.

9.11. Civic Facilities

The City of Chula Vista is currently served by the Chula Vista Civic Center. The City’s master plan for the expansion of the Civic Center provides for the needs of the UI District.

9.12. Animal Control Facilities

The City of Chula Vista provides animal health and regulatory services. Currently, no impact fees are imposed to fund expansion of animal control facilities.

9.13. Regional Facilities

A Regional Facilities Report was completed as part of the SPA One planning process. Generally, the Otay Ranch GDP requires that the demand generated for regional facilities be satisfied through participation in a regional impact fee program (if such a program is implemented). The Regional Facilities Report is updated with SPA Plan applications to ensure adequate provision for regional facilities. The following is a review of the updated Otay Ranch regional facilities needs.

9.13.1. Integrated Solid Waste Management

The City of Chula Vista contracts with Allied Waste Services to provide weekly solid waste collection, recycling and disposal. Per CVMCs Sections 8.24 and 8.25 and State of California Public Resources Code Chapter 12.8, 42649, it is mandatory for all generators to recycle. The City provides residences (known as Small Quantity Generators) with automated, weekly collection services for trash, recyclables and yard waste. All development shall comply with these requirements.

9.13.2. Arts and Cultural

The Otay Ranch GDP provides for a multi-use cultural complex in the Millenia development. The UI District provides public spaces that may accommodate art and performances. Cultural facilities are permitted in all transects.

9.13.3. Health and Medical

Health and medical facilities that serve the UI District include Scripps Chula Vista Memorial Hospital, Sharp Chula Vista Medical Center, and Paradise Valley Hospital. A 66,000 square foot medical office building is located in Village of Heritage, which houses the Sharp Rees-Stealy Medical Group. The mixed use commercial and community purpose facility sites within the Otay Ranch villages provide opportunities for both public and private nursing, health education, screening research and medical offices.

9.13.4. Community and Regional Purpose Facilities

The Otay Ranch GDP does not locate a Regional Purpose Facility in UI District.

9.13.5. Social and Senior Services

The County of San Diego has the primary responsibility to provide social services to County residents. There are numerous non-profit health and social service organizations located in Chula Vista. The City of Chula Vista provides an adult literacy program, a Youth Action Program and the Police Activities League program. The County's Area Agency on Aging provides social and nutrition programs, legal services, ombudsman programs and services to prevent or postpone institutionalization. The City of Chula Vista provides senior services and the Parks and Recreation Department coordinates activities and programs at the Norman Park Senior Center.

9.13.6. Correctional

The increased population in UI District will contribute to the need for correctional facilities. Should a regional impact fees program be enacted to assist in funding such facilities, the UI District development would be obligated to equitably participate.

9.13.7. Transit

Transit facilities are intended to reduce the public's dependence upon the automobile to help alleviate traffic congestion. The provision of transit facilities is also an action measure of the City's CO2 Reduction Plan. Currently, two percent of trips are conducted on public transit in the region. An increase in transit use can be fostered through the location of higher-density housing near transit, site design with transit orientation and enhanced pedestrian access to transit. The land use and circulation plan for the UI District incorporates multi-modal design strategies. A transit station/stop for the proposed Bus Rapid Transit system is located on Orion Avenue on the eastern edge of the UI District. Rapid Bus service is proposed on Main Street/Hunte Parkway. Additional discussion of transit facilities is provided in the PFFP.



**CHAPTER 10:
ADMINISTRATION &
IMPLEMENTATION**

10.1. Purpose

The purpose of this chapter is to define certain administrative procedures and requirements and provide clear instruction and notice to developers, property owners and tenants within the UI District regarding permit and plan approvals. These regulations use the standard procedures provided in the CVMC § 19.14 except where special procedures are required or defined herein.

The administration of the UI District SPA Plan shall be as provided for in CVMC § 19.48.090 et. seq. Whenever the provisions of this SPA conflict with or provide different rules, standards, or procedures from those in Titles 12 (Streets and Sidewalks), 18 (Subdivisions), or 19 (Zoning and Specific Plans) of the City's Municipal Code, the provisions of this chapter shall prevail. On matters within those titles on which this chapter is silent, the existing titles apply.

10.2. Severability

If any section, subsection, sentence, clause, phrase or portion of this SPA Plan, or any future amendments or additions hereto, is for any reason found to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remainder of this SPA Plan or any future amendments or additions hereto. The City hereby declares that it would have adopted these requirements and each sentence, subsection, clause, phrase or portion or any future amendments or additions thereto, irrespective of the fact that any one or more section, subsections, clauses, phrases, portions or any future amendments or additions thereto may be declared invalid or unconstitutional.

10.3. Amendments

Major changes to the boundaries of transects shall be made by ordinance and shall be reflected on the official Figure 3A: Site Utilization Plan by Transect.

10.4. Effect of Regulations

The provisions of Chapter 3: Development code governing the use of land, buildings structures, the size of yards, the height and bulk of buildings, standards of performance, and other provisions are hereby declared to be in effect upon all land included within the boundaries of each and every transect established by the Development code.

10.5. Multiple Applications

When an Applicant applies for more than one permit or other approval for a single development, the applications shall be consolidated for processing and shall be reviewed by a single decision maker or decision-making body pursuant to the requirements of CVMC § 19.14.050.

10.6. Brownfield Airport Compatibility

Airport land use compatibility plans promote compatibility between airports and the land uses that surround them. California law requires preparation of compatibility plans for each airport in the state. In San Diego County, the ALUC function rests with the Board of the San Diego County Regional Airport Authority (SDCRAA), in accordance with § 21670.3 of the California Public Utilities Code.

Airport Influence Area compliance is gained by the City through submittal of SPA documents to the ALUC. Based on a determination by ALUC, additional requirements may be imposed. This SPA Plan requires that subsequent submittals and development comply with Part 77 of Federal Aviation Regulations. The UI District is located within the airspace protection review area 2 and partially within the overflight notification area for new residential development projects (refer to Figure 10A: Brown Field Airport Influence Area).

Properties within the Over Flight Zone require real estate disclosures and recordation of an Overflight Agreement with the County Recorder's Office utilizing the City's template. Prior to approval of the first Final Map, the applicant shall record a Brown Field Municipal Airport Overflight Agreement with the County Recorder's Office and provide a single copy of the agreement to the Development Service Director.

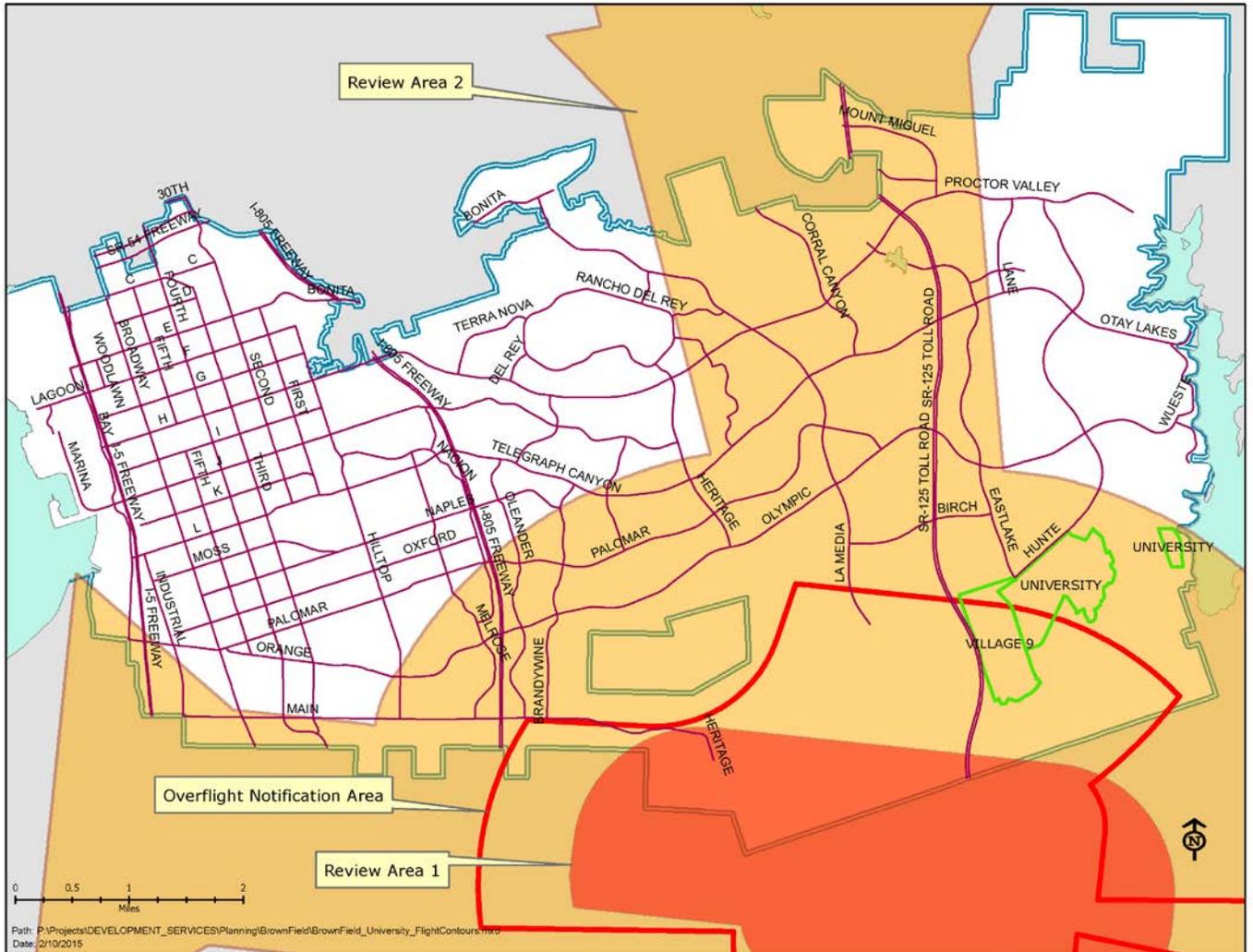


FIGURE 10A: BROWN FIELD AIRPORT INFLUENCE AREA

10.7. SPA Interpretation

10.7.1. Substantial Conformance

The Zoning Administrator may determine an application is in substantial conformance to the adopted SPA document, subject to the findings below:

1. The UI District or use is substantially consistent with the Chula Vista General Plan and adopted policies of the City.
2. The UI District or use is substantially consistent with Chapter 2: Design Concept.
3. The UI District or use meets the provisions of Chapter 3: Development Code, governing the use of land, buildings, structures, the size of yards, the height and bulk of buildings, standards of performance, and other provisions.
4. The UI District or use substantially complies with Chapter 4: Circulation Plan governing street design, multi-modal concepts and pedestrian circulation.
5. The UI District or use substantially complies with Chapter 7: Design Guidelines and applicable Master Precise Plans (MPP). Some deviation from standards and guidelines are permitted as long as the overall project meets the overall design intent and vision specified in Chapter 2 and applicable MPPs
6. The UI District or use will not, under circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity.
7. The UI District or use is substantially consistent with the principles and overall quality of design established for the Otay Ranch Planned Community.

The Zoning Administrator shall set a reasonable time for the consideration of each application to the Applicant and to other interested persons as defined in the CVMC Chapter 19.14, Administration Procedures - Permits- Applications - Hearings - Appeals. In the event objections or protests are received, the Zoning Administrator shall set the matter for public hearing as provided therein.

10.7.2. Clarification of Ambiguity

If ambiguity arises concerning the proper classification of a particular parcel within the meaning and intent of Chapter 3: Development Code, or Chapter 7: Design Guidelines, the Zoning Administrator shall make a determination clarifying said ambiguity based upon the pertinent facts and the intent of the SPA. A decision rendered by the Zoning Administrator concerning said ambiguity may be appealed in accordance with the appeal procedure set forth in the CVMC § 19.14.100. For ambiguities that arise from applications requiring a public hearing by a decision making body other than the Zoning Administrator, the determination of the Zoning Administrator shall be forwarded to the appropriate decision making body as a recommendation.

10.8. Review Process

This section includes the distinct administrative processes and procedures for reviewing the design and development of new buildings and uses within the UI District. Additional permits may be required and shall be subject to and processed in accordance with the CVMC § 9.3.1

10.8.1. Design Review

Design review ensures that a specific development project design is in compliance with the UI District SPA Plan, and applicable MPP. Sufficient site planning, architectural design, and landscape architectural design details need to be provided for the review. Typically, Design Review will be performed on a parcel basis but may include individual buildings so long as a conceptual design of the entire parcel is provided. Because of the importance of design context and continuity of streetscapes, Design Review submittals shall be required to address the adjacent blocks at a conceptual level. This conceptual planning provides options for the logical build-out, but is not specifically adopted as a constraint on alternatives that may be considered in the future. Any projects found not to be in substantial conformance by the Zoning Administrator may apply for an amendment to the previous Design Review approval with the Planning Commission.

1. A building complex may intensify over time as a planned intensification. This phasing may be approved with the initial Design Review application at the option of the Applicant if the Design Review application is for a partial build-out of a planning block in compliance with the SPA Plan and applicable MPPs.

2. The scope of the Design Review shall be limited to compliance with the provisions of this Code and related SPA documents as specifically provided for in CVMC § 19.14.582. The overriding design goals are high-quality design and excellent functionality. Chapter 3:Development provides the basis for future development. Adherence to any specific architectural style or any set of preconceived design solutions beyond what the applicable Master Precise Plans is neither required nor desired.
3. Any and all design revisions or conditions applied to a UI District by the Planning Commission, Zoning Administrator, or other reviewing and approving body, will only be made in order to meet the UI District SPA design objectives. Any determination made by the appropriate decision making body that the proposed decision is in conflict with the UI District SPA Plan shall clearly identify the specific objective, policy or design statement that is found to conflict with said design. The fact that a proposed design is not illustrated in the UI District SPA Plan is not evidence of a conflict. The UI District SPA Plan utilizes imagery to convey a sense of design character specifically to avoid a requirement for a specific design.
4. Major Design Review is for projects that include more than 30,000 square feet of non-residential building area and multi-family residential projects consisting of more than 200 dwelling units. Major Design Review requires approval by the Planning Commission.
5. Minor Design Review is for projects that include 30,000 square feet or less of non-residential building area and residential projects consisting of 200 or fewer dwelling units. Minor Design Review requires approval by the Zoning Administrator.
6. Site Plan and Architectural Review. Site Plan and Architectural Review shall be completed pursuant to the requirements and procedures set forth in CVMC § 19.14.420-480.
7. Land Use Type E: “Other Uses” as identified in Table 30: Permitted Uses shall not be permitted to be established in the earliest phases or as an interim use unless the total GSF of the proposed Other Use and any existing Other Use is equal to or less than 25% of as-built environment.

10.8.2. Intensity Transfer

Intensity Transfer is an administrative process, conducted by the Zoning Administrator to ensure that UI District does not exceed the maximum level of intensity. Figure 3A: Site Utilization Plan by Transect is intended to provide the general development intent for the UI District; however this SPA recognizes the need for flexibility in planning to accommodate future development constraints and market demands. Notwithstanding the foregoing, unless a UI District is exactly consistent with the target intensity shown for that Transect on the Site Utilization Plan by Transect, an intensity transfer is required. Any transfer of intensity between Transects is permitted provided said transfer is consistent with the SPA Plan, the Circulation Plan, and the technical studies of the associated EIR as related to infrastructure and the intensity specified in Table 3A: Site Utilization Development Summary. The Zoning Administrator shall approve or deny the proposed intensity transfer subject to the following findings and conditions:

1. The overall SPA intensities shall not be exceeded.
2. The planned identity of UI District is preserved including the creation of pedestrian friendly and transit oriented development
3. The Applicant has provided supporting technical studies, if necessary, to the satisfaction of the Zoning Administrator, that substantiate adequate infrastructure exists to support the intensity transfer.
4. Public facilities and infrastructure shall be provided based on the final development square footage and/or number of market-rate residential units.

A. Intensity Transfers Between UI District, Village 9 and Village 10

The Flex Overlay Special District allows development intensity to be transferred between adjacent development parcels in Village 9 and Village 10 and the blocks adjacent to Orion Avenue and Campus Boulevard South as allowed in §3.4.9 SD: Flex Overlay.

The Zoning Administrator shall approve or deny the proposed intensity transfer subject to the following findings and conditions:

1. The overall development intensities between the two SPAs has not been exceeded.
2. The planned identity of UI District is preserved including the creation of pedestrian friendly and transit oriented development.
3. The Applicant has provided supporting technical studies, if necessary, to the satisfaction of the Zoning Administrator, that substantiate adequate infrastructure exists to support the intensity transfer.
4. Written agreement from each property owner has been received by the City.

10.8.3. Permits, Variances, and Zoning Applications

The following permits, variances, and zoning applications shall be subject to the applicable administrative procedures described in CVMC § 19.14:

- Conditional Use Permits.
- Zoning Permits.
- Variances.
- Home Occupations.

10.8.4. Subdivisions Standards and Procedures

Tentative Maps, Parcel Maps, and Final Maps shall be consistent with the development standards set forth in this SPA document and shall be processed in accordance with the procedures and submittal requirements set forth in Title 18 of the CVMC and the Subdivision Map Act.

10.8.5. Landscape Master Plan

The Master Developer shall submit a UI District Landscape Master Plan at the time of First Final Map. The purpose of the UI District Landscape Master Plan is to establish an overall theme and concept for landscape applications throughout the UI District. The established themes and concepts presented in the Landscape Master Plan are intended to unify and synthesize the various site planning elements discussed in the UI District SPA document.

The Landscape Master Plan may exclude mixed use areas from the Landscape Master Plan if all of the requirements for a Landscape Master Plan are provided within the applicable Master Precise Plan(s). In that instance, a reference shall be added to the UI District Landscape Master Plan that directs the reader to the applicable Master Precise Plan(s).

Once approved, the Landscape Master Plan will become the basis for reviewing specific landscape designs throughout future site planning and public improvement stages. Except for the provisions set forth herein, the requirements for application, review and approval process of the Landscape Master Plan shall comply with CVMC § 19.14.484. See below for required Landscape Master Plan sections.

A. UI District Landscape Master Plan Sections

The Landscape Master Plan shall graphically indicate the location of the project, the types and locations of improvements, relationships to adjacent land uses, proposed materials, and the benefits that will be derived from the project by the City and its citizens. The Plan shall be prepared by a California Registered Landscape Architect, be in accordance with the standards set forth in the City Landscape Manual, and approved by the Director of Development Services. The Plan shall include the following sections and requirements per each section:

1. Title Sheet.
 - Land Owner's, Preparer's and Associated Professional Consultant's information and contacts.
 - Governing Water Agency.
 - Governing Health Agency.
 - Site Plan Map.
 - Sheet Index.
 - Signature block for Director of Development Services or Designee.
2. Maintenance Responsibility Plan.
 - UI District Maintenance vs Community Facility District (CFD) Maintenance.
3. UI District Phasing Plan.
 - Landscape improvements to be included per each phase.



4. Streetscape Plan.
 - Provide streetscape sections as they relate to the Master Plan and Tentative Map.
 - Note pedestrian and vehicular paving applications.
 - Note site furnishings and site lighting.
5. Parks, Trails and Open Space Plan.
 - Proposed trails (pedestrian, bicycling and hiking/equestrian) and trail connections.
 - Recreational facilities.
 - Active and passive park locations with park amenities noted for each park.
 - Designated open space areas.
6. Master Irrigation Plan.
 - Irrigation mainline layout.
 - Proposed water meter locations.
 - Proposed irrigation controller locations (coordinated per available electrical supply).
 - Areas of recycled water and/or potable water.
 - Irrigation areas and type of irrigation (drip, spray) per each proposed water meter.
 - Water conservation measures.
7. Master Planting Plan.
 - Proposed street trees locations and street tree palette per each street.
 - Proposed planting legend per each landscape area (streetscape, plazas, parks, open space, etc.).
8. Brush Management Sheets.
 - Applicable requirements from the Fire Protection Plan and Preserve Edge Plan.
9. Wall & Fence Plan (If Applicable).
 - Materials, heights and responsible maintenance entity of each wall type.
 - Elevation views of each wall type.
10. Monumentation and Signage Plan.
 - Monumentation and signage locations.
 - Conceptual elevations for each monument and/or sign type.
 - Materials and finishes palette.

10.8.6. MPP

An MPP can be proposed for smaller 25- to 50-acre large scale major development proposals within each larger sized transect for affiliated projects or non-affiliated innovation districts (RTP).

10.8.7. Habitat Loss and Incidental Take (HLIT)

A HLIT permit application shall be submitted and permit issued prior to grading of the northernmost portion of the Lake Property (the area abutting the Chula Vista Elite Athlete Training Center) and associated infrastructure proposed within the Preserve. The purpose of the HLIT regulations is to protect and conserve native habitat within the City of Chula Vista and the viability of the species supported by those habitats. These regulations are intended to implement the City's MSCP subarea plan by placing priority on the preservation of biological resources within the planned and protected preserve. These regulations are intended to assure that development occurs in a manner that protects the overall quality of the habitat resources, encourages a sensitive form of development, and retains biodiversity and interconnected habitats. The habitat-based level of protection achieved through implementation of the MSCP is intended to meet the conservation obligations of the covered species identified therein. These regulations are also intended to protect the public health, safety, and welfare while being consistent with sound resource conservation principles and the rights of private property owners.

10.8.8. Summary of Discretionary Review

Table 10A: Discretionary Permit Matrix summarizes the review authority for each step of approval.

TABLE 10A: DISCRETIONARY PERMIT MATRIX

	City Council	Planning Commission	Zoning Administrator	Administrative Staff	Non Profit Board?
Administrative CUP (A)			A	R	
Adoption/Amendment to SPA	A	R		R	
Tentative Subdivision Map		A		R	
Parcel Map (4 lots/units of less)				A	
Final Map	¹			A	
Conditional Use Permit Hearing (CUP)		A			
Major Design Review ²		A			
Minor Design Review ³			A		
Intensity Transfers			A		
HLIT				A	
Sign Program			A	R	
Temporary Use Permit				A	
Site Plan & Architectural Review				A	
Parking Management					
Appeals ⁴	A				

Legend:

A = Approving Authority; R = Recommendation Authority

1. Action Item Only; No public hearing.

2. Projects that include more than 30,000 square feet of non-residential building area, residential projects consisting of more than 200 units.

3. Projects that include 30,000 square feet or less of non-residential building area and residential projects consisting of 200 or fewer dwelling units.

4. Appeals shall be reviewed in accordance with CVMC § 19.14.583.

10.9. Enforcement

The City shall enforce the Development Code contained herein in accordance with the enforcement authority provided by the City's Charter and Municipal Code.

10.10. Monitoring and Updates

A range of development intensities are planned within the UI District Transects. As provided in 10.8.2. Intensity Transfer, transfers between Transects may occur during development. These changes must be monitored to ensure compliance with the overall approvals of the project and the provision of certain population-based public facilities. Changes that include an increase in the number of residential units will require a corresponding increase in such facilities and a decrease in residential units will require a corresponding decrease in facility requirements.

In order to ensure continuing compliance with required standards, the Development Services Director shall maintain an administrative record beginning with the initial SPA Plan approval. The administrative record documents the assignment of intensity to the various UI District Transects and the intended compliance strategy for population based public facilities. This record shall be updated with each design review approval and/or intensity transfer as an administration action following such approval.

The current administrative monitoring record and the associated changes, if any, shall be provided to the decision making body at the time of each design review approval and/or density/intensity transfer. No proposal that would jeopardize compliance with population based public facility standards shall be approved. The Applicant for any Design Review application must submit the proposed monitoring tables. After approval, The Development Services Director shall maintain these as the official monitoring records in digital form, accessible to other City Departments.